



TOWN OF ACTON
472 Main Street
Acton, Massachusetts, 01720
Telephone (978) 264-9628
Fax (978) 264-9630

Bruce M. Stamski, P.E.
Town Engineer/Director of Public Works

June 29, 2009

Acton Planning Board
472 Main Street
Acton, MA 01720

Re: Scenic Road Hearing - High Street - Stone Wall Relocation & Tree Removal
High Street Sidewalk – Audubon Hill Emergency Access to House #46

Members of the Board,

The Engineering Department is requesting a scenic road hearing under Town General Bylaw Chapter J (MGL Ch 40 Section 15C) for a proposed sidewalk on High Street from the Audubon Hill emergency access to the driveway for house #46. This request is being made so that the Town can remove the existing stone wall along the frontage for 30 High Street, excavate the steep slope and construct a retaining wall on private property such that a sidewalk can be constructed along High Street. The Town is also seeking permission to remove street trees to facilitate the proposed sidewalk. The stone wall was constructed along the front property and the face of the stone wall served as the property boundary for this lot. The Town has an agreement with the property owner to complete this work. The landowner has also agreed to grant the Town an easement in order to construct the proposed sidewalk. The scope of the proposed work includes the following:

- Remove existing trees and shrubs in front of 30 High Street
- Excavate the slope and construct the retaining wall
- Install a fence and replacement planting along the top of the new retaining wall
- Loam and seed the disturbed areas.

Attached is a copy of the proposed Construction Plans and photos depicting the intersection.

