

**DEVELOPMENT DATA:**

**EXISTING:**  
 DWELLING LOCATED AT 93 CENTRAL STREET TO BE RAZED AND DRIVEWAY TO BE REMOVED.

**PROPOSED DEVELOPMENT:** FOUR SINGLE FAMILY UNITS  
 (4) 3-BEDROOM UNITS = 12 BEDROOMS  
 (1) AFFORDABLE UNIT; (LOT 1)

**DWELLING UNIT DENSITY:**  
 TOTAL SITE AREA = 41,163 SF = 0.94 ACRES  
 THERE ARE NO WETLANDS LOCATED ON THE SITE  
 TOTAL UPLAND AREA = 0.94 ACRES  
 TOTAL NUMBER OF UNITS = 4  
 NUMBER OF UNITS PER ACRE = 4.3

EXISTING IMPERVIOUS COVER = 0.04 ACRES (4%)  
 PROPOSED BUILDING COVERAGE = 0.12 ACRES (13%)  
 PROPOSED IMPERVIOUS COVER = 0.24 ACRES (26%)

**FLOOR AREA RATIO:**  
 NET FLOOR AREA=10,080 SF (1260 SF x 2 FLOORS x 4 UNITS)  
 DEVELOPABLE SITE AREA = 41,163 SF  
 NET FLOOR AREA/DEVELOPABLE SITE AREA = 0.24

**ZONING INFORMATION**

**DISTRICT:**  
 R-2 (RESIDENCE 2)

**OVERLAY DISTRICTS:**  
 GROUNDWATER PROTECTION DISTRICT 4

**FLOODZONE:**  
 ZONE X (OUTSIDE OF 500 YR FLOODPLAIN)

ZONING REQUIREMENTS:	MINIMUM REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2	PROPOSED LOT 3	PROPOSED LOT 4	PROPOSED PARCEL A
AREA (sf):	20,000	7013	5976	9356	9016	9802
FRONTAGE (ft):	150	N/A	N/A	N/A	N/A	N/A
FRONT YARD SETBACK (ft):	30	49	49	N/A	N/A	N/A
REAR YARD SETBACK (ft):	10	7	8	88	77	N/A
SIDE YARD SETBACK (ft):	10	10	6	7	7	N/A
MIN. LOT WIDTH (ft):	50	N/A	N/A	N/A	N/A	N/A
NO. UNITS PER LOT:	1	1	1	1	1	1
FLOOR AREA RATIO:	N/A	N/A	N/A	N/A	N/A	0

**MASTER PLAN MARSH VIEW**  
 93 CENTRAL STREET  
 ACTON, MA

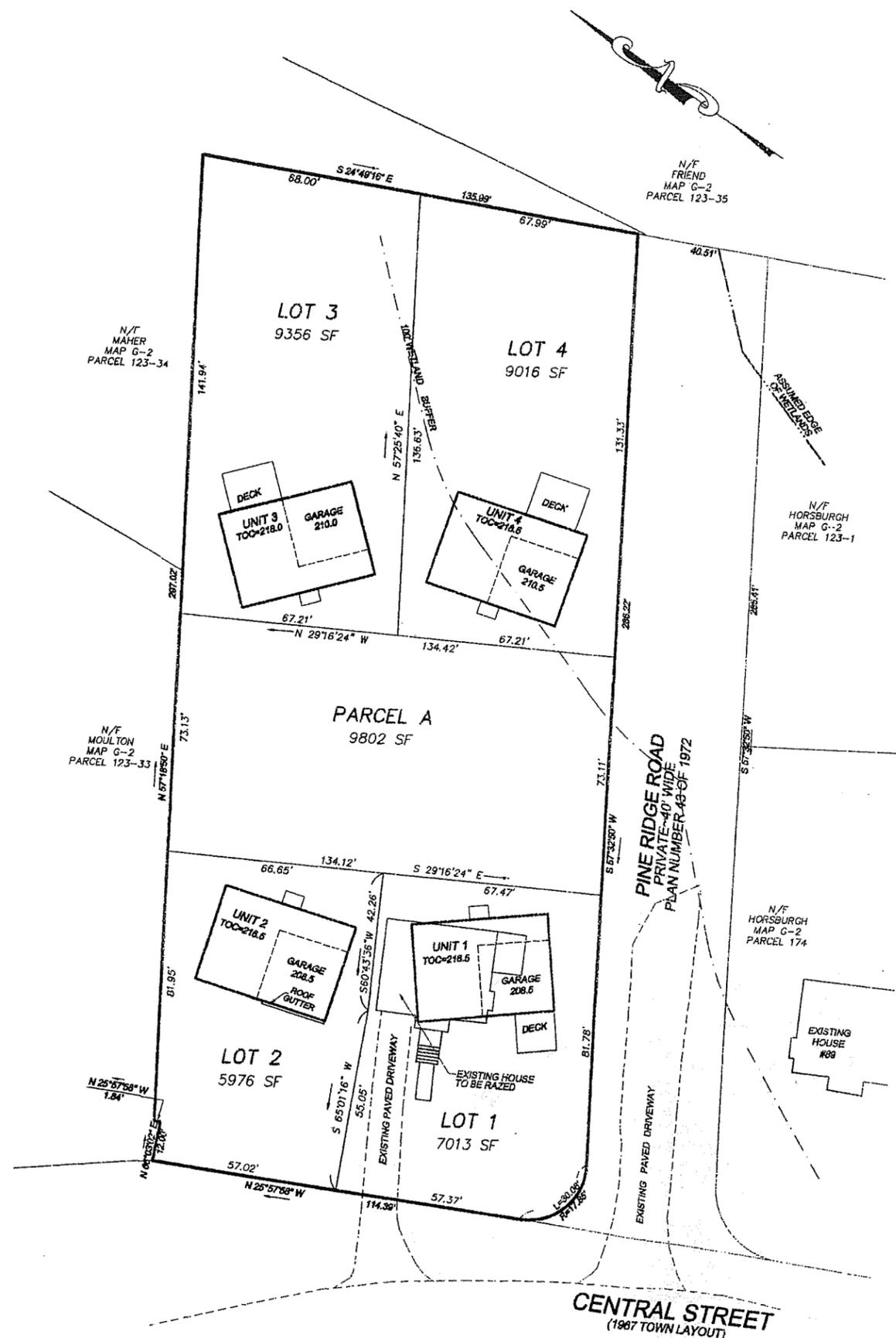
PREPARED FOR:  
 MARSH VIEW, LLC  
 411 MASSACHUSETTS AVENUE, SUITE 304  
 ACTON, MA 01720

