

# SITE PLAN SET

## Affordable Housing Development

99 Parker Street  
Acton, Massachusetts

August 6, 2009 - Notice of Intent Submittal

### APPLICANT

RED ACRE DEVELOPMENT  
P.O. BOX 992  
ACTON, MASSACHUSETTS

### OWNER

JEANNE POTTER  
99 PARKER STREET  
ACTON, MASSACHUSETTS

LAND SURVEYING,  
CIVIL ENGINEERING &  
LANDSCAPE ARCHITECTURE



69 MILK STREET, SUITE 302  
WESTBOROUGH, MASSACHUSETTS 01580  
TELEPHONE: (508) 871-7030

152 CONANT STREET  
BEVERLY, MASSACHUSETTS 01915  
TELEPHONE: (978) 299-0447



### DRAWING INDEX:

1. COVER SHEET/LOCUS MAP
2. RECORD CONDITIONS PLAN OF LAND
3. LAYOUT & MATERIALS PLAN
4. GRADING, DRAINAGE & UTILITIES PLAN
5. LANDSCAPE PLAN
6. SITE DETAILS 1
7. SITE DETAILS 2

NORTH



LOCUS MAP

SCALE: 1" = 500'

**NOTES:**

1. THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE GROUND BY MERIDIAN ASSOCIATES, INC. FROM FEBRUARY 23-24, 2009.
2. THE LOCUS PROPERTY DEPICTED IS LOCATED IN THE RESIDENCE-4 DISTRICT.
3. THE LOCUS PROPERTY IS DEPICTED AS LOT B ON TOWN OF ACTON ASSESSOR'S MAP 1-3.
4. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. THE WETLAND FLAGS DEPICTED WERE DEMARCATED BY MASON & ASSOCIATES ON 10/8/08.
7. THE ELEVATIONS DEPICTED HEREON WERE BASED ON THE SEWER DATUM AS DEPICTED ON RECORD SEWER DRAWINGS BY WOODARD & CURRAN FOR PARKER STREET DATED MARCH, 1999, REVISED JAN '02. STARTING BENCH MARK: RECORD INVERT (OUT) OF SEWER MANHOLE #38 ON SAID PLANS, SHEET C-9, ELEVATION=166.37.
8. PROPERTY LINES DEPICTED HEREON ARE BASED ON COMPILED DEEDS AND PLANS OF RECORD. THIS PLAN IS NOT TO BE USED FOR THE RECONSTRUCTION OF BOUNDARY LINES OR FOR TITLE INSURANCE PURPOSES. ALL BOUNDARY LINES DEPICTED ARE APPROXIMATE ONLY. MAI DID NOT PERFORM A BOUNDARY RETRACEMENT SURVEY.

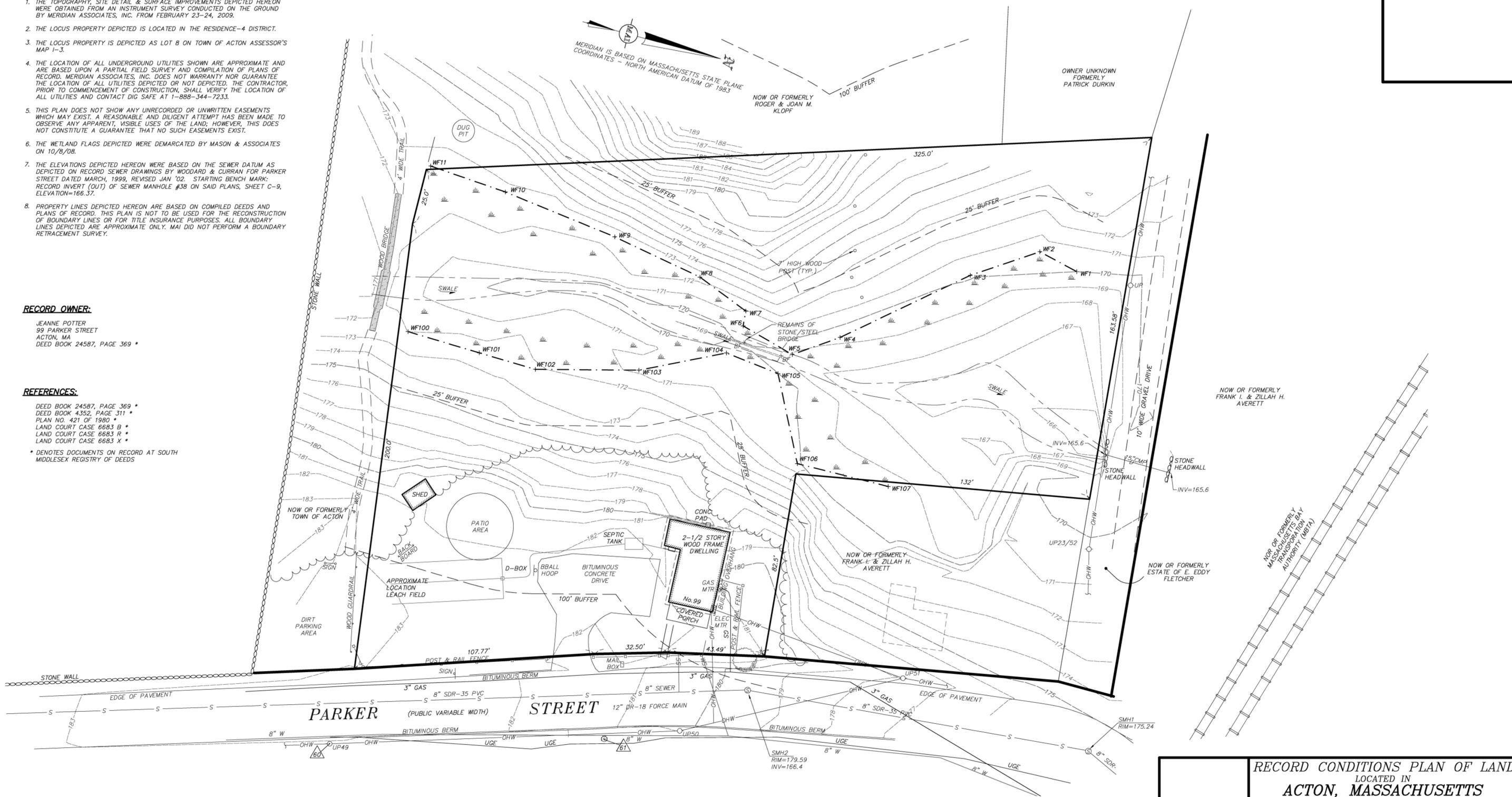
**RECORD OWNER:**

JEANNE POTTER  
99 PARKER STREET  
ACTON, MA  
DEED BOOK 24587, PAGE 369 \*

**REFERENCES:**

- DEED BOOK 24587, PAGE 369 \*
  - DEED BOOK 4352, PAGE 311 \*
  - PLAN NO. 421 OF 1980 \*
  - LAND COURT CASE 6683 B \*
  - LAND COURT CASE 6683 R \*
  - LAND COURT CASE 6683 X \*
- \* DENOTES DOCUMENTS ON RECORD AT SOUTH MIDDLESEX REGISTRY OF DEEDS

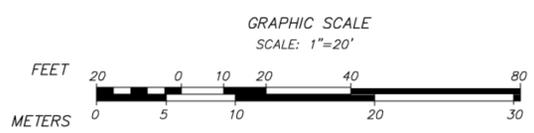
MERIDIAN IS BASED ON MASSACHUSETTS STATE PLANE COORDINATES - NORTH AMERICAN DATUM OF 1983



**TEMPORARY BENCHMARK CHART:**

T.B.M.#	DESCRIPTION	ELEVATION
60	CUT SPIKE IN UTILITY POLE NO. 49, 1.0' A.G.	184.53
61	X-CUT FRONT CAP BOLT HYDRANT	183.25

(SEE NOTE 7)



ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH SURFACE DEMARCATION NOR SUBSURFACE VERIFICATION.