Sincerely,

Bruce M. Stamski, P.E.
Town Engineer/DPW Director

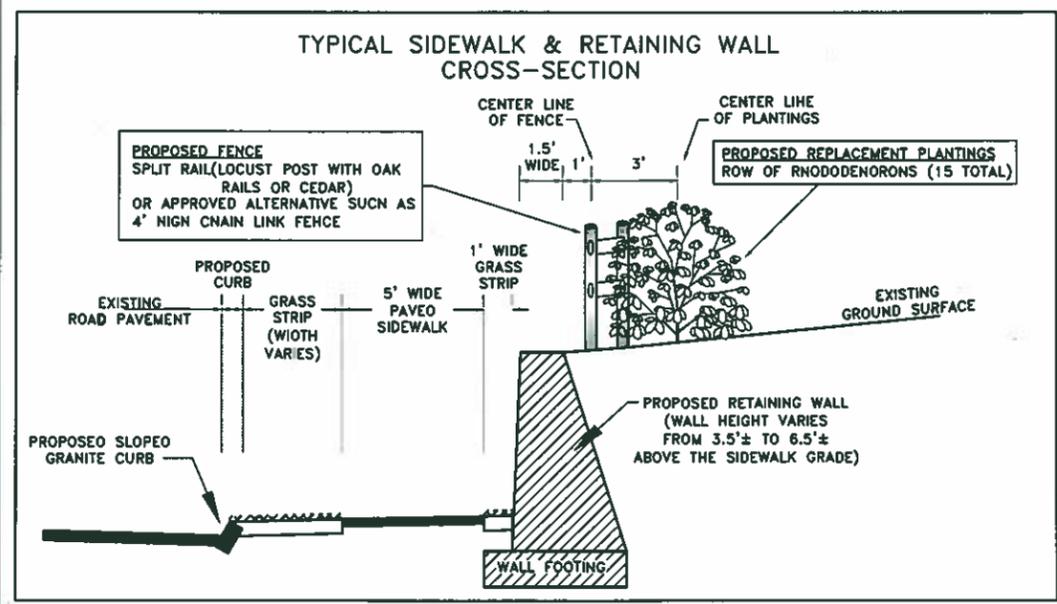
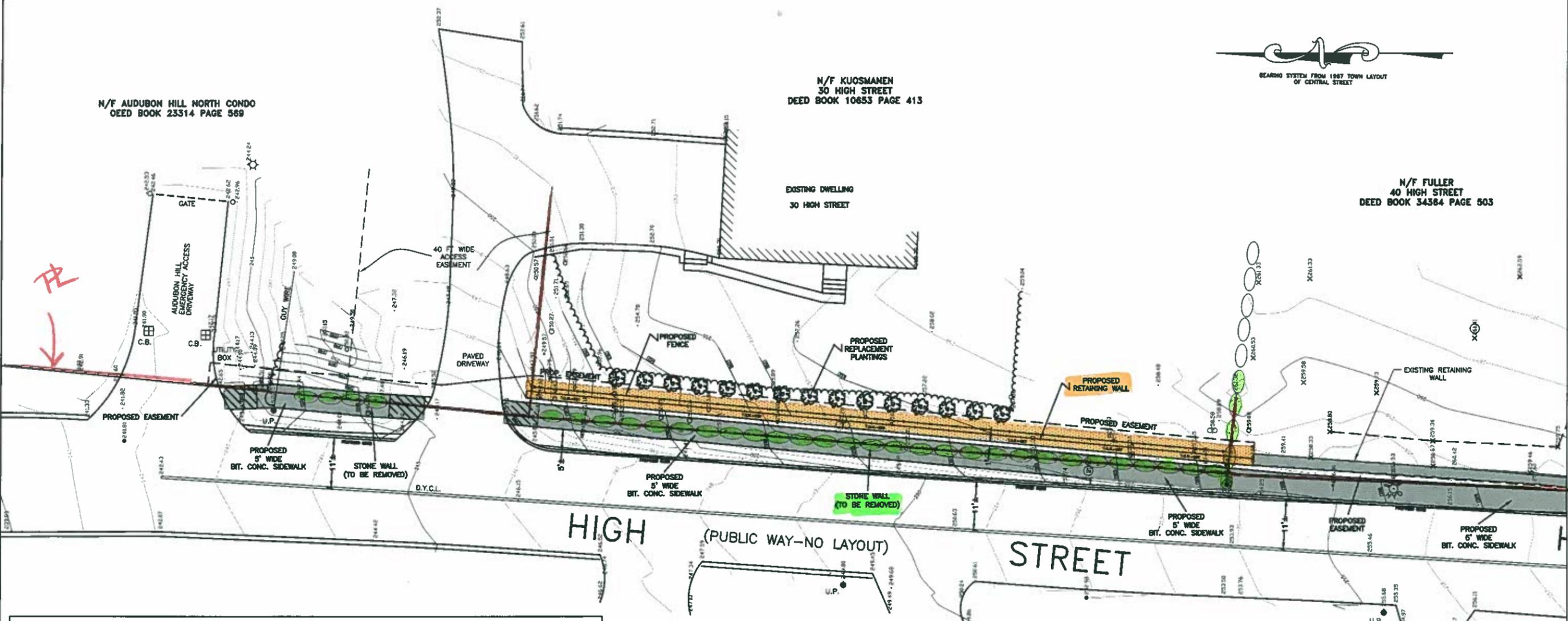
cc: Steven Ledoux, Town Manager



N/F AUDUBON HILL NORTH CONDO
DEED BOOK 23314 PAGE 569

N/F KUOSMANEN
30 HIGH STREET
DEED BOOK 10653 PAGE 413

N/F FULLER
40 HIGH STREET
DEED BOOK 34364 PAGE 503



NOTES:

THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. THE "DIG-SAFE" UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM (1-888-344-7233) SHALL BE NOTIFIED 72 HOURS PRIOR TO STARTING CONSTRUCTION FOR THE ACTUAL ON THE GROUND LOCATION OF THE UNDERGROUND UTILITIES. (MGL. CH. 82, S. 4D)

THE ACTON WATER DISTRICT (978-263-9107) SHALL BE NOTIFIED PRIOR TO CONSTRUCTION FOR THE ACTUAL ON THE GROUND LOCATION OF THE WATER MAIN, SERVICES AND SHUT-OFFS.