SCALE: 1"=60' DATE: JUNE 19, 2009

Acton Survey & Engineering, Inc. 97 GREAT ROAD  
 P.O. BOX 666 ACTON, MA 01720



**LOCUS PLAN**  
Scale: 1" = 1200 ft.



**DEED AND PLAN REFERENCES:**

MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS  
DEED BOOK 47301 PAGE 104  
PLAN NO. 43 OF 1972

CONCEPTUAL PLAN OF 93 CENTRAL STREET, ACTON, MASSACHUSETTS, PREPARED FOR WESTCHESTER COMPANY, INC., PREPARED BY FORESITE ENGINEERING ASSOCIATES, INC., DATED APRIL 23, 2007.

**RECORD OWNER:**

CHARLES D. MICOL  
93 CENTRAL STREET  
ACTON, MA 01720

**ASSESSORS REFERENCE**

ASSESSORS MAP G-2 PARCEL 123

**ZONING INFORMATION**

ZONING DISTRICT: R-2 (RESIDENCE 2)  
OVERLAY DISTRICT: GROUNDWATER PROTECTION DISTRICT 4

**APPLICANT:**

MARSH VIEW, LLC  
411 MASS. AVE, SUITE 304  
ACTON, MA 01720

**ENGINEER & LAND SURVEYOR:**

ACTON SURVEY AND ENGINEERING, INC.  
P.O. BOX 666  
97 GREAT ROAD  
ACTON, MA 01720

**TOTAL SITE AREA = 41,162 SQ.FT. (0.9 ACRES)**

NOTE: PROPERTY LINES FROM "PLAN OF LAND IN ACTON, MASS. SURVEYED FOR LAWRENCE DONNELLY" PREPARED BY HARLAN E. TUTTLE, SURVEYOR, DATED JANUARY 7, 1972. PLAN 43 OF 1972.

EXISTING CONDITIONS BASED ON CONCEPTUAL PLAN BY FORESITE ENGINEERING ASSOCIATES, INC.

PRIOR TO A PLAN BEING PREPARED FOR RECORDING IN THE REGISTRY OF DEEDS, ACTON SURVEY & ENGINEERING, INC. WILL REQUIRE A PERIMETER SURVEY TO BE PERFORMED.

THIS IS TO CERTIFY THAT NOTICE OF APPROVAL OF THIS PLAN BY THE ACTON BOARD OF APPEALS WAS RECEIVED AND RECORDED AT THIS OFFICE ON \_\_\_\_\_ AND THAT NO APPEAL WAS RECEIVED WITHIN TWENTY DAYS NEXT FOLLOWING RECEIPT AND RECORDING OF THIS NOTICE.