**REVISIONS**

NO.	DATE	DESCRIPTION	BY	CHK'D

DWG. No. 8319REC  
BK. #478, PG. #53

RECORD CONDITIONS PLAN OF LAND  
LOCATED IN  
**ACTON, MASSACHUSETTS**  
(MIDDLESEX COUNTY)

PREPARED FOR  
**RED ACRE DEVELOPMENT**  
SCALE: 1"= 10' DATE: August 6, 2009

**MERIDIAN ASSOCIATES**  
152 CONANT STREET BEVERLY, MASSACHUSETTS 01915  
69 MILK STREET, SUITE 302 WESTBOROUGH, MASSACHUSETTS 01581  
TELEPHONE: (978) 299-9447 TELEPHONE: (508) 871-7030  
WWW.MERIDIANASSOC.COM

SHEET No. 2 OF 7 PROJECT No. 8319

**LAYOUT & MATERIALS NOTES**

ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED. ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OR TOWN AND THE MASSACHUSETTS HIGHWAY DEPARTMENT.

ACCESSIBLE CURB RAMP SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, WHICHEVER IS MORE STRINGENT.

THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:  
 DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING.  
 DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.  
 DIMENSIONS ARE TO THE CENTER OF PAVEMENT MARKINGS.  
 ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAIL CONTIGUOUS TO THE BUILDING INCLUDING ENTRANCES, DOORWAY PADS, ETC.

ALIGN WALKWAYS CENTERED ON BUILDING EXIT DOORS UNLESS OTHERWISE NOTED.

SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.

**ZONING SUMMARY**

ZONING DISTRICT: RESIDENCE 4 (R-4)		
GROUNDWATER PROTECTION DISTRICT: ZONE 3		
DIMENSIONAL REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT SIZE (S.F.)	40,000	61,923±
MINIMUM LOT FRONTAGE (FT.)	175'	183.76'±
MINIMUM LOT WIDTH (FT.)	50'	183'
MINIMUM FRONT YARD (FT.)	45'	20'± (EXIST.)
MINIMUM SIDE AND REAR YARD (FT.)	20'	10'±
MAXIMUM BUILDING HEIGHT (FT.)	36'	36'
OFF-STREET PARKING		
SINGLE-FAMILY (2 SPACES/ UNIT @ 5 UNITS)	10	11

**GENERAL NOTES**

THE EXISTING CONDITIONS SHOWN ON THIS PLAN WERE COMPILED BASED ON AVAILABLE (UNTITLED) EXISTING CONDITIONS INFORMATION AS PROVIDED BY THE PROPERTY OWNER, AND IS NOT THE RESULT OF AN ON-THE-GROUND SURVEY OR PROPERTY BOUNDARY RETRACEMENT BY MERIDIAN ASSOCIATES.

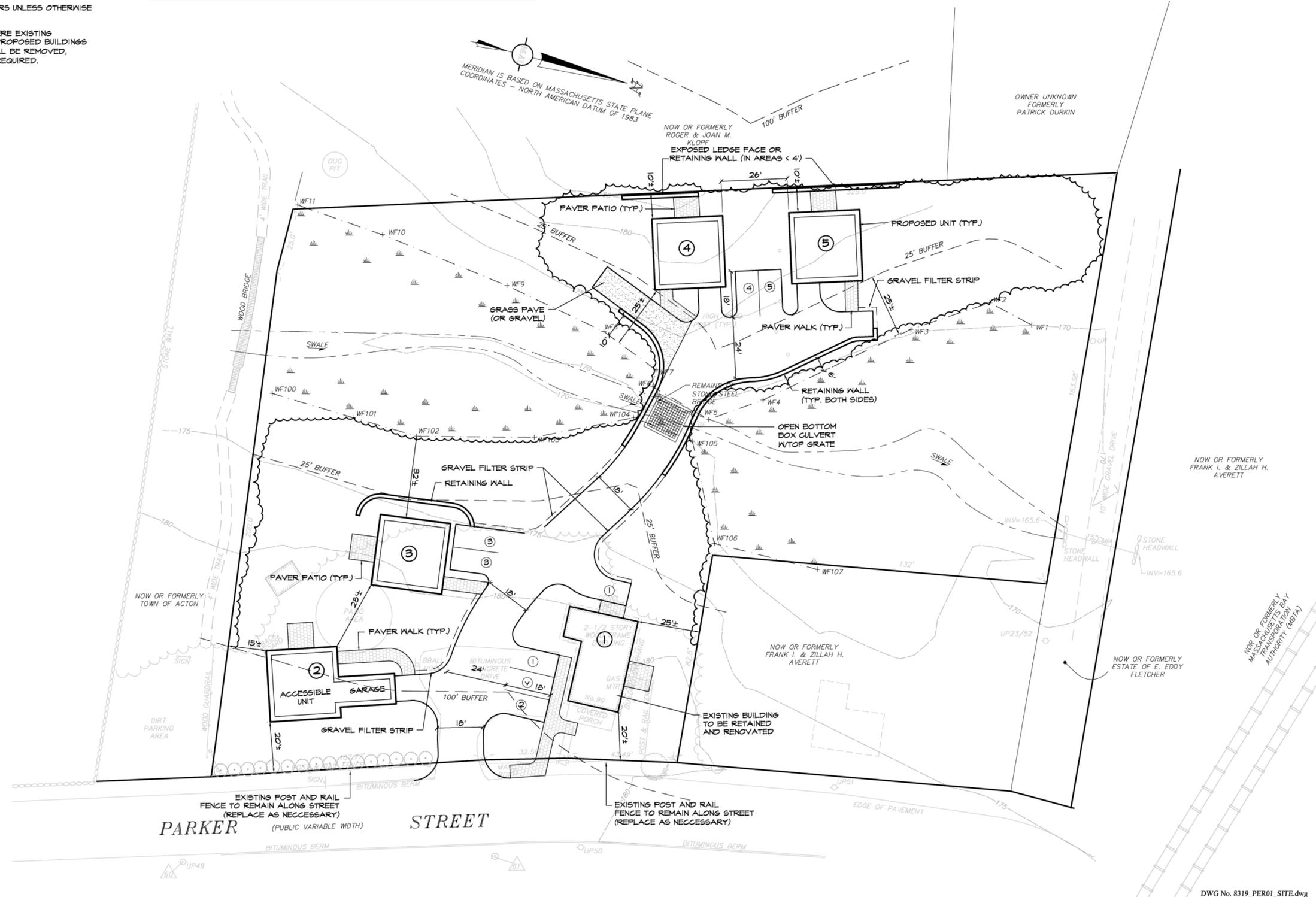
WETLAND BOUNDARY DELINEATED AND GPS LOCATED BY MASON & ASSOCIATES, INC. (M&A) 10-8-08.

WETLAND FLAGS WF-3 THROUGH WF-10, WF-101, AND WF-102 CORRESPOND TO LOCATIONS OF PREVIOUS FLAGS USED BY THE ACTON CONSERVATION COMMISSION ADMINISTRATOR TO DELINEATE THE WETLAND BOUNDARY.

A WETLAND FLAG WAS HUNG BY M&A TO REPRESENT THE WETLAND BOUNDARY NORTH OF WF-1, BUT IT WAS NOT NUMBERED I.E. WF (NOT NUMBERED) SINCE THE PROPERTY LINE BOUNDARY WAS NOT APPARENT IN FIELD.

