

**COMPREHENSIVE PERMIT
DEVELOPMENT IMPACT REPORT**

(Please type or print information in blanks below)

1. Name of Proposed Subdivision Marsh View
2. Location 93 Central Street
3. Name of Applicant(s) Marsh View LLC
4. Brief Description of the Proposed Project Affordable housing project of 4-3 bdrm detached. Total (4 buildings) on site of 1 acre.
5. Name of individual preparing this DIR Mark T. Donohoe

Address Acton Survey & Engineering, Inc. PO BOX 666, Acton MA

Business Phone 978-263-3666 Fax 978-635-0218 E-mail actonsurvey@verizon.net

Professional Credentials Professional Engineer

A. Site Description

7. Present permitted and actual land uses by percentage of the site.

<i>Uses</i>	<i>Percentage</i>
Industrial	
Commercial	
Residential	100%
Forest	
Agricultural	
Other (specify)	

8. Total acreage on the site: 1 acre.

Approximate Acreage	At Present	After Completion
Meadow or Brushland (non-agriculture)		
Forested	.57	.10
Agricultural (includes orchards, cropland, pasture)		
Wetland		
Water Surface Area		
Flood Plain		
Unvegetated (rock, earth, or fill)		
Roads, buildings and other impervious surfaces	.04	.26
Other (indicate type) LAWN	.29	.54

9. List the zoning districts in which the site is located and indicate the percentage of the site in each district. *Note: include overlay zoning districts.*

<i>District</i>	<i>Percentage</i>
<i>R-2</i>	<i>100%</i>
<i>Groundwater Protection District Zone 4</i>	<i>100%</i>

6. Predominant soil type(s) on the site: Scituate fine sandy loam, Charlton fine sandy loam.

Soil drainage (Use the US Soil Conservation Service's definition)

<i>Soil Type</i>	<i>% of the Site</i>
Well drained	%
Moderately well drained	100%
Poorly drained	%

7. Are there bedrock outcroppings on the site? **yes**
8. Approximate percentage of proposed site with slopes between:

<i>Slope</i>	<i>% of the Site</i>
0 — 10%	100%
10 15%	%
Greater than 15%	0

9. In which of the Groundwater Protection Districts is the site located? How close is the site to a public well? Zone(s) 4 Proximity to a public well: 6,500feet
10. Does the project site contain any species of plant or animal life that is identified as rare or endangered? (Consult with the Massachusetts National Heritage Program and the Acton Natural Resources Director). **no**

If yes, specify

11. Are there any unusual or unique features on the site such as trees larger than 30 inches D.B.H., bogs, kettle ponds, eskers, drumlins, quarries, distinctive rock formation or granite bridges? **no**

If yes, specify:

16. Are there any established footpaths running through the site or railroad right of ways? **No** If yes, specify: _____

17. Is the site presently used by the community or neighborhood as an open space or recreation area? **No**

Is the site adjacent to conservation land or a recreation area? **Yes**

If yes, specify: Subject is across the street from conservation land.

18. Does the site include scenic views or will the proposed development cause any scenic vistas to be obstructed from view? **No**

If yes, specify:

19. Are there wetlands, lakes, ponds, streams, or rivers within or contiguous to the site? **No**

If yes, specify:

20. Is there any farmland or forestland on the site protected under Chapter 61A or 61B of the Massachusetts General Laws? **No**

If yes, specify:

21. Has the site ever been used for the disposal of hazardous waste? **No**

Has a 21 E Study been conducted for the site? **No**

If yes, specify results:

22. Will the proposed activity require use and/or storage of hazardous materials, or generation of hazardous waste? **No**

If yes, specify

23. Does the project contain any buildings or sites of historic or archaeological significance? (Consult with the Acton Historic Commission or the Acton Historical Society.) **No**
If yes, please describe _____

24. Is the project contiguous to or does it contain a building in a local historic district or national register district? **No**

25. Is the project contiguous to any section of the Isaac Davis Trail? **No**
If yes, please describe _____

B. Circulation System

26. What is the average weekday traffic and peak hour traffic volumes generated by the proposed development?

Average weekday traffic	20
Average peak hour volumes weekday morning	4
Average peak hour volumes weekday evening	4
Average peak hour volumes Saturday	4

27. Existing street(s) providing access to proposed subdivision:

Name Central Street Town Classification Collector Street

28. Existing intersection(s): list intersections located within 1000 feet of any access to the proposed development. MBTA Railroad tracks.