ACTON TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

ACTON BOARD OF APPEALS \_\_\_\_\_

DATE \_\_\_\_\_

EE DECISION ON APPLICATION BY MARSH VIEW, I.C. FOR A COMPREHENSIVE PERMIT, ECISION \_\_\_\_\_ DATED \_\_\_\_\_, 2009, RECORDED HEREWITH.

**RECORDABLE PLAN**  
**MARSH VIEW**  
93 CENTRAL STREET  
ACTON, MA

PREPARED FOR:  
MARSH VIEW, LLC  
411 MASSACHUSETTS AVENUE, SUITE 304  
ACTON, MA 01720

SCALE: 1"=20' DATE: JUNE 19, 2009

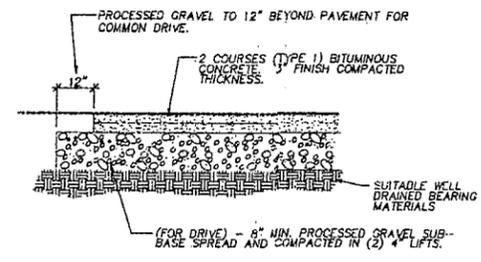
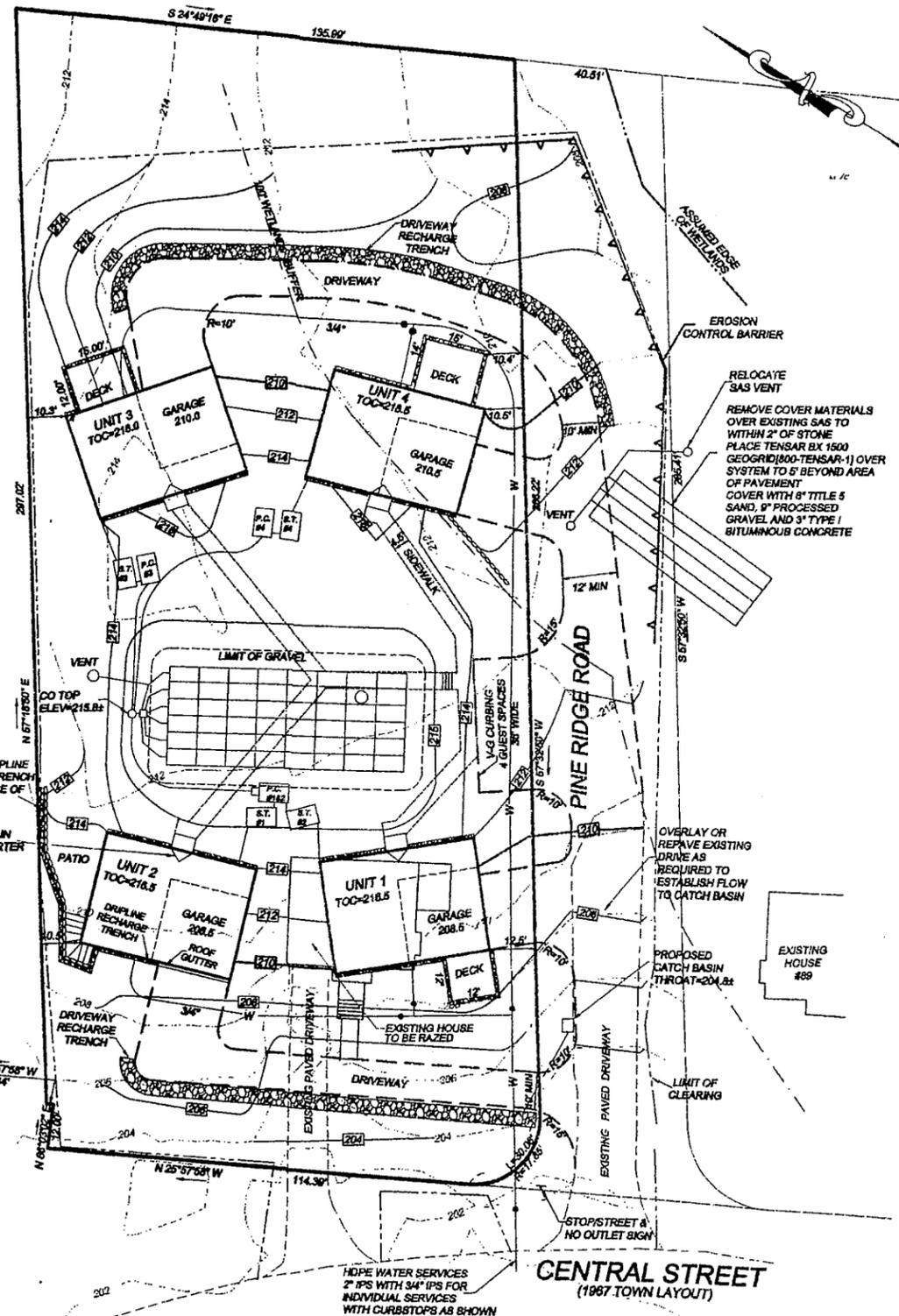
Acton Survey & Engineering, Inc.  
97 GREAT ROAD  
P.O. BOX 666  
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PH. (978) 263-3666  
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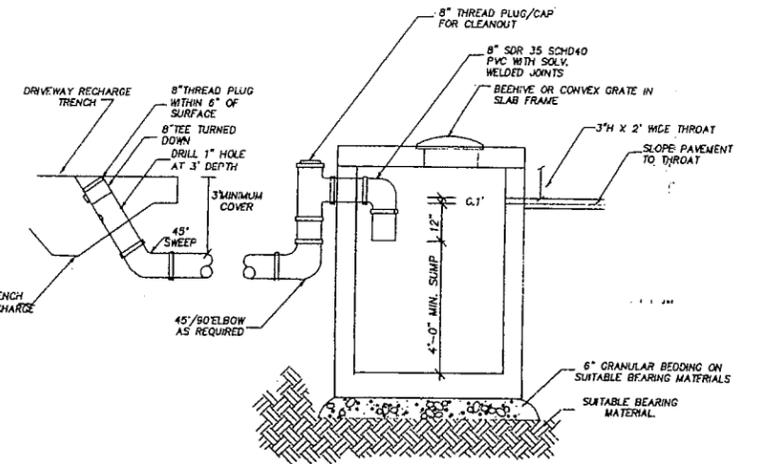
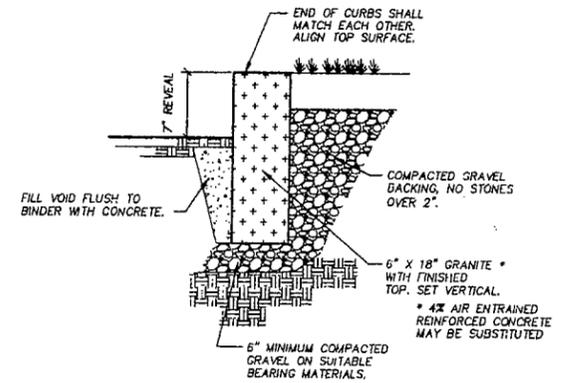


