

DEFINITIVE SUBDIVISION PLAN

FOR

MICMAC LANE

A RESIDENTIAL COMPOUND

ACTON, MASSACHUSETTS

DECEMBER 31, 2007

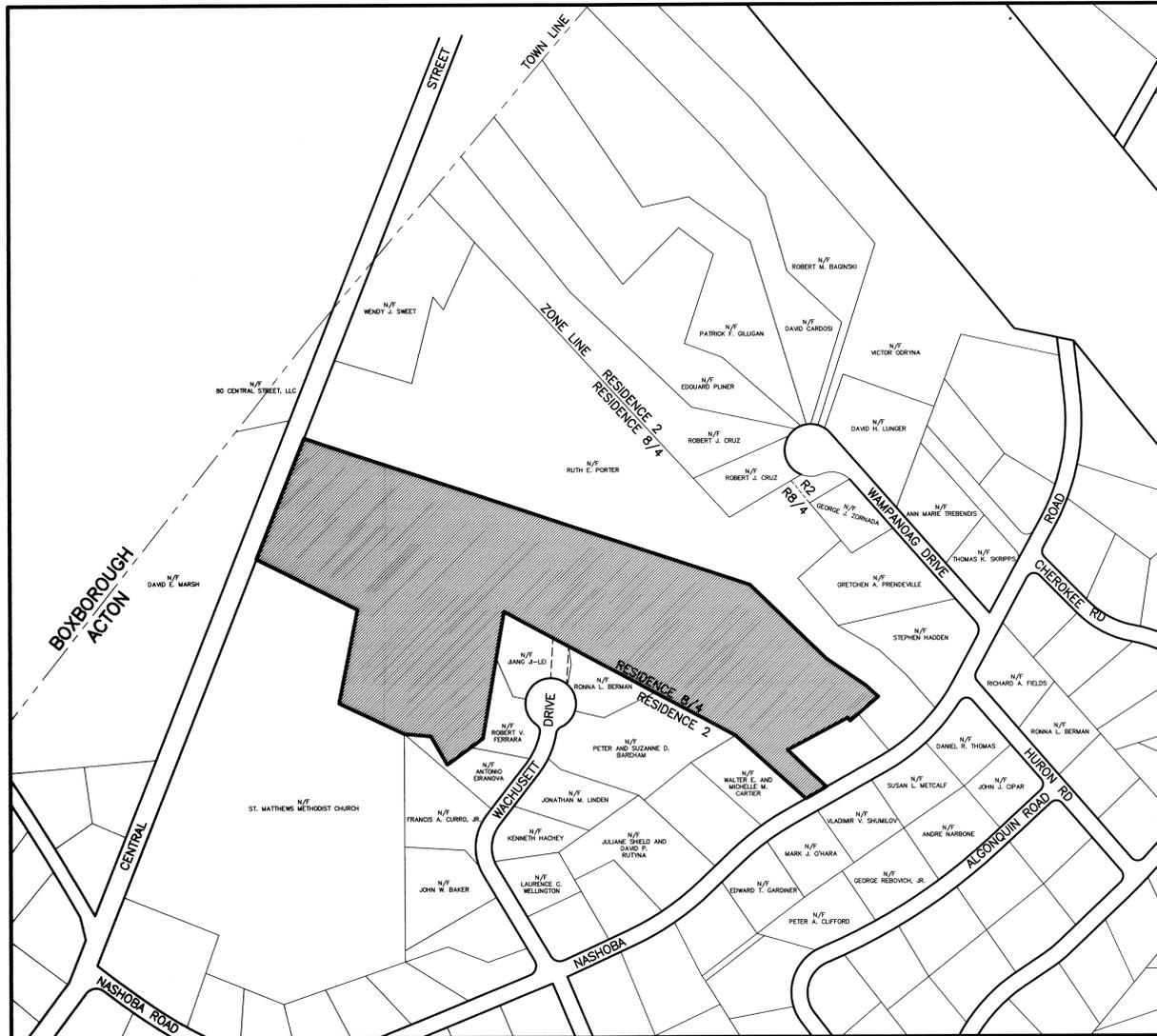
REVISED: APRIL 23, 2009

REVISED: AUGUST 18, 2009

REVISED: NOVEMBER 20, 2009

PLAN INDEX

- SHEET 1 TITLE SHEET
- SHEET 2-3 RECORD PLAN
- SHEET 4-5 SITE DEVELOPMENT AND GRADING PLAN
- SHEET 6 LAYOUT AND UTILITIES PLAN
PLAN AND PROFILE - MICMAC LANE
- SHEET 7 EROSION & SEDIMENTATION
CONTROL PLAN
- SHEET 8 CONSTRUCTION DETAILS PLAN
PROFILE - NASHOBA ROAD



LOCUS PLAN
SCALE: 1"=200'



LOCUS MAP
SCALE: 1"=1200'

RECORD OWNER

JUDITH R. KOTANCHIK
48 NASHOBA ROAD
ACTON, MA 01720

APPLICANT

JAMES KOTANCHIK
48 NASHOBA ROAD
ACTON, MA 01720

ENGINEER/SURVEYOR

STAMSKI AND McNARY, INC.
80 HARRIS STREET
ACTON, MA 01720
978-263-8585

ZONING DISTRICT

RESIDENCE 8/4
AFFORDABLE HOUSING OVERLAY DISTRICT:
SUB-DISTRICT A
GROUNDWATER PROTECTION DISTRICT:
ZONES 3 AND 4

REFERENCES

TOWN OF ACTON ASSESSORS:
MAP D-2, PARCEL 15-1

ACTON PLANNING BOARD

APPROVAL DATE: _____

ENDORSEMENT DATE: _____



I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

03 DEC 2009
DATE _____
REGISTERED PROFESSIONAL LAND SURVEYOR