**PROPOSED CONDITIONS LEGEND**

- PROPERTY LINE
- BUILDING
- RETAINING WALL
- AREA LIGHTING FIXTURE
- CURB RADIUS
- PAVER WALKWAY/ PATIO



NO.	DATE	DESCRIPTION	BY	CHKD.

Layout & Materials Plan  
 Affordable Housing Development  
 99 Parker Street  
 Acton, Massachusetts  
 Prepared For:  
 Red Acre Development Corp.

**MERIDIAN ASSOCIATES**  
 152 CONANT STREET  
 BEVERLY, MASSACHUSETTS 01930  
 WESTBOROUGH, MASSACHUSETTS 01580  
 TELEPHONE: (508) 971-0500  
 TELEPHONE: (978) 259-9447

DATE:  
 August 6, 2009  
 SCALE:  
 1" = 20'  
 PROJECT No.  
 8319  
 SHEET No.  
 3 OF 7

**GRADING, AND DRAINAGE & UTILITY NOTES:**

EACH BUILDING TO BE SERVICED BY FOUNDATION DRAINS DISCHARGING TO A RAIN GARDEN (ONE PIT PER BUILDING) FOR DISCHARGE, WHERE WARRANTED, TO THE SURFACE.

ALL WORK TO BE DONE WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN AND MASSACHUSETTS HIGHWAY DEPARTMENT.

THE CONTRACTOR SHALL PRESERVE FROM DAMAGE ALL VEGETATION DESIGNATED TO REMAIN AS SHOWN ON THE DRAWINGS, FLAGGED IN THE FIELD OR AS DIRECTED BY THE LANDSCAPE ARCHITECT. THE LIMIT OF CLEARING SHALL BE IN ACCORDANCE WITH LIMIT OF WORK AS SHOWN ON THE DRAWINGS, UNLESS OTHERWISE SPECIFIED. NO TREES SHALL BE CUT, REMOVED, DESTROYED OR TRIMMED OUTSIDE THE LIMIT OF WORK.

ALL ON-SITE DRAIN LINES SHALL BE SMOOTH WALLED HDPE PIPE UNLESS OTHERWISE NOTED. UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE AND ASSUMED. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-344-1233 TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE DONE UNTIL UTILITY COMPANIES ARE PROPERLY NOTIFIED IN ADVANCE.

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CONSTRUCTION SHALL COMPLY WITH ALL TOWN OF ACTON AND MASSACHUSETTS HIGHWAY DEPARTMENT REQUIREMENTS FOR PAVING, PAVEMENT CUTTING, EXCAVATION, UTILITY CONNECTIONS, BACKFILLING, AND PATCHING.

PROJECT TO BE SERVICED BY MUNICIPAL WATER AND SANITARY SEWER AND TELEPHONE, ELECTRICAL AND NATURAL GAS UTILITIES.

ALL BUILDINGS SHALL BE SERVICED BY CONNECTIONS TO THE PROPOSED WATER, SEWER, GAS AND UNDERGROUND TELEPHONE, ELECTRIC AND CABLE DEPICTED ON THIS PLAN. FOR CLARIFICATION PURPOSES THE INDIVIDUAL BUILDING CONNECTIONS HAVE NOT BEEN SHOWN.

PROJECT SHALL COMPLY WITH MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION STORMWATER MANAGEMENT REGULATIONS.

SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH EROSION CONTROL FABRIC.

**PROPOSED CONDITIONS LEGEND:**

ROOF DRAIN	—RD—	FLARED END	◁ FE
DRAIN LINE	—D—	RIP-RAP APRON	◁
CATCH BASIN	◊ CB	INFILTRATION CHAMBERS	◻ INFL
DRAIN MANHOLE	○ DMH	PROPOSED SPOT ELEVATION	+ 262.60
STORMCEPTOR UNIT	○ STC	EROSION CONTROL BARRIER	ECB
DOMESTIC WATER LINE	—DW—	PAD MOUNTED TRANSFORMER	T
FIRE WATER LINE	—FW—	INVERT ELEVATION	INV.
WATER GATE	⊗ WG	FIRST FLOOR ELEVATION	F.F.E.
SEWER LINE	—S—	BASEMENT FLOOR ELEVATION	B.F.E.
GAS SERVICE	—G—	PROPOSED CONTOUR	—265—
UNDERGROUND ELEC., TELE. & CABLE	—UTEG—	PROPOSED LIMIT OF CLEARING	~
HYDRANT	⊕ HYD	PROPOSED SITE LIGHTING	●

**GENERAL NOTES**

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WETLAND BOUNDARY DELINEATED AND GPS LOCATED BY MASON & ASSOCIATES, INC. (M&A) 10-8-08.

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**SANITARY SEWER RIM AND INVERT SCHEDULE**

SMH1 RIM=175.50 INV=174.25 (4")IN(BLD64) INV=173.15 (4")IN(BLD65) INV=173.00 (4")OUT(SMH2)
SMH2 RIM=176.10 INV=172.68 (4")IN(SMH1) INV=172.58 (4")OUT(SMH3)
SMH3 RIM=179.30 INV=172.12 (4")IN(SMH2) INV=172.50 (4")IN(BLD61) INV=172.50 (4")IN(BLD63) INV=172.02 (6")OUT(SMH4)
SMH4 RIM=181.67 INV=171.64 (6")IN(SMH3) INV=172.00 (4")IN(BLD62) INV=171.54 (6")OUT(SMH5)
SMH5 (DROP MANHOLE) RIM=181.40 INV=171.20 (6")IN(SMH4) INV=166.71 (6")OUT(ESMH)

**EROSION CONTROL AND STABILIZATION PROGRAM**

THE CONTRACTOR SHALL IMPLEMENT THE CONSTRUCTION POLLUTION PREVENTION PLAN FOR THE PROJECT INCLUDING INSTALLATION AND MAINTENANCE OF ALL CONTROL MEASURES OUTLINED IN THE SWPPP INCLUDING EROSION CONTROL BARRIERS, ANTI-TRACKING PADS AND OTHER EROSION AND SEDIMENTATION CONTROLS, STORMWATER MANAGEMENT CONTROLS, SOLID WASTE CONTROLS AND SPILL PREVENTION CONTROLS.

THE LOCATION OF EROSION CONTROL BARRIERS AND SEDIMENTATION AND POLLUTION CONTROL SYSTEMS SHOWN ON DRAWINGS ARE INTENDED TO BE MINIMUM REQUIREMENTS AND A GUIDE FOR THE PLACEMENT OF THESE BARRIERS. OTHER MEASURES MAY BE WARRANTED BASED UPON EXPERIENCE AT THE SITE. WHEN NO SEDIMENTATION CONTROL SYSTEM IS SHOWN ON THE DRAWING, THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH A SYSTEM TO PREVENT SILTATION OR POLLUTION OF ADJACENT PROPERTY, WETLANDS, OR BUFFER ZONES. THE SYSTEMS SHOWN SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PLACING ADDITIONAL BARRIERS OR REPLACING BARRIERS AS REQUIRED BY SITE CONDITIONS. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT AND ADDITIONS TO THESE SYSTEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AS CONSTRUCTION PROGRESSES AND SEASONAL CONDITIONS DICTATE, MORE SILTATION CONTROL FACILITIES MAY BE REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS NEW CONDITIONS THAT MAY BE CREATED.

ALL SLOPES WITH SURFACE GRADES EQUAL TO OR STEEPER THAN 3:1 SHALL BE STABILIZED WITH JUTE MATTING.