**GENERAL NOTES:**

- Plans were prepared for named client and project. Reproduction in whole, in part or by adaptation for other purposes is expressly prohibited.
- Drawings shall not be scaled. If clarification of intent is REQUIRED, contractor shall obtain prompt clarification prior to continuing work.
- Contractor shall visit site prior to initiation of work and shall notify ACTON SURVEY & ENGINEERING, INC. and owner of any discrepancies with site conditions, or proposed construction, on date discovered.
- Contractor shall be responsible for coordinating proposed construction with existing conditions.
- Contractor shall notify Dig-Safe [1-888-344-7233] and verify all underground utilities prior to construction.
- Contractor shall be responsible for obtaining all necessary permits and licenses.
- All work shall conform to all local and state regulatory agencies and utility company requirements.
- Upon entering the SITE, the contractor shall become responsible for all erosion control, dewatering and shall undertake all measures to protect wetlands, the drainage system and streets from siltation and dust.
- Contractor shall be responsible for repairing any damage caused to roads, walks, utilities, site improvements (existing or proposed) both inside and outside the limit of work if damage due to work directly associated with this project.
- Existing utilities shall be maintained in service as required by the use of site and adjacent properties. Relocate utility lines as required.
- The drainage system shall be maintained and functional during construction and oil catch basins, manholes & pipes shall be cleaned after the completion of the project.
- The "site plan" is based on topographic survey showing all visually apparent features of the site on the date(s) that surface explorations and topography were completed.
- No attempt was made, in preparing the plans, to ascertain the location of non-visually apparent subsurface utilities and structures, or conditions.
- The limit of work shall be as designated and / or the edge of the proposed grading and / or the property lines, if not indicated.
- Materials imported to the site shall be free of hazardous waste and noxious materials, stored as designated and shall not hamper the site activities.
- Materials exported from the site shall become the property of the contractor and be disposed of in a legal manner.
- All existing and new utility structures shall be adjusted to finished grades. Setting of rims temporarily of binder course may be required.
- All water mains, water services and force mains shall have a five (5') foot minimum cover.
- All pavements shall be cut to a vertical face outside limits of prior disturbance and prior to installing adjacent new pavements. All new pavements shall be installed in a manner that is uniform, with watertight joints resulting.
- The project shall be complete when the site is found to be litter/debris free, erosion resistant, all erosion barriers are removed and pavements, catch basins, manholes and pipes are clean.
- The contractor shall clearly mark the limits of work in the field prior to the start of construction.
- Hauling of earth to or from the site shall be done between the hours of 9:00 a.m. and 4:00 p.m. on weekdays only.