I, CLERK OF THE TOWN OF ACTON, MASSACHUSETTS HEREBY CERTIFY THE NOTICE OF APPROVAL OF THIS PLAN BY THE ACTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____
TOWN CLERK _____

I, CLERK OF THE TOWN OF ACTON, MASSACHUSETTS HEREBY CERTIFY THE NOTICE OF THE APPROVAL OF THIS PLAN BY THE ACTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____

TOWN CLERK _____

N/F
ROBERT J. CRUZ &
MELISSA H. CRUZ
(DEED BOOK 26118 PAGE 77)
(LOT 6 ON PLAN No. 255 OF 1981)

N/F
ROBERT J. CRUZ &
MELISSA H. CRUZ
(DEED BOOK 32041 PAGE 291)
(LOT 7A ON PLAN No. 307 OF 2000)

N/F
GRETCHEN A. &
JOHN D. PRENDEVILLE
(DEED BOOK 28516 PAGE 584)
(LOT 9 ON PLAN No. 255 OF 1981)

N/F
RUTH E. PORTER
(DEED BOOK 29880 PAGE 476)
(PARCEL A ON PLAN No. 1067 OF 1981)

N/F
HADDEN FAMILY 1996
REALTY TRUST
(DEED BOOK 26309 PAGE 029)
(LOT 10A ON PLAN No. 1067 OF 1981)

N/F
RUTH E. PORTER
(DEED BOOK 29880 PAGE 478)
(LOT A ON PLAN No. 713 OF 1973)

N/F
RUTH E. PORTER
(DEED BOOK 20561 PAGE 504)
(LOT 1 ON PLAN No. 2215 OF 1953
EXCLUDING PARCEL 1 ON
PLAN No. 300 OF 1973)

N/F
DAVID B. PETERS &
JUDITH K. PETERS
(DEED BOOK 20561 PAGE 504)
(LOT 1 ON PLAN No. 2215 OF 1953
EXCLUDING PARCEL 1 ON
PLAN No. 300 OF 1973)

PARCEL 1
(AS SHOWN ON PLAN No. 300 OF 1973)