29. Location of existing sidewalks within 1000 feet of the proposed site. Across Street.

30. Location of proposed sidewalks and their connection to existing sidewalks: None

31. Are there parcels of undeveloped land adjacent to the proposed site? **No**

Will access to these undeveloped parcels be provided within the proposed site?

NA. If yes, please describe _____

If no, please explain why _____

C. Utilities and Municipal Services

32. What is the total number of bedrooms proposed? **12**

33. If the development has a nonresidential component, what will be its use and size (s.f.)?

n/a

34. Storm Drainage

a. Describe type, location, and surface water body receiving current surface water of the site: Overland Flow to Central Street, Drainage system to wetland.

b. Describe the proposed drainage system and how it will alter existing drainage patterns: On Site Recharge. Flow to offsite wetland.

c. Will a NPDS Permit be required? no

35. Estimate the fire department response time to the site (consult with Fire Dept.) 5 minutes +-

36. Schools (if residential)

a. Projected number of new school age children: 5-8

b. Distance to nearest school: > 5,000 feet+-

E. Measures to Mitigate Impacts

Attach brief descriptions of the measures that will be taken to:

37. Prevent surface water contamination.

38. Prevent groundwater contamination.

39. Maximize groundwater recharge.

40. Prevent erosion and sedimentation.

41. Maintain slope stability.

42. Design the project to conserve energy.

43. Preserve wildlife habitat.

44. Preserve wetlands.

45. Ensure compatibility with the surrounding land uses.

46. Control peak runoff from the site so that the post-development rate of runoff will be no greater than the predevelopment rate of runoff for the 10-year storm event.

47. Preserve historically significant structure sand features on the site.

48. To mitigate the impact of the traffic generated by the development.

Please use layman's terms where possible while still being accurate and comprehensive. Where appropriate, graphics shall be used. List sources of data, reference materials, and methodology used to determine all conclusions. Use additional sheets as necessary.

MARSH VIEW

Addendum to Development Impact Report – Description of Mitigation Measures

37. Prevent surface water contamination

The site will be graded to enhance sheet runoff to limit the transport of materials to on site recharge facilities designed to limit maintenance requirements. Materials beyond that normally associated with single family residences should not be expected to be present at this site.

38. Prevent groundwater contamination

Materials that could result in groundwater contamination should not be present on site and no measures are required to prevent groundwater contamination.

39. Maximize groundwater recharge

Dripline recharge trenches are provided for roof and deck runoff and runoff from driveways will be recharged by trenches to the maximum extent possible.

40. Prevent erosion and sedimentation.

The plans include a complete erosion and sedimentation control plan.

41. Maintain slope stability

During construction slopes will be maintained to decrease concentration of runoff and after construction grades will be moderate for ease of maintenance and to insure stability.

42. Design the project to conserve energy

Buildings are to be located with long axis facing southwest for afternoon solar gain in winter and for prevailing breeze in summer.

43. Preserve wildlife habitat

Site has limited value as wildlife habitat. Upland corridor along wetland to northeast of site is to be maintained.

44. Preserve wetlands

Offsite wetlands are to remain and project has been designed to have no adverse impacts on Interests of the Wetlands Protection Act.

45. Ensure compatibility with surrounding land uses

Scale of residences and proposed landscaping will be compatible with streetscape of other areas of Central Street and placing gabled ends of houses towards adjacent homes will lessen the visual impact of project from that viewpoint.

46. Control peak runoff

Driveway recharge trenches have been designed to recharge increase in volume of runoff from 10 year 24 hour storm event. Dripline recharge trenches for roof and deck runoff will further attenuate increase in runoff due to additional impervious surfaces.

47. Preserve historically significant structures and features on the site

The site is presently occupied by a single family structure of no historical significance.