REQUIRED SEDIMENTATION CONTROL FACILITIES MUST BE CONSTRUCTED, CLEARLY VISIBLE, AND IN OPERATION PRIOR TO REMOVAL OF STUMPS AND/OR OTHER CONSTRUCTION. UNLESS OTHERWISE NOTED, SUCH FACILITIES SHALL REPRESENT THE LIMIT OF WORK. NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME DURING THE CONSTRUCTION PERIOD.

TEMPORARY DIVERSION DITCHES, PERMANENT DITCHES, CHANNELS, EMBANKMENTS AND ANY DENuded SURFACE WHICH WILL BE EXPOSED FOR A PERIOD OF 14 DAYS SHALL BE CONSIDERED CRITICAL STABILIZATION AREAS. THESE AREAS SHALL BE MULCHED WITH STRAW. MULCH SHALL BE SPREAD UNIFORMLY IN A CONTINUOUS BLANKET OF SUFFICIENT THICKNESS TO COMPLETELY HIDE THE SOIL FROM VIEW.

SEDIMENT CONTROL MEASURES SHALL BE PROVIDED AROUND ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES AS DETAILED ON THE DRAWINGS OR AS REQUIRED TO PREVENT SEDIMENTATION.

HAYBALES, SILT FENCE OR OTHER SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL SILTATION CONTROLS. THE CONTRACTOR SHALL NOT REMOVE ANY SILTATION CONTROLS UNTIL AUTHORIZED (IN WRITING) BY THE OWNER OR HIS REPRESENTATIVE.

THE CONTRACTOR SHALL HAVE, AT THE START OF SOIL DISTURBANCE AN ADEQUATE RESERVE OF SILT FENCE AND HAY BALES IN GOOD CONDITION, AND SUFFICIENT STAKES FOR STAKING THESE BALES.

DENuded SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASONS.

ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 SHALL BE SEEDED OR PROTECTED BY THAT DATE.

LOAMING AND SEEDING OR MULCHING OF NON-PAVEMENT AREAS SHALL TAKE PLACE AS SOON AS PRACTICABLE.

ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK AND STABILIZED TO PREVENT EROSION.

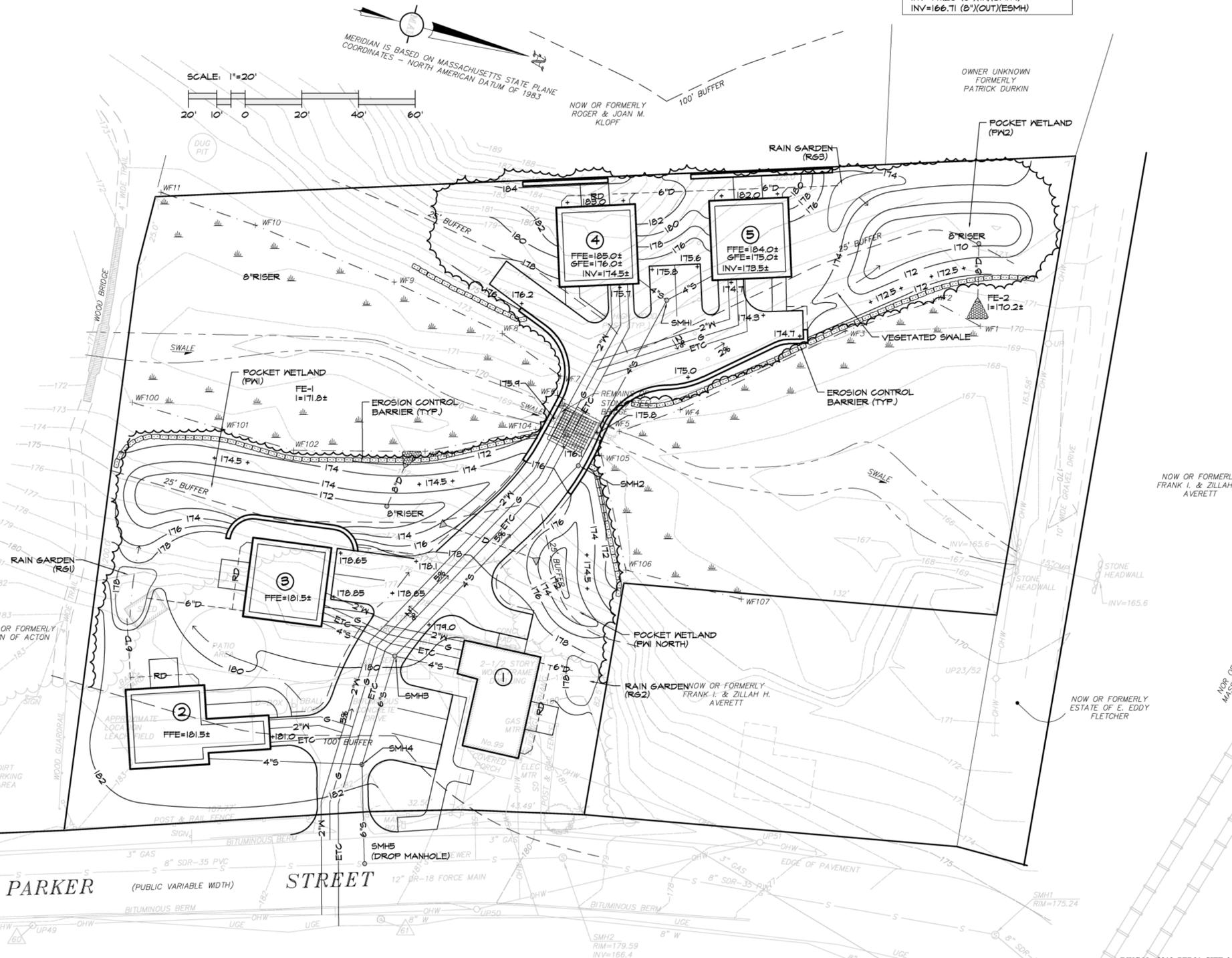
STABILIZED CONSTRUCTION ACCESS PADS SHALL BE INSTALLED AT ALL CONSTRUCTION DRIVENAYS ONTO THE PUBLIC MAYS TO PREVENT THE TRACKING OF SEDIMENT OFF-SITE.

ANY SEDIMENTATION OR EROSION DAMAGE CAUSED AS A RESULT OF THIS PROJECT TO ANY WETLAND RESOURCE AREAS OR IDENTIFIED WETLAND BUFFER ZONES BEYOND THE LIMIT OF WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND RESTORE AT NO COST TO THE OWNER. IF SEDIMENT REACHES THESE AREAS, THE OWNER SHALL BE CONTACTED IMMEDIATELY BY THE CONTRACTOR. A PLAN FOR ABATEMENT OF THE PROBLEM AND RESTORATION SHALL BE PREPARED BY THE CONTRACTOR AS SOON AS POSSIBLE.

EROSION CONTROL BARRIER SHALL BE INSTALLED AS INDICATED ON THE PLANS AND AS REQUESTED BY THE OWNER OR HIS REPRESENTATIVE TO ADDRESS FIELD CONDITIONS.

USE MEANS NECESSARY TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC, TO NEIGHBORS, AND TO OTHER WORK BEING PERFORMED ON OR NEAR THE SITE.

THE 'SILT SACK' BY AMERICAN CONSTRUCTION FABRICS, OR EQUAL, SHALL BE PROVIDED WITHIN ALL DRAIN INLETS PRIOR TO CONSTRUCTION ACTIVITIES AND WITHIN ALL PROPOSED DRAIN INLETS PRIOR TO PERMANENT PAVEMENT TO CONTROL SILTATION.