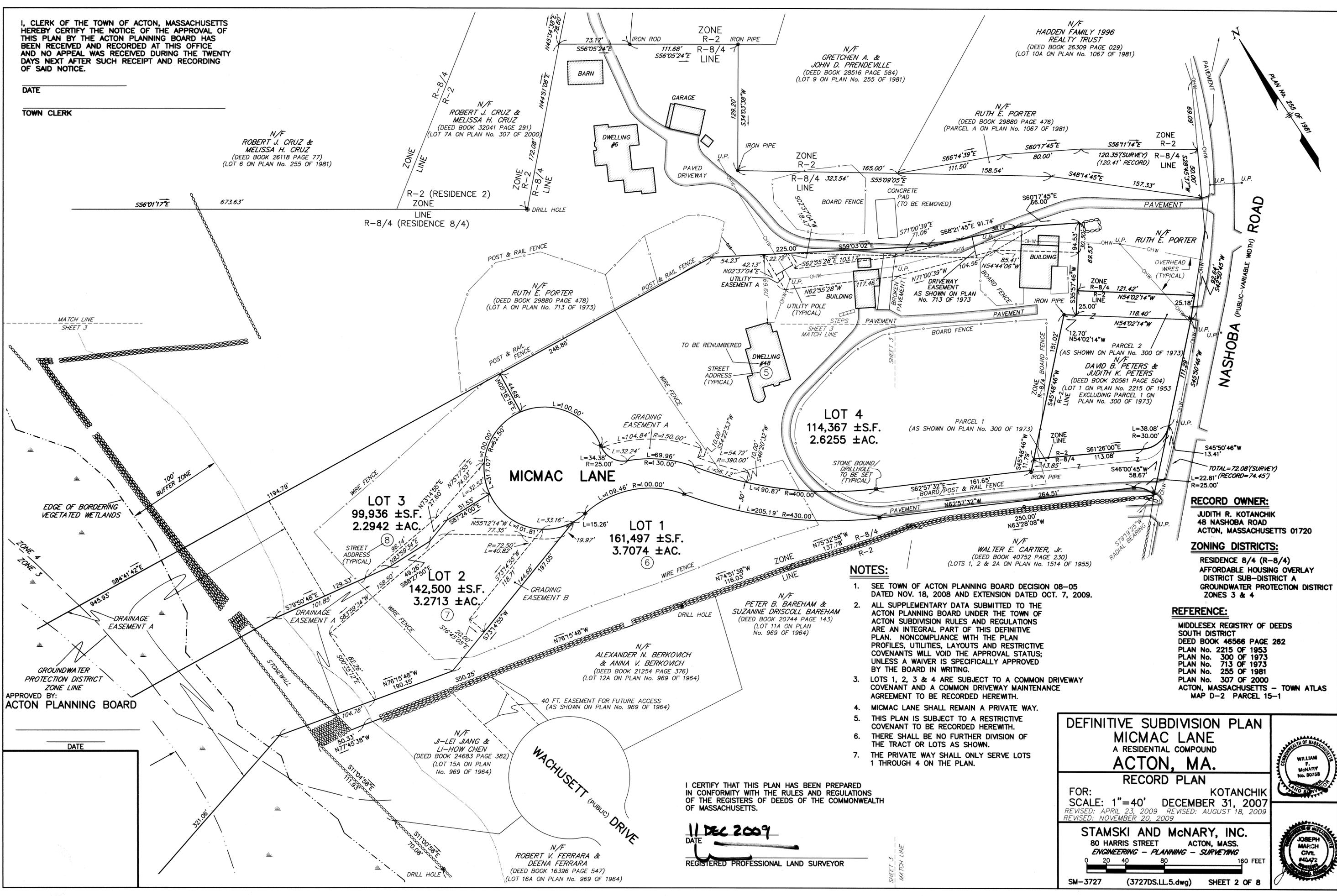
N/F
WALTER E. CARTIER, Jr.
(DEED BOOK 40752 PAGE 230)
(LOTS 1, 2 & 2A ON PLAN No. 1514 OF 1955)

N/F
ALEXANDER N. BERKOVICH
& ANNA V. BERKOVICH
(DEED BOOK 21254 PAGE 376)
(LOT 12A ON PLAN No. 969 OF 1964)

N/F
PETER B. BAREHAM &
SUZANNE DRISCOLL BAREHAM
(DEED BOOK 20744 PAGE 143)
(LOT 11A ON PLAN
No. 969 OF 1964)