48. To mitigate the impact of the traffic generated by the development

The addition of four single family homes should have no impact on Central Street, which is classified as a Collector Street. There are no houses across from Pineridge Road.

Use Description

Existing use is a single family house with yard which will be razed. Four cape style single family homes (three market rate and one affordable) will be constructed using a shared septic system and common driveway. The septic system will be managed through a homeowners association with a Title 5 Covenant and Easement (310 CMR 15.290(2)(e)).

Total Pages = 2



Bk: 47301 Pg: 104 Doc: DEED
Page: 1 of 2 04/19/2006 11:11 AM

RETURN TO:
Charles D. Micol
93 Central Street
Acton, MA 01720

MASSACHUSETTS EXCISE TAX
Southern Middlesex District ROD # 001
Date: 04/19/2006 11:11 AM
Ctrl# 071412 16418 Doc# 00068774
Fee: \$1,710.00 Cons: \$375,000.00

Quitclaim Deed

I, **BRIAN J. MATTHEWS**, of Acton, Middlesex County, Massachusetts

for consideration paid and in full consideration of **THREE HUNDRED SEVENTY FIVE THOUSAND and 00/100 (\$375,000.00) DOLLARS**

grant to **CHARLES D. MICOL**,

of 93 Central Street, Acton, Massachusetts

with Quitclaim covenants

the following property in Acton, Middlesex County, Massachusetts

[Description and encumbrances, if any]

A certain parcel of land, with the building(s) and improvements thereon, situated on the Northeasterly side of Central Street, Acton, Middlesex County, Massachusetts and being shown as Lot 2A on a plan entitled, "Plan of Land in Acton, Mass., surveyed for Lawrence Donnelly, dated January 7, 1972" Harlan E. Tuttle, Surveyor, recorded with Middlesex South District Registry of Deeds Book 12143, Page 2, and bounded and described as follows:

LOT 2A

SOUTHWESTERLY by Central Street, 114.39 feet, as shown on said plan;

NORTHWESTERLY by land of Module Homes, 12.00 feet, as shown on said plan;

SOUTHWESTERLY by land of Module Homes, 1.84 feet, as shown on said plan;

NORTHWESTERLY by land of Module Homes, 297.02 feet as shown on said plan;

NORTHEASTERLY by land of Module Homes, 135.99 feet, as shown on said plan;

SOUTHEASTERLY by a private driveway, 286.22 feet as shown on said plan; and

SOUTHEASTERLY by the curved line as shown on said plan, 30.06 feet.

93 Central Street, Acton, Massachusetts 01720
QUITCLAIM DEED
PAGE 1 OF 2

93 Central Street, Acton, Massachusetts 01720

Containing 41,255 square feet of land, more or less as shown on said plan and being Lot 2A as shown on said plan however otherwise bounded, measured and described.

Also granting to the Grantee, his heirs and assigns, the unobstructed right to use the parcel entitled "Private Driveway" on said plan for all purposes for which streets and ways may be used in the Town of Acton in common with others entitled thereto.

Subject to easements, restrictions and covenants of record if they affect the locus and are in full force and effect, expressly not intending nor meaning to extend the same in the event that they have expired by operation of law or otherwise.

For title see deed of Janice D. Ziman to Brian J. Matthews dated June 30, 2004, and recorded with Middlesex South District Registry of Deeds in Book 43297, Page 53.

Witness my hand and seal this 18 day of April, 2006.

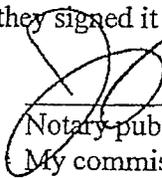


Brian J. Matthews

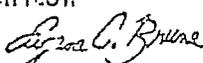
COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss:

On this 18th day of April, 2006, before me, the undersigned notary public, personally appeared Brian J. Matthews, proved to me through satisfactory evidence of identification, which was driver's license / passport / employee ID card / to be the person whose name is signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose.