<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 10%;">NO.</th> <th style="width: 10%;">DATE</th> <th style="width: 80%;">DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION													<p>BY</p> <p>DATE</p> <p>NO.</p>
NO.	DATE	DESCRIPTION														
<p><b>Grading, Drainage &amp; Utilities Plan</b>  <b>Affordable Housing Development</b>                  99 Parker Street                  Acton, Massachusetts                  Prepared For:  <b>Red Acre Development Corp.</b></p>																
<p><b>MERIDIAN ASSOCIATES</b>                  152 CONANT STREET                  BEVERLY, MASSACHUSETTS 01930                  WESTBOROUGH, MASSACHUSETTS 01581                  TELEPHONE: (508) 971-0500</p>																
<p>DATE: August 6, 2009</p> <p>SCALE: 1" = 20'</p> <p>PROJECT No. 8319</p> <p>SHEET No. 4 OF 7</p>																

**CONCEPTUAL PLANT SCHEDULE**

TREES		
ACER RUBRUM 'AUTUMN GLORY'	AUTUMN GLORY RED MAPLE	1-1 1/2" GAL
BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	5-6' CLUMP
CERCIS CANADENSIS	EASTERN REDBUD	4-5' HT
JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	4-5' HT
PINUS STROBUS	EASTERN WHITE PINE	5-6' HT
THUJA NIGRA	DARK GREEN ARBORVITAE	5-6' HT
SHRUBS AND PERENNIALS		
AZALEA VISCOSUM	SWAMP AZALEA	18"-24" HT
CORNUS SERICEA	RED TWIG DOGWOOD	2'-3' HT
ECHINACEA PURPEA	PURPLE CONEFLOWER	1 GAL.
HEMEROCALLIS SPP.	DAYLILY	1 GAL.
ILEX GLABRA	INKBERRY	18"-24" HT
ILEX VERTICILLATA	WINTERBERRY	18"-24" HT
MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	2'-3' HT
RHODODENDRON 'NOVA ZEMBLA'	RHODODENDRON	2'-3' HT
RHODODENDRON 'FJM'	RHODODENDRON	2'-3' HT
RUDBECKIA FULGIDA	BLACK EYED SUSAN	1 GAL.
SPIRAEA x BUMALDA	A. WATERER SPIRAEA	18"-24" HT
OSMUNDA CINNAMONEA	CINNAMON FERN	1 GAL.
ONOCLEA SENSIBILIS	SENSITIVE FERN	1 GAL.
VACCINIUM ANGSTUFOLIUM	LOWBUSH BLUEBERRY	18"-24" HT
VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	18"-24" HT

**LANDSCAPE & LIGHTING NOTES**

ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.

ALL PLANTING BEDS TO BE FILLED WITH SOIL AND CROWNED ABOVE ADJACENT LAWN OR IMPROVED AREAS.

ALL PLANTING BEDS TO BE MULCHED WITH AGED HARDWOOD BARK MULCH TO A DEPTH OF THREE (3) INCHES. PROVIDE FIVE (5) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB PLANTINGS AS DEPICTED ON PLAN.

PLANT MATERIALS SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS THEY BORE TO GRADE IN THE NURSERY.

ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL WRITTEN ACCEPTANCE FROM THE OWNER OR HIS REPRESENTATIVE.

LOAM AND SEED ALL DISTURBED AREAS UPON COMPLETION OF FINAL GRADING. LAWN AREAS THAT DO NOT SHOW A PROMPT 'CATCH' SHALL BE RESEED AT THE SAME RATE AND IN THE SAME MANNER AS BEFORE, UNTIL AN ACCEPTABLE GROWTH OF GRASS IS ESTABLISHED OVER THE ENTIRE AREA.

PLANTING MIX SHALL CONSIST OF 3 PARTS LOAM (TOPSOIL), 1 PART SAND, 1 PART ORGANIC PEAT MOSS. INCORPORATE COMPONENTS, FERTILIZE AND LIME AS REQUIRED TO SATISFY SPECIFIED PARAMETERS.

SPACE PLANTS AT SCALED DISTANCES SHOWN ON DRAWINGS UNLESS OTHERWISE INDICATED. ANY PROPOSED SUBSTITUTION OF PLANT MATERIAL SHALL ONLY BE MADE AFTER PRIOR APPROVAL OF LANDSCAPE ARCHITECT.

AREAS LABELED CONSERVATION SEED MIX TO BE SEEDED WITH 'CONSERVATION SEED MIX' FROM AMHERST WETLAND PLANTS, INC.

AREAS LABELED WETLAND SEED MIX TO BE SEEDED WITH 'WETLAND SEED MIX' FROM NEW ENGLAND WETLAND PLANTS, INC.

**PROPOSED CONDITIONS LEGEND**

- PROPERTY LINE \_\_\_\_\_
- EDGE OF LAWN AREA \_\_\_\_\_
- EXISTING TREE TO BE REMOVED X
- PROPOSED WETLAND SEED MIX [Pattern]
- PROPOSED CONSERVATION SEED MIX [Pattern]
- PROPOSED SHRUB [Symbol]
- PROPOSED TREE [Symbol]

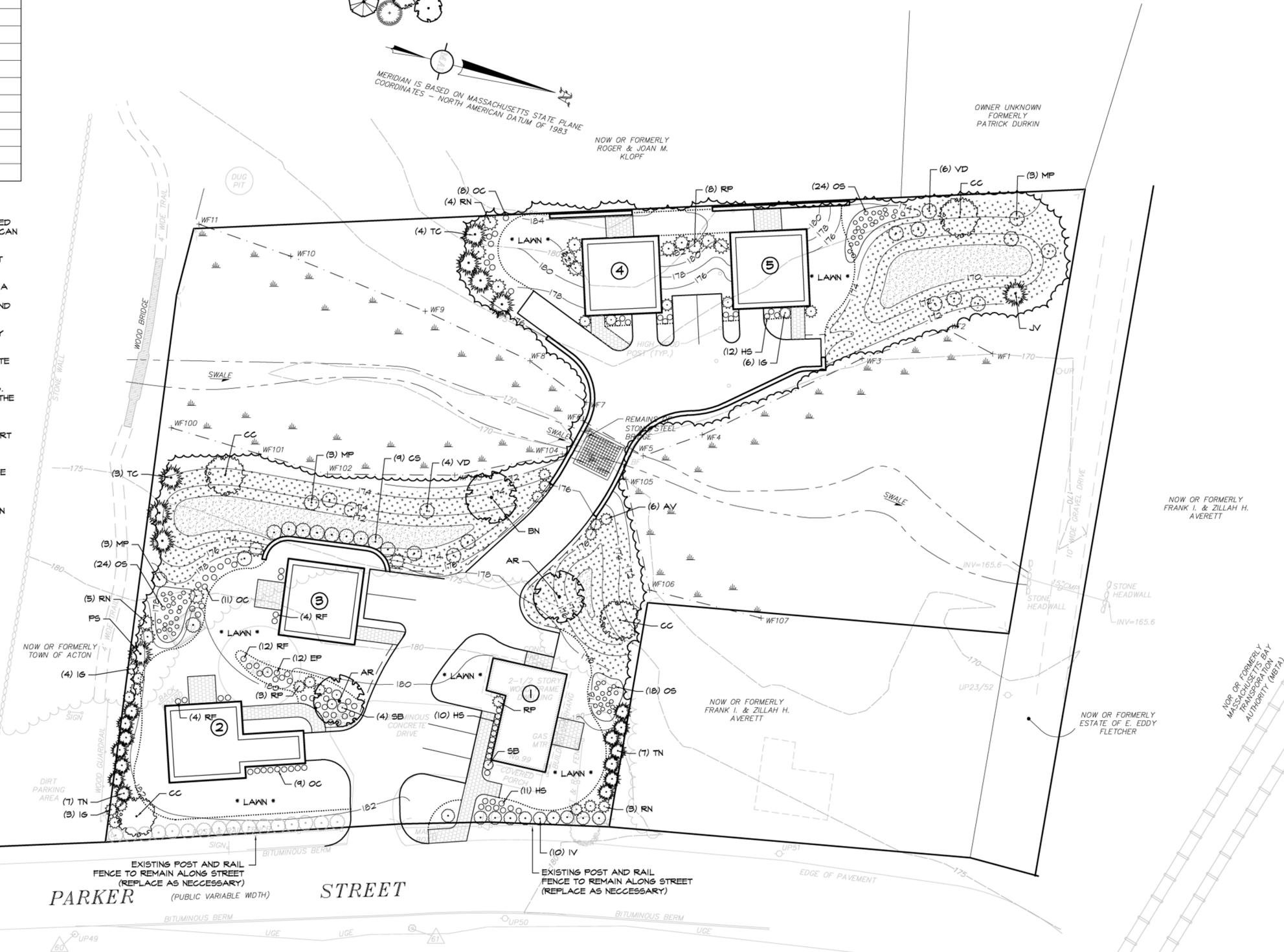
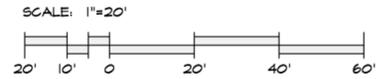
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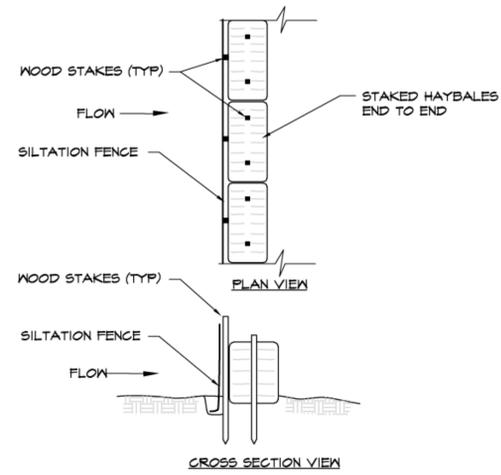