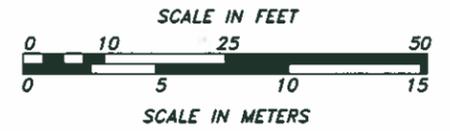
GRANITE CURB (SLOPED OR VERTICAL) MAY BE SUBSTITUTED FOR BITUMINOUS CONCRETE CAPE COO BERM AT THE DISCRETION OF THE HIGHWAY SUPERINTENDENT.

ANY PORTIONS OF LAWN DISTURBED DURING CONSTRUCTION SHALL BE BE LOAMED AND SEEDED TO THE REASONABLE SATISFACTION OF THE OWNER. ALL OTHER AREAS SHALL BE WOODCHIPPED.

ANY TREES OR SHRUBS THAT NEED TO BE REMOVED SHALL BE REPLACED WITH AN APPROPRIATE NUMBER AND SPECIES OF NURSERY GROWN STOCK. PLACEMENT WILL BE DETERMINED BY THE OWNERS IN CONSULTATION WITH THE ACTON TREE WARDEN.

MAILBOXES WILL BE RELOCATED IF THERE IS A CONFLICT WITH THE PROPOSED SIDEWALK

DRAFT

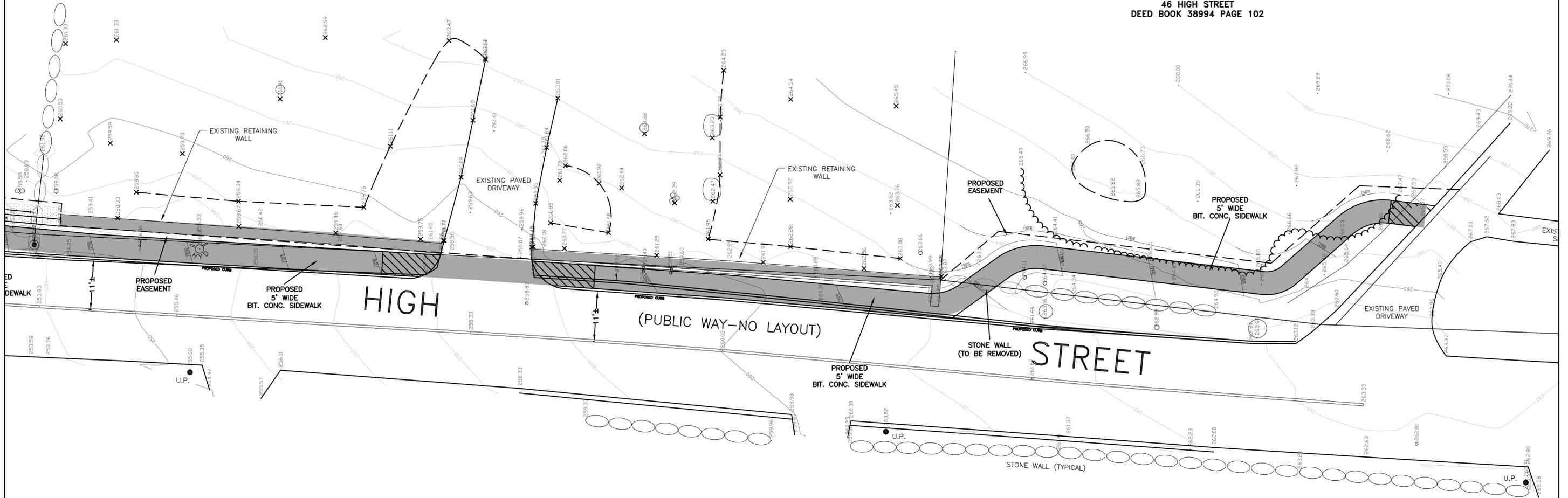


SURVEY: O. ABBT		TOWN OF ACTON ENGINEERING DEPARTMENT	
C. YORK		PROPOSED SIDEWALK ON HIGH STREET	
DESIGN: S. DUARTE		FROM 30 HIGH ST TO 46 HIGH ST	
DRAFTING: C. YORK		CONSTRUCTION PLAN	
CHECKED: B. STAMSKI		SCALE: as noted	DATE: 1/5/2008
NO.	DATE	DESCRIPTION	BY
1	1/23/09	RETAINING WALL REVISION	CSY