- NOTES:**
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE ACTON "COMMON DRIVEWAY" BY LAWS AND / OR MASS. HIGHWAY DEPARTMENT STANDARDS SPECIFICATIONS AND REGULATIONS.
  - PAVEMENT SHALL BE CLASS I BITUMINOUS CONCRETE LAID IN 2 COURSES TO A FINISHED DEPTH OF 3" (1 1/2" MIN. BINDER WITH A 1 1/2" WEARING COURSE ABOVE.)
  - GRAVEL SUBBASE SHALL CONTAIN NO STONES GREATER THAN 2" AND BE INSTALLED TO A MIN. DEPTH OF 8" (FOR DRIVE). COMPACT IN 4" (MAX.) LIFTS. REMOVE ALL ORGANIC SILTS & UNSUITABLE MATERIALS BENEATH.



**LEGEND**

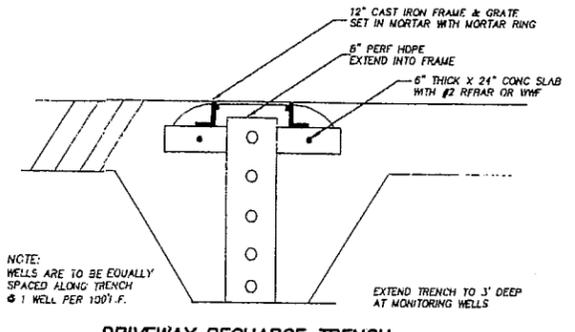
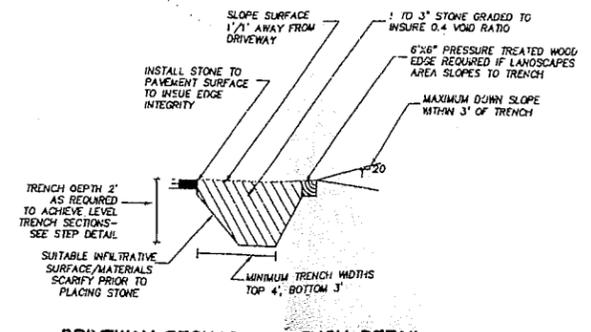
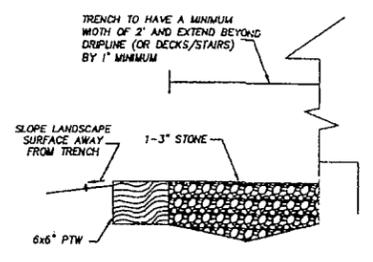
- EXISTING 2' CONTOUR
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- EDGE OF WETLANDS
- 100' WETLANDS BUFFER ZONE
- CATCH BASIN
- ⊙ DRAIN MANHOLE
- W- PROPOSED WATERLINE
- CURB STOP
- UTILITY POLE
- OHW- OVERHEAD WIRES