NO.	DATE	DESCRIPTION	BY	CHKD

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**Affordable Housing Development**  
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 Acton, Massachusetts  
 Prepared For:  
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**MERIDIAN ASSOCIATES**  
 152 CONANT STREET  
 WESTBOROUGH, MASSACHUSETTS 01581  
 TELEPHONE: (978) 259-9447

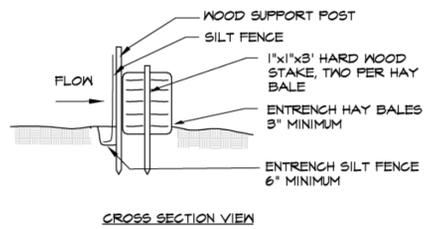
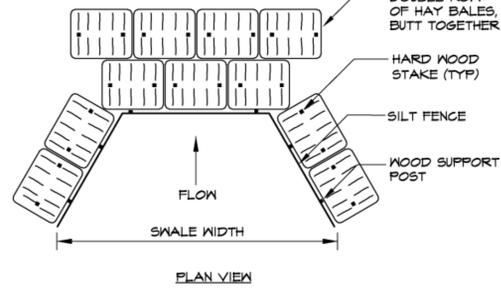
DATE:  
 August 6, 2009  
 SCALE:  
 1" = 20'  
 PROJECT No.  
 8319  
 SHEET No.  
 5 OF 7



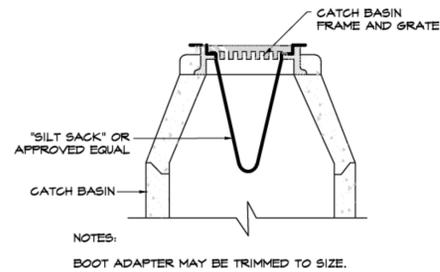
**NOTES:**

- BALES TO BE TIED WITH ORGANIC FIBER TWINE ONLY, NO PLASTIC OR WIRE.
- HAYBALES TO BE SECURED WITH A MINIMUM OF TWO 1"x1"x3" HARD WOOD STAKES, DRIVEN 18" MIN. INTO GRADE.
- ENTRENCH HAYBALES 3" BELOW EXISTING GRADE.
- ENTRENCH SILTFENCE 6" BELOW EXISTING GRADE.

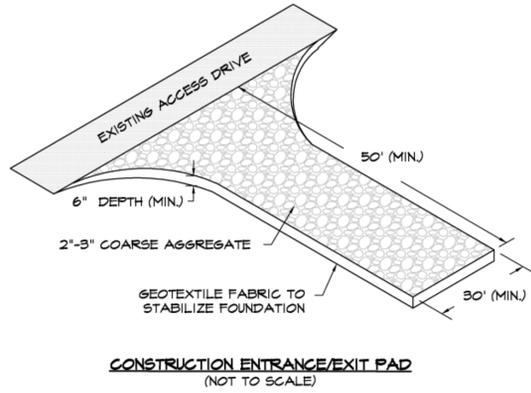
**EROSION CONTROL BARRIER (ECB)**  
(NOT TO SCALE)



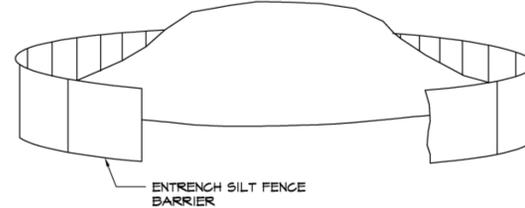
**HAY BALE CHECK DAM (HCD)**  
(NOT TO SCALE)



**FILTER BAG**  
(NOT TO SCALE)



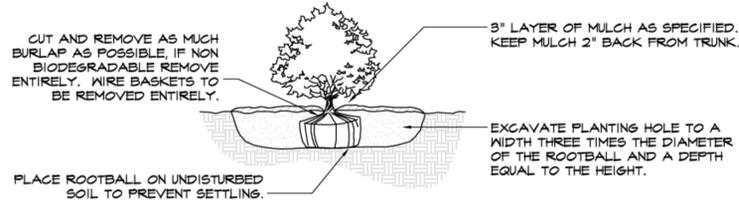
**CONSTRUCTION ENTRANCE/EXIT PAD**  
(NOT TO SCALE)



**NOTES:**

- LOCATE STOCKPILE IN A DRY AND STABLE AREA OUTSIDE OF 100' WETLAND BUFFER ZONE.
- STABILIZE STOCKPILE WITH ANNUAL RYEGRASS, MULCH OR EROSION CONTROL BLANKETS.

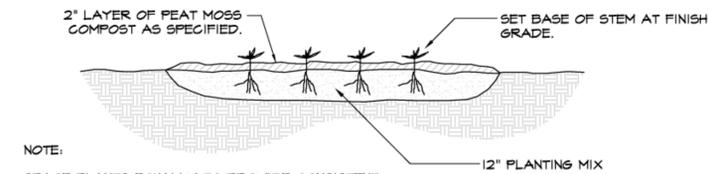
**SOIL STOCKPILE**  
(NOT TO SCALE)



**NOTES:**

- BACKFILL PLANTING HOLE WITH PLANTING MIX AS SPECIFIED.
- BACKFILL HALF THE SOIL AND WATER TO SETTLE OUT AIR POCKETS, COMPLETE BACKFILLING AND REPEAT WATERING.
- IF ROOTS ARE CIRCLING THE ROOTBALL EXTERIOR, CUT ROOTS VERTICALLY IN SEVERAL PLACES PRIOR TO PLANTING.