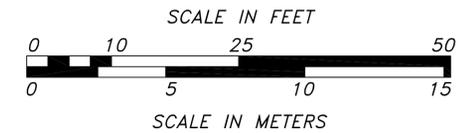


N/F FULLER
40 HIGH STREET
DEED BOOK 34364 PAGE 503

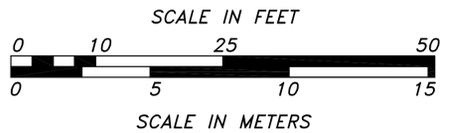
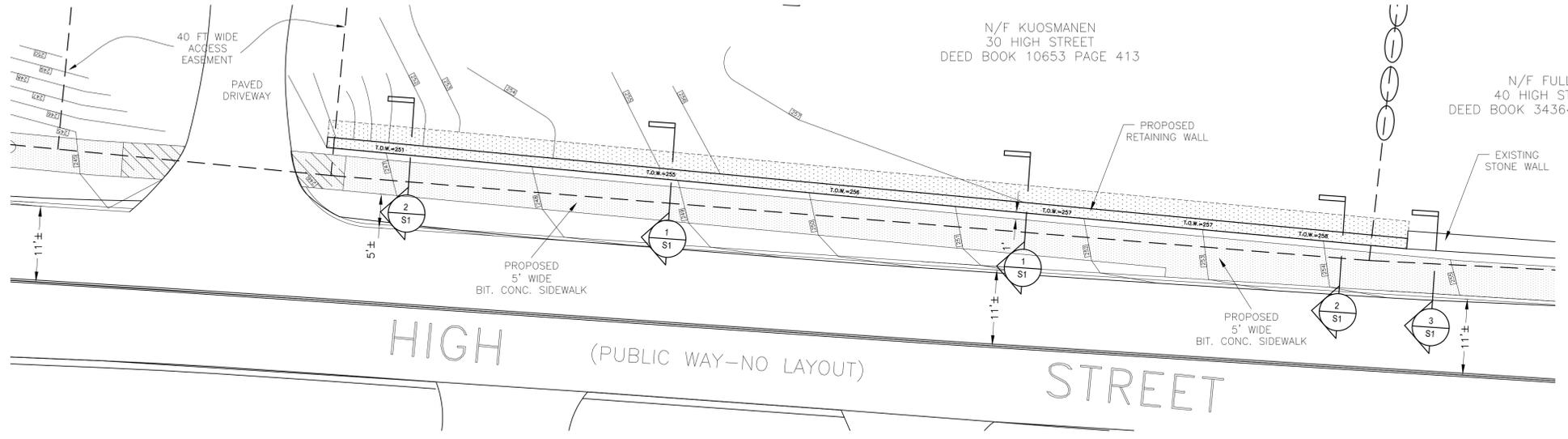
N/F KUTA
46 HIGH STREET
DEED BOOK 38994 PAGE 102



DRAFT



SURVEY: D. ABBT	TOWN OF ACTON ENGINEERING DEPARTMENT	
C. YORK	PROPOSED SIDEWALK ON HIGH STREET	
DESIGN: S. DUARTE	FROM 30 HIGH ST TO 46 HIGH ST	
DRAFTING: C. YORK	CONSTRUCTION PLAN	
CHECKED: B. STAMSKI	SCALE: 1"=10'	DATE: 1/5/2008



GENERAL

- 1) Structural work shall conform to the requirements of "The Commonwealth of Massachusetts State Building Code."
- 2) Verify and coordinate dimensions related to this project.
- 3) Typical details and notes shown on structural drawings shall be applicable to all parts of the structural work except where specifically required otherwise by contract documents.
- 4) Details not specifically shown shall be similar to those shown for the most nearly similar condition as determined by the Designer.