Notary public:
My commission expires:

REGISTRY OF DEEDS
SOUTHERN DISTRICT
ATTORNEY

REGISTER

 J. SAMATHA GOULD
Notary Public
Commonwealth of Massachusetts
My Commission Expires
November 3, 2011

IT BEING THAT THE FOREGOING LINES SHOWN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF STREETS OR PLANS SHOWN ARE THOSE OF PUBLIC ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVIDING EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

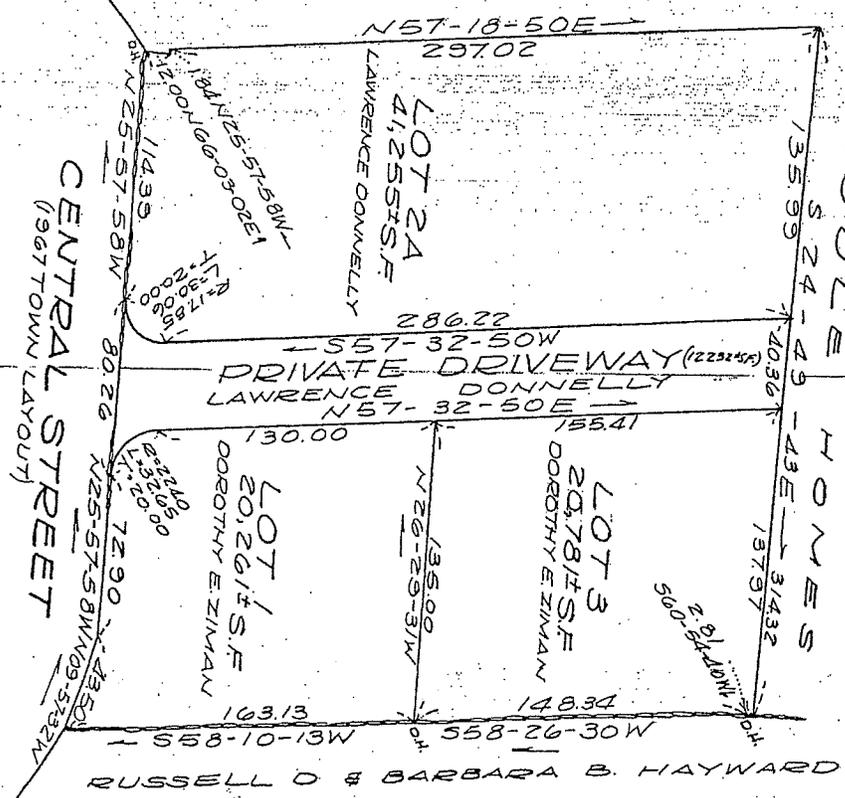
Harlan E. Tuttle
REGISTERED LAND SURVEYOR



Harlan E. Tuttle

FOR CONVEYANCES, OWNERSHIP SEE DEED RECORDED IN PUBLIC RECORDS OF DEEDS (SOUTH DISTRICT) BOOK 6723 PAGE 143 PLAIN LAND IN ACTON OWNED BY LAWRENCE DONNELLY AND ETHEL DONNELLY, VOLUME 10, 1952, HERSCHE TUTTLE & SCALE 40 FEET = 1 INCH.
 PLAN OF LAND IN ACTON, MASS. OWNED BY DOROTHY E. ZIMAN SURVEYOR * RECORDED AS PLAN NO. 1397 OF 1971.
 PLAN OF LAND IN ACTON, MASS. OWNED BY MODULE HOMES ACTON, MASS. ENGINEER BY SURVEYOR * RECORDED AS PLAN NO. 1398 OF 1971 AND DOROTHY E. ZIMAN RECORDED AT MID. REG. OF DEEDS (50.0157) BOOK 11, 606 PAGE 565.