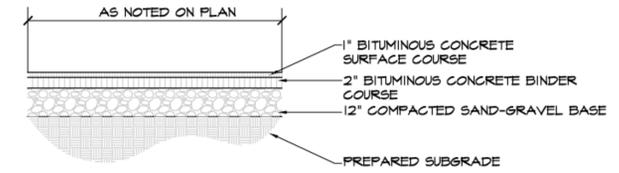
**SHRUB PLANTING**  
NOT TO SCALE



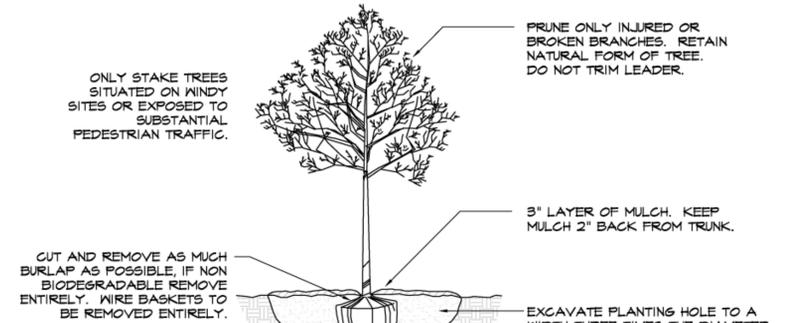
**NOTE:**

- SPACE PLANTS EQUALLY TO PROVIDE CONSISTENT COVER OVER INDICATED PLANTING BED.
- TILL ENTIRE PLANTING BED TO A MINIMUM DEPTH OF 6" PRIOR TO PLANTING GROUNDCOVER.

**GROUNDCOVER PLANTING**  
(NOT TO SCALE)



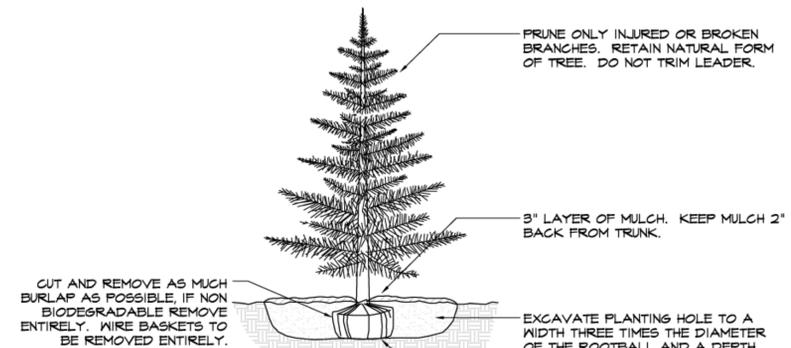
**BITUMINOUS CONCRETE PAVEMENT SECTION**  
(NOT TO SCALE)



**NOTES:**

- BACKFILL PLANTING HOLE WITH PLANTING MIX AS SPECIFIED.
- BACKFILL HALF THE SOIL AND WATER TO SETTLE OUT AIR POCKETS, COMPLETE BACKFILLING AND REPEAT WATERING.
- IF ROOTS ARE CIRCLING THE ROOTBALL EXTERIOR, CUT ROOTS VERTICALLY IN SEVERAL PLACES PRIOR TO PLANTING.

**TREE PLANTING**  
(NOT TO SCALE)



**NOTES:**

- BACKFILL PLANTING HOLE WITH PLANTING MIX AS SPECIFIED.
- BACKFILL HALF THE SOIL AND WATER TO SETTLE OUT AIR POCKETS, COMPLETE BACKFILLING AND REPEAT WATERING.
- IF ROOTS ARE CIRCLING THE ROOTBALL EXTERIOR, CUT ROOTS VERTICALLY IN SEVERAL PLACES PRIOR TO PLANTING.

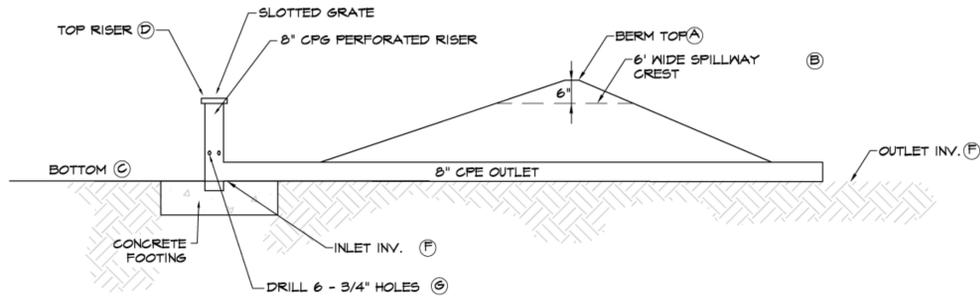
**EVERGREEN TREE PLANTING**  
NOT TO SCALE

NO.	DATE	DESCRIPTION	BY	CHKD.

Site Details 1  
Affordable Housing Development  
99 Parker Street  
Acton, Massachusetts  
Prepared For:  
Red Acre Development Corp.

**MERIDIAN ASSOCIATES**  
152 CONANT STREET  
BEVERLY, MASSACHUSETTS 01915  
TELEPHONE: (978) 259-9447  
69 MILK STREET, SUITE 302  
WESTBOROUGH, MASSACHUSETTS 01581  
TELEPHONE: (508) 971-7000

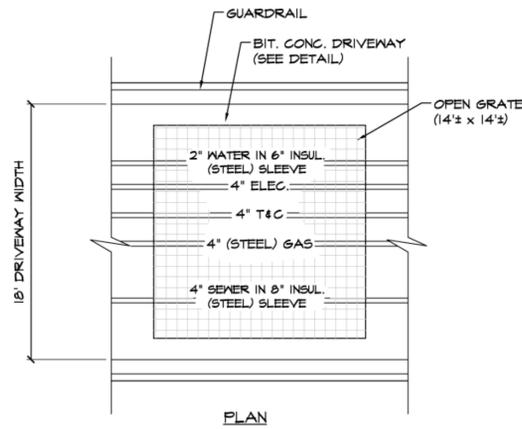
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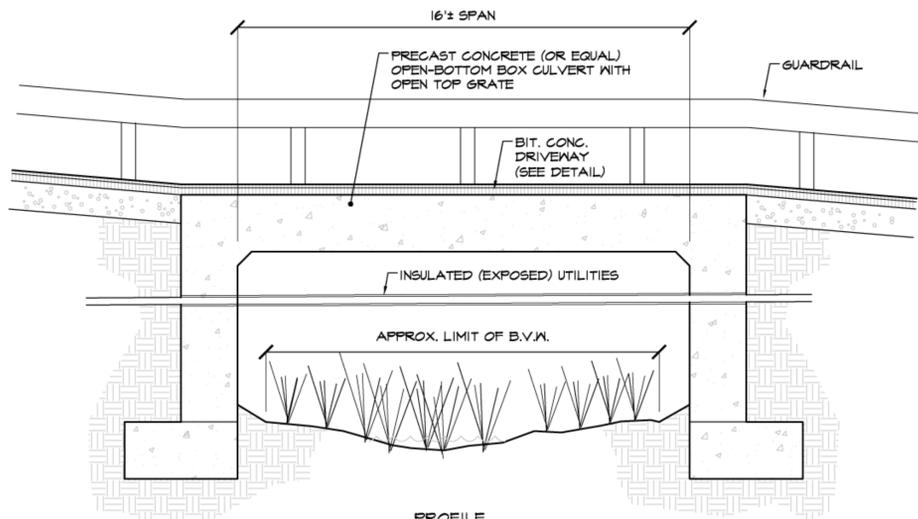
**OUTLET CONTROL RISER (OCR)**  
(NOT TO SCALE)