FOUNDATIONS

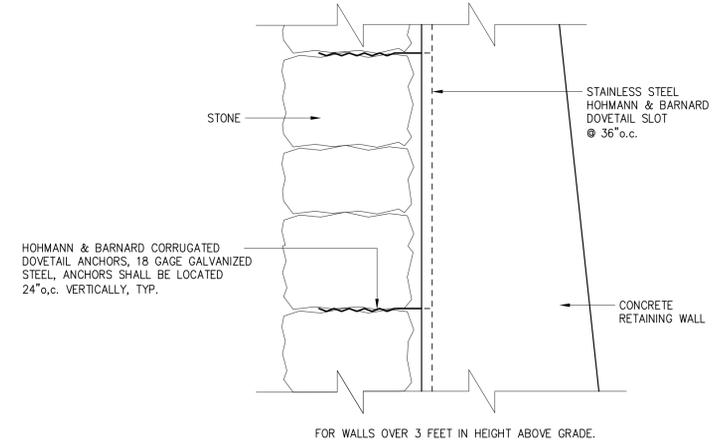
- 1) Foundations for this project consist of spread footings and foundation walls. Allowable bearing pressure is assumed to be 2.0 tons per square foot.
- 2) Excavate as required to install footings and foundation walls as detailed. Bottom 3 inches of excavations for footings shall be finished by hand shovel.

CONCRETE

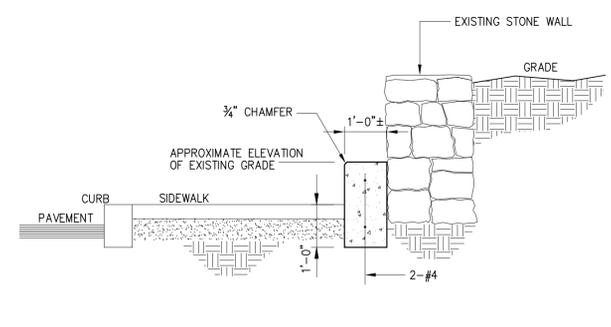
- 1) Concrete work shall conform to "Building Code Requirements for Reinforced Concrete (ACI 318)", and "Specification for Structural Concrete for Buildings (ACI 301)".
- 2) Concrete shall be controlled concrete, proportioned, mixed and placed in the presence of a representative of an approved testing agency.
- 3) Unless noted otherwise all structural concrete shall be normal weight (145 pcf), concrete having the following minimum 28 day compressive strength of:
 - a) Spread footings, and foundation walls.....3000 psi.
- 4) All concrete shall be air-entrained concrete, 6% air-entrainment +/- 1%.
- 5) Construction joints shown on drawings are mandatory. Omissions, additions or changes shall not be made except with the submittal of a written request together with drawings of the proposed joint locations for approval of the Designer.
- 6) Concrete shall be placed without horizontal construction joints except where shown or noted.

REINFORCEMENT

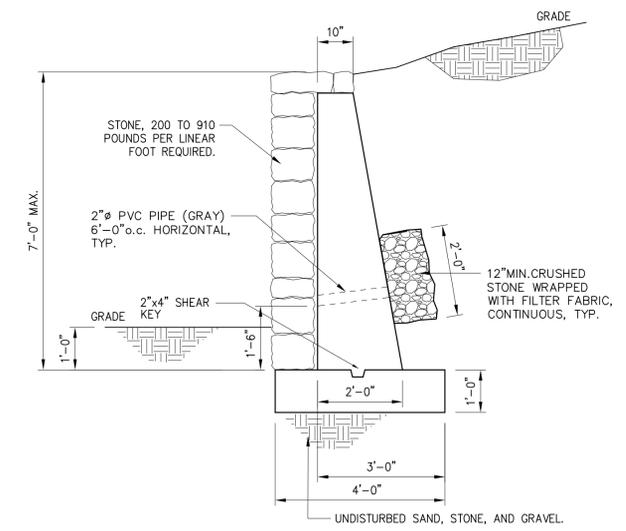
- 1) Reinforcement work of detailing, fabrication and erection shall conform to "Building Code Requirements for Reinforced Concrete (ACI 318)", "ACI Detailing Manual (SP-66)", "CRSI Manual of Standard Practice (MSP 1)".
- 2) Steel reinforcement, unless noted otherwise, shall conform to the following:
 - a) Bars.....ASTM A615 grade 60 (yield stress 60,000 psi)
- 3) Minimum concrete protective covering for reinforcement, unless noted otherwise shall be as follows:
 - a) Unformed surfaces cast against and permanently in contact with earth.....3.0"
 - b) Formed surfaces in contact with earth or exposed to weather; #5 bars and smaller.....1.5"
- 4) Reinforcement shall be continuous through construction joints.