MODULE HOMES



FILE 6-00
BY JLE

PLAN OF LAND IN ACTON, MASS. SURVEYED FOR LAWRENCE DONNELLY SCALE 1 INCH = 40 FEET JANUARY 7, 1972 HARLAN E. TUTTLE, SURVEYOR

Plan Number 43 of 1972
 Recorded in Public Records of Deeds, 5th DIST. CAMBRIDGE, MASS.
 DEED, Dec. 14, 1972
 LAWRENCE DONNELLY
 MARY E. SHAW
 Recorded, Book 12, 143 Page 2

Harlan E. Tuttle



Town of Acton
 472 Main Street
 Acton, MA 01720
 Telephone (978) 264-9622
 Fax (978) 264-9630

Brian McMullen
 Assistant Assessor

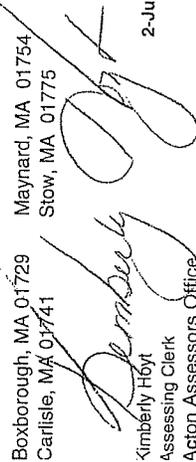
Locus: 93 CENTRAL ST
Parcel: G2-123

Location	Parcel ID	Owner	Co-Owner	Mailing Address	City	ST	Zip
89 CENTRAL ST BEHIND	G2-123-1	HORSBURGH GWYNN		89 CENTRAL ST	ACTON	MA	01720
41 TUTTLE DR	G2-123-25	TOWN OF ACTON		472 MAIN STREET	ACTON	MA	01720
39 TUTTLE DR	G2-123-26	ZHENG LING	XU XIANGDONG	39 TUTTLE DR	ACTON	MA	01720
30 LOTHROP RD	G2-123-27	BETHEL LESTER R	BETHEL MARTHA D	30 LOTHROP RD	ACTON	MA	01720
37 TUTTLE DR	G2-123-28	MOSBACH PETER A	SCHAUMBURG DIANE R	37 TUTTLE DR	ACTON	MA	01720
44 TUTTLE DR BESIDE	G2-123-31	MOULTON DAVID C	E.MORTGAGE	200 SKYFIELD DR	GROTON	MA	01720
44 TUTTLE DR	G2-123-33	LANGLEY EDWARD J	BARBARA D	44 TUTTLE DR	ACTON	MA	01720
42 TUTTLE DR	G2-123-34	MAHER EDWARD F	MAHER LOUISE A	42 TUTTLE DR	ACTON	MA	01720
40 TUTTLE DR	G2-123-35	FRIEND STEVEN A	RYAN-FRIEND MAUREEN	40 TUTTLE DR	ACTON	MA	01720
38 TUTTLE DR	G2-123-36	SCHRODER RICHARD S	AMY L	38 TUTTLE DRIVE	ACTON	MA	01720
103 CENTRAL ST	G2-137	DEFOE JILL M	DEFOE STEPHEN C	103 CENTRAL ST	ACTON	MA	01720
101 CENTRAL ST	G2-137-1	HORN JOHN C	PIPER DEBORAH L	101 CENTRAL ST	ACTON	MA	01720
89 CENTRAL ST	G2-174	HORSBURGH GWYNN		89 CENTRAL ST	ACTON	MA	01720
86 CENTRAL ST	G2-178	TOWN OF ACTON		472 MAIN STREET	ACTON	MA	01720
85 CENTRAL ST	G2-180	JOHNSON ERIC L	JOHNSON DENISE E	85 CENTRAL ST	ACTON	MA	01720
84 CENTRAL ST	G2-181	JEANSON ROLAND J	MARY C	84 CENTRAL ST	ACTON	MA	01720
81 CENTRAL ST	G2-182	GUDITZ KENNETH R	GUDITZ PATRICIA K	81 CENTRAL ST	ACTON	MA	01720
55 CENTRAL ST REAR	G2-A-17	TOWN OF ACTON		472 MAIN STREET	ACTON	MA	01720

Abutters and owners of land directly opposite on any public or private street or way and abutters to the abutters within three hundred feet of the property line all as they appear on the most recent applicable tax list.

HEARING NOTICES FOR ALL SPECIAL PERMITS MUST BE SENT TO THE PLANNING BOARD, TOWN HALL IN THE FOLLOWING TOWNS:

Boxborough, MA 01729
 Carlisle, MA 03741
 Concord, MA 01742
 Westford, MA 01886
 Littleton, MA 01460
 Sudbury, MA 01776

Maynard, MA 01754
 Stow, MA 01775


Kimberly Hoyt
 Assessing Clerk
 Acton Assessors Office
 2-Jun-09 UPDATED.