POCKET WETLAND	(A)	(B)	(C)	(D)	(E)	(F)	(G)
PW1	174.50	174.00	172.00	173.80	172.00	171.80	172.50
PW2	172.50	172.00	170.50	171.80	170.50	170.20	171.00

**SCHEDULE**

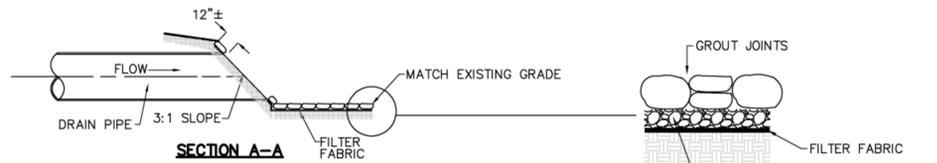


**PLAN**



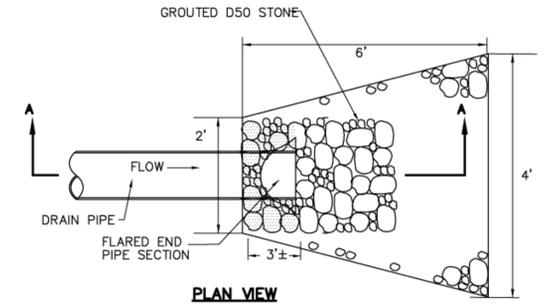
\*NOTE:  
PROVIDE INSULATION ON WATER AND SEWER AT CROSSING AND WHERE COVER IS LESS THAN 5' WATER AND 4' SEWER

**SCHMATIC OF OPEN BOTTOM BOX CULVERT**  
(NOT TO SCALE)

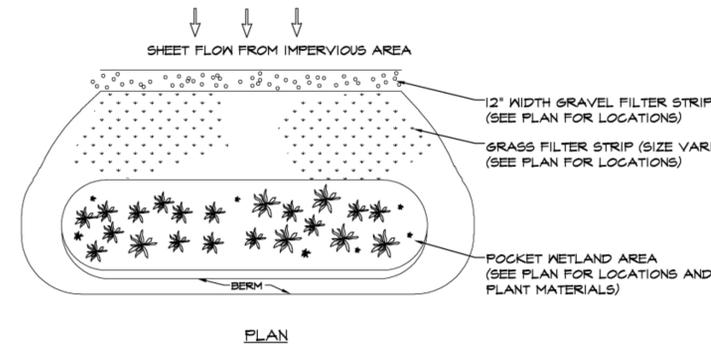


NOTE: ALL RIP-RAP STONE SHALL BE HAND-CHINKED AND SHALL COMPLY WITH MASSACHUSETTS HIGHWAY DEPARTMENT STANDARDS.

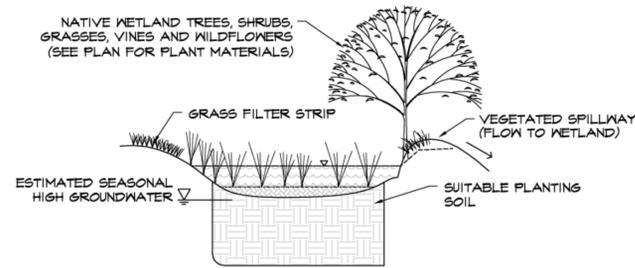
**STONE RIPRAP APRON**  
(NOT TO SCALE)



**PLAN VIEW**

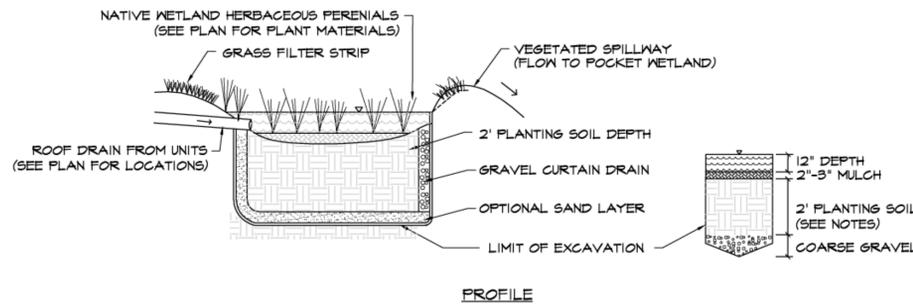


**PLAN**



**PROFILE**

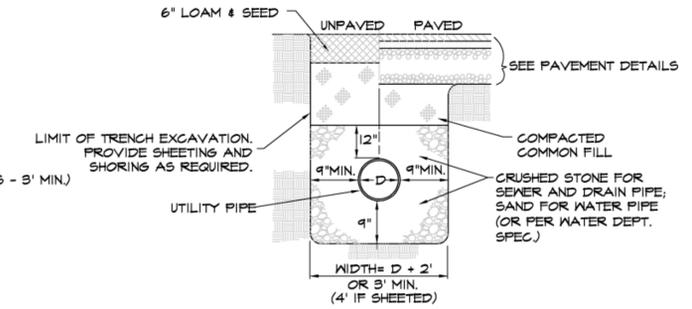
**SCHMATIC OF POCKET WETLAND SYSTEM**  
(NOT TO SCALE)



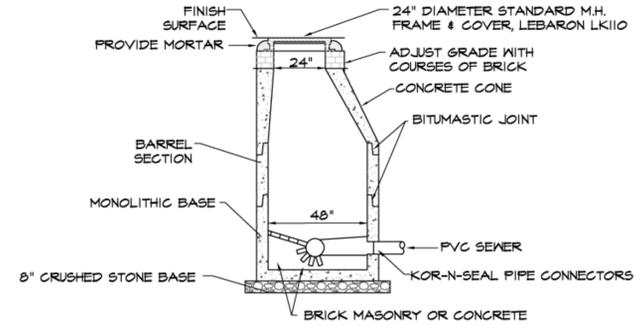
**PROFILE**

NOTES:  
SEE PLANS FOR LOCATIONS AND SIZES OF RAINGARDENS.  
THE PLANTING MIX SHOULD BE A MIXTURE OF SAND, COMPOST AND SOIL. SPECIFICALLY, 40% SAND, 20-30% TOPSOIL, AND 30-40% COMPOST. THE CLAY CONTENT SHOULD NOT EXCEED 15%. MIX MUST BE UNIFORM, FREE OF STONES, STUMPS, ROOTS OR SIMILAR OBJECTS LARGER THAN 2 INCHES.

**SCHMATIC OF RAINGARDEN SYSTEM**  
(NOT TO SCALE)



**TYPICAL TRENCH SECTION**  
NOT TO SCALE



NOTES:  
1. MANHOLE DESIGN SHALL CONFORM TO LATEST ASTM C478.  
2. REINFORCING STEEL SHALL CONFORM TO LATEST ASTM A 185.  
3. CONCRETE COMPRESSIVE STRENGTH-4,000 PSI @ 28 DAYS.  
4. ONE FOUR MONOLITHIC BASE.  
5. STEPS-STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC (PS2-PFSL M.A. INDUSTRIES, INC.) CONFORMING TO LATEST ASTM C478 PARA-12.  
6. KOR-N-SEAL FLEXIBLE PIPE CONNECTORS SHALL CONFORM TO LATEST ASTM C923, A167.

**SEWER MANHOLE DETAIL (SMH)**  
(NOT TO SCALE)

NO.	DATE	DESCRIPTION	BY	CHKD

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