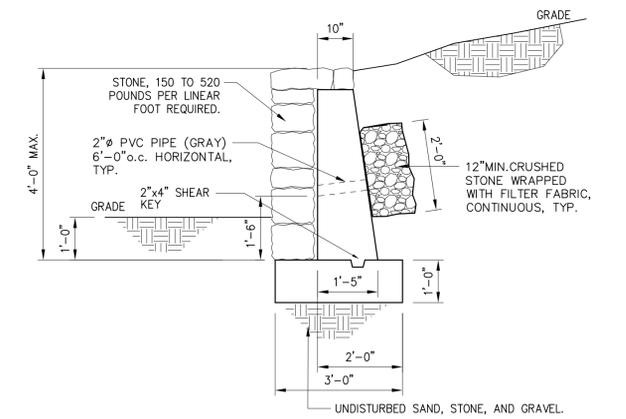
TYPICAL MASONRY TIE DETAIL
1/2" = 1'-0"



SECTION 3
SCALE: 1/2" = 1'-0"



SECTION 1
SCALE: 1/2" = 1'-0"



SECTION 2
SCALE: 1/2" = 1'-0"

DRAWN: ID	CHECKED: ID	SCALE: AS NOTED	DATE: 05/18/2009
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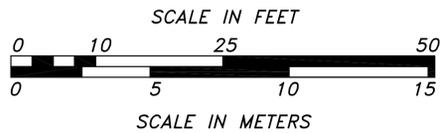
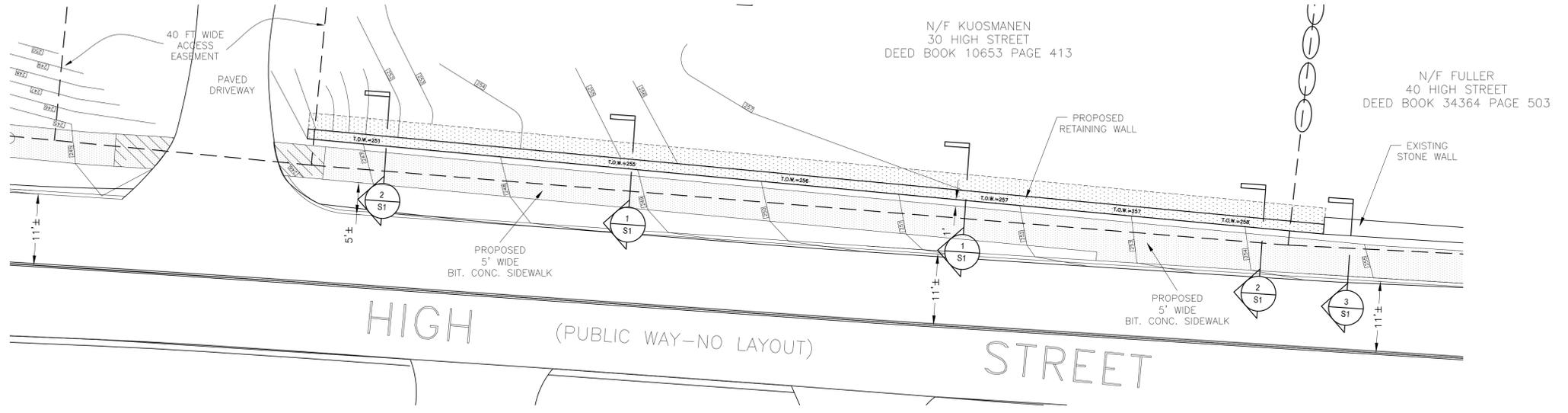
TOWN OF ACTON
30 HIGH STREET RETAINING WALLS
ACTON, MA