**OWNER OF RECORD:**  
CHARLES D. NICOL  
93 CENTRAL STREET  
ACTON, MA 01720

DEED BOOK 47301 PAGE 104  
PLAN NO. 43 OF 1972

ASSESSOR'S MAP G-2 PARCEL 123

EXISTING CONDITIONS BASED ON CONCEPTUAL PLAN



**SITE DEVELOPMENT PLAN**  
**MARSH VIEW**  
93 CENTRAL STREET  
ACTON, MA

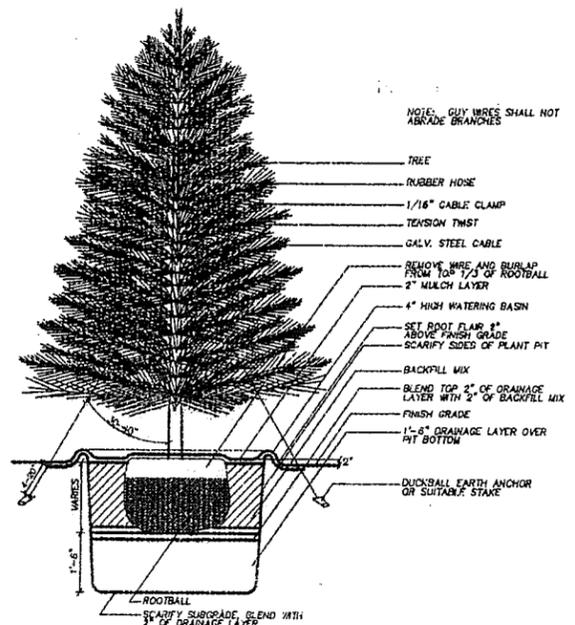
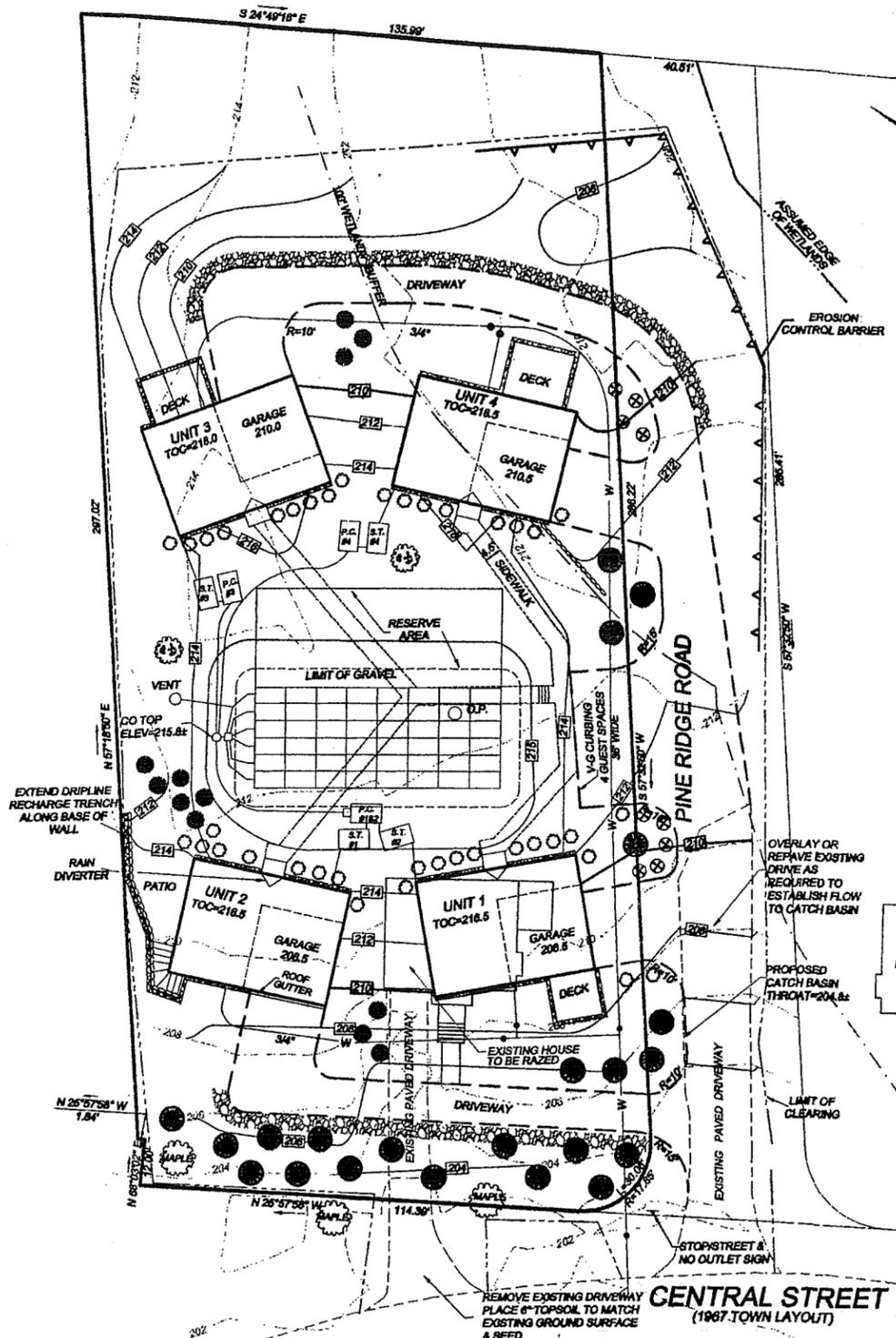
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SCALE: 1"=20' DATE: JUNE 19, 2009

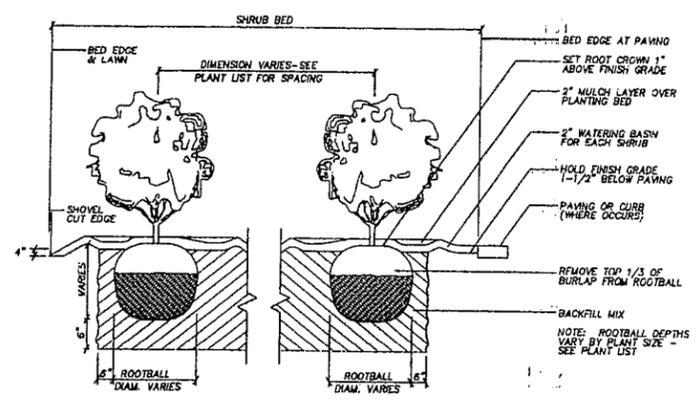
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Since 1967

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PH. (978) 263-3666  
FAX (978) 635-0218

USLON PROJECT: V73206161 (V73206161) 408 SITE DEVELOPMENT PLAN (5 of 7) Copyright Acton Survey & Engineering, Inc.



**EVERGREEN TREE PLANTING**  
NOT TO SCALE



**SHRUB PLANTING**  
NOT TO SCALE

**LANDSCAPE NOTES**

- All landscape materials shall be of nursery stock grown in New England.
- All topsoil shall be retained onsite.
- Branches and brush shall be chipped and retained for incorporation into erosion controls and slope stabilization.
- Areas of disturbance shall be limited and be made erosion resistant as soon as possible.
- The Orders of Conditions shall be kept on site and adhered to.

**GRASS**

All disturbed areas shall be planted in grass, unless shown otherwise on the plans. Planting shall be performed during the optimum periods of the year and facilities for irrigation shall be present.

Weed killers shall not be utilized before, during or immediately after seeding. Six inches of topsoil, corrected for alkalinity, shall be spread to conform to the grades shown on the plans. Adjustments shall be made to eliminate shallow areas where water might collect and areas in excess of 3:1V.

The top three inches of the topsoil shall be loosened and debris, sticks and stones shall be removed.

Soil pods shall be broken to a size less than a half dollar and the formation of a fine soil shall be avoided.

Spread seed at the rate stipulated by the grower. Generally, 16 seeds per square inch is desirable. Over seeding will result in plants not receiving sufficient nutrients resulting in weak grass. Spreading shall be by rotary spreader.

Grass seed shall be selected based on the nature of the lawn surface to be established. Consideration should be given to drought resistant grasses.

Cover the seeds by dragging so that 1/4 inch of cover results and lightly compact the soil with an empty roller to provide soil contact.

Apply a starter fertilizer by rotary spreader at the rate provided by the manufacturer.

Water lightly and frequently in a manner that does not saturate the soil or result in runoff. Irrigation shall be at least daily and if possible for three 10 minute periods with one being timed to provide cooling in the early afternoon and to keep roots moist.

Weed control applications shall only be made if not prohibited by an Order of Conditions and after the grass has been mowed at least 3 times.

Establishing the lawn areas by hydro-seeding or placement of sod may be substituted and is recommended under adverse growing conditions or in areas requiring rapid stabilization.