SITE PLAN AND SECTIONS



PROJECT NO.
09014

DRAWING
S-1



GENERAL

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FOUNDATIONS

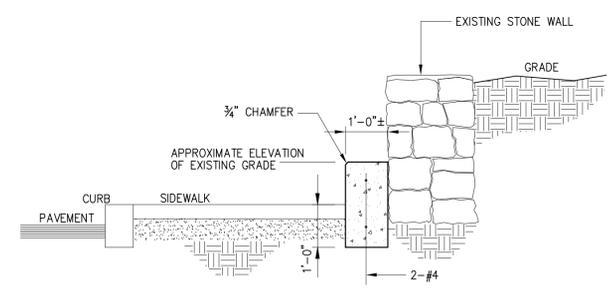
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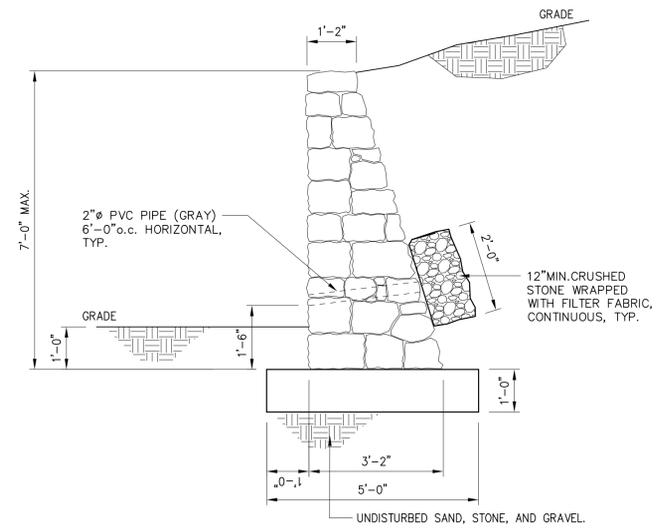
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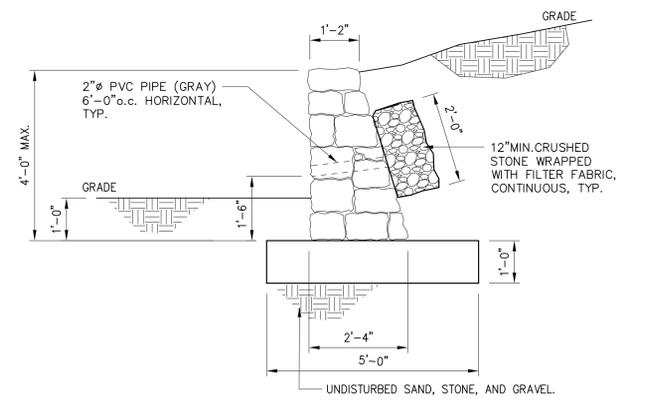
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SECTION 3
SCALE: 1/2"=1'-0"



SECTION 1A
SCALE: 1/2"=1'-0"



SECTION 2A
SCALE: 1/2"=1'-0"

DRAWN: ID	CHECKED: ID	SCALE: AS NOTED	DATE: 05/18/2009
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TOWN OF ACTON
30 HIGH STREET RETAINING WALLS
ACTON, MA

ALTERNATE No. 1
SITE PLAN AND SECTIONS



PROJECT NO.
09014

DRAWING
S-1A