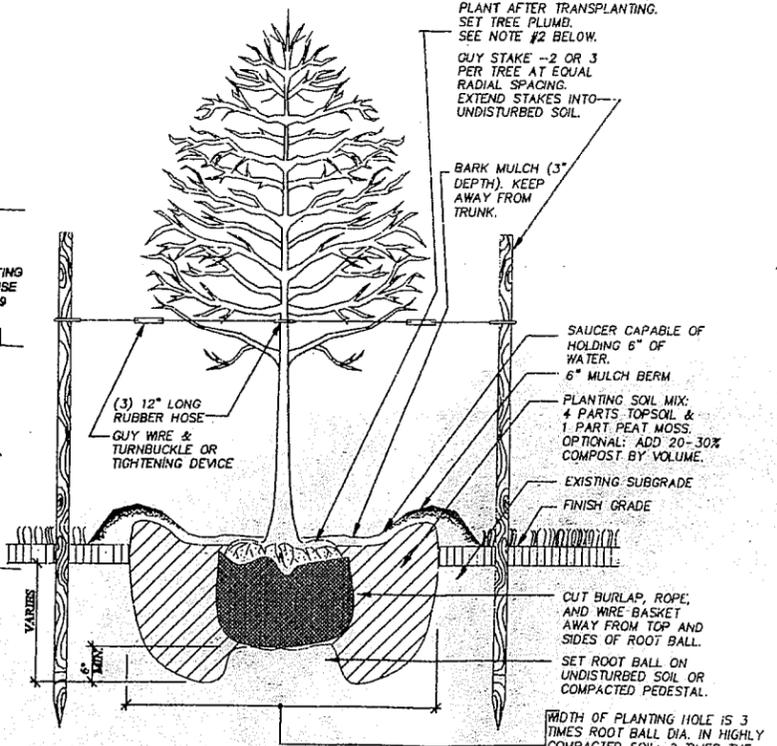
**Crush Stone Walk Notes**

- Walk shall not be located or graded in a manner in which runoff will be concentrated and cause erosion or result in portions of the walk being flooded.
- Organic materials and soils and other unsuitable bearing materials shall be removed from under and for an area 10 feet from walk.
- Foundation materials shall be thoroughly compacted under and within 10 feet of walk prior to construction of walk. Remove any stones over 6 inches from the surface under the proposed walk.
- Process gravel shall be free of organic soils and stones over 3/4 inch in size. Gradation shall allow for free draining and be suited to allow compaction.
- Three inch wearing surface shall have the following percentage by weight passing the designated sieve and be thoroughly mixed with a soil stabilizer such as that manufactured by Stabilized, Inc [800-336-2468].

3/8-in	100
# 4	95-100
# 8	75-80
# 16	55-65
# 30	40-50
# 50	25-35
#100	20-25
#200	5-15

Materials passing the #200 sieve shall be non-plastic.

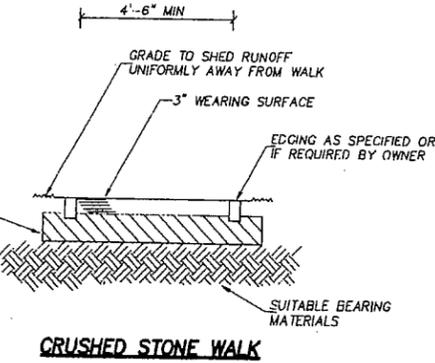
- Wearing surface shall be placed between forms, edging materials or other constraining device. Raked smooth and to desired cross-section and gently water at a rate of 2 gallons per 100 square feet, or as required to achieve full penetration of wearing surface without causing runoff.
- Compact walk with a 250 pound [30 inch wide] lawn roller.



**NOTES:**

- GUY WIRES SHALL NOT ABRASE BRANCHES.
- REMOVE ALL SYNTHETIC WRAP, IF PRESENT.
- TRUNK FLARE AND TOP OF ROOT BALL SHOULD BE AT GRADE IN WELL DRAINED SOIL.
- PACK BACKFILL SOIL AROUND BASE OF ROOT BALL TO STABILIZE; ALLOW REST OF BACKFILL TO SETTLE NATURALLY OR TAMP LIGHTLY.

**TREE PLANTING DETAIL**  
N.T.S.



**CRUSHED STONE WALK**  
N.T.S.

SYMBOL	TYPE	EXAMPLE
	FLOWERING TREE	PIRUS CALLERYANNA (ARISTOCRAT FLOWERING PEAR)
	MAPLE TREE	ACER RUBRUM (RED MAPLE)
	EVERGREEN TREE	PIRUS STROBUS (WHITE PINE), TSUGA CANADENSIS (CANADIAN HEMLOCK), PICEA ABIES (NORWAY SPRUCE), TAXUS THUJA SMARAGO (EMERALD GREEN ARBORVITAE)
	FORSYTHIA	FORSYTHIA 'GOLD TIDE' (GOLD TIDE FORSYTHIA)
	FOUNDATION PLANT	JUNIPERUS 'GOLD LACE' (GOLD LACE JUNIPER), JUNIPERUS 'SEAGREEN' (SEAGREEN JUNIPER), CEPHALOTAXUS HARRINGTONIA 'PROSTRATA' (JAPANESE PLUM YEW), RHODODENDRON 'CHIONODES' (CHIONODES RHODODENDRON), TAXUS THUJA (ARBORVITAE)
	ARBORVITAE	TAXUS THUJA SMARAGO (EMERALD GREEN ARBORVITAE)

PROPERTY LINES FROM "PLAN OF LAND IN ACTON, MASS. SURVEYED FOR LAWRENCE DONNELLY" PREPARED BY HARLAN E. TUTTLE, SURVEYOR, DATED JANUARY 7, 1972. PLAN 43 OF 1972.

EXISTING CONDITIONS BASED ON CONCEPTUAL PLAN BY FORESTIE ENGINEERING ASSOCIATES, INC.

**LANDSCAPE PLAN**  
**MARSH VIEW**  
93 CENTRAL STREET  
ACTON, MA  
PREPARED FOR:  
MARSH VIEW, LLC  
411 MASSACHUSETTS AVENUE, SUITE 304  
ACTON, MA 01720  
SCALE: 1"=20' DATE: JUNE 19, 2009

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AELSON PROJECTS 072001811 (07/20/11) - 000 LANDSCAPE PLAN (0). Copyright Acton Survey & Engineering, Inc.