N/F
JI-LEI JIANG &
LI-HOW CHEN
(DEED BOOK 24683 PAGE 382)
(LOT 15A ON PLAN
No. 969 OF 1964)

N/F
ROBERT V. FERRARA &
DEENA FERRARA
(DEED BOOK 16396 PAGE 547)
(LOT 16A ON PLAN No. 969 OF 1964)



RECORD OWNER:
JUDITH R. KOTANCHIK
48 NASHOBA ROAD
ACTON, MASSACHUSETTS 01720

ZONING DISTRICTS:
RESIDENCE 8/4 (R-8/4)
AFFORDABLE HOUSING OVERLAY
DISTRICT SUB-DISTRICT A
GROUNDWATER PROTECTION DISTRICT
ZONES 3 & 4

REFERENCE:
MIDDLESEX REGISTRY OF DEEDS
SOUTH DISTRICT
DEED BOOK 46566 PAGE 262
PLAN No. 2215 OF 1953
PLAN No. 300 OF 1973
PLAN No. 713 OF 1973
PLAN No. 255 OF 1981
PLAN No. 307 OF 2000
ACTON, MASSACHUSETTS - TOWN ATLAS
MAP D-2 PARCEL 15-1

- NOTES:**
- SEE TOWN OF ACTON PLANNING BOARD DECISION 08-05 DATED NOV. 18, 2008 AND EXTENSION DATED OCT. 7, 2009.
 - ALL SUPPLEMENTARY DATA SUBMITTED TO THE ACTON PLANNING BOARD UNDER THE TOWN OF ACTON SUBDIVISION RULES AND REGULATIONS ARE AN INTEGRAL PART OF THIS DEFINITIVE PLAN. NONCOMPLIANCE WITH THE PLAN PROFILES, UTILITIES, LAYOUTS AND RESTRICTIVE COVENANTS WILL VOID THE APPROVAL STATUS; UNLESS A WAIVER IS SPECIFICALLY APPROVED BY THE BOARD IN WRITING.
 - LOTS 1, 2, 3 & 4 ARE SUBJECT TO A COMMON DRIVEWAY COVENANT AND A COMMON DRIVEWAY MAINTENANCE AGREEMENT TO BE RECORDED HEREWITH.
 - MICMAC LANE SHALL REMAIN A PRIVATE WAY.
 - THIS PLAN IS SUBJECT TO A RESTRICTIVE COVENANT TO BE RECORDED HEREWITH.
 - THERE SHALL BE NO FURTHER DIVISION OF THE TRACT OR LOTS AS SHOWN.
 - THE PRIVATE WAY SHALL ONLY SERVE LOTS 1 THROUGH 4 ON THE PLAN.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

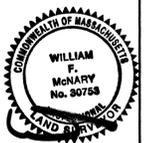
11 Dec 2009
DATE
REGISTERED PROFESSIONAL LAND SURVEYOR

**DEFINITIVE SUBDIVISION PLAN
MICMAC LANE
A RESIDENTIAL COMPOUND
ACTON, MA.
RECORD PLAN**

FOR: KOTANCHIK
SCALE: 1"=40' DECEMBER 31, 2007
REVISED: APRIL 23, 2009 REVISED: AUGUST 18, 2009
REVISED: NOVEMBER 20, 2009

STAMSKI AND McNARY, INC.
80 HARRIS STREET ACTON, MASS.
ENGINEERING - PLANNING - SURVEYING

SM-3727 (3727DS.LL.5.dwg) SHEET 2 OF 8



I, CLERK OF THE TOWN OF ACTON, MASSACHUSETTS HEREBY CERTIFY THE NOTICE OF THE APPROVAL OF THIS PLAN BY THE ACTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____

TOWN CLERK _____

N/F
WENDY J. SWEET
(DEED BOOK 28766 PAGE 452)
(SEE PLAN No. 1329 OF 2000)

N/F
RUTH E. PORTER
(DEED BOOK 29880 PAGE 478)
(LOT A ON PLAN No. 713 OF 1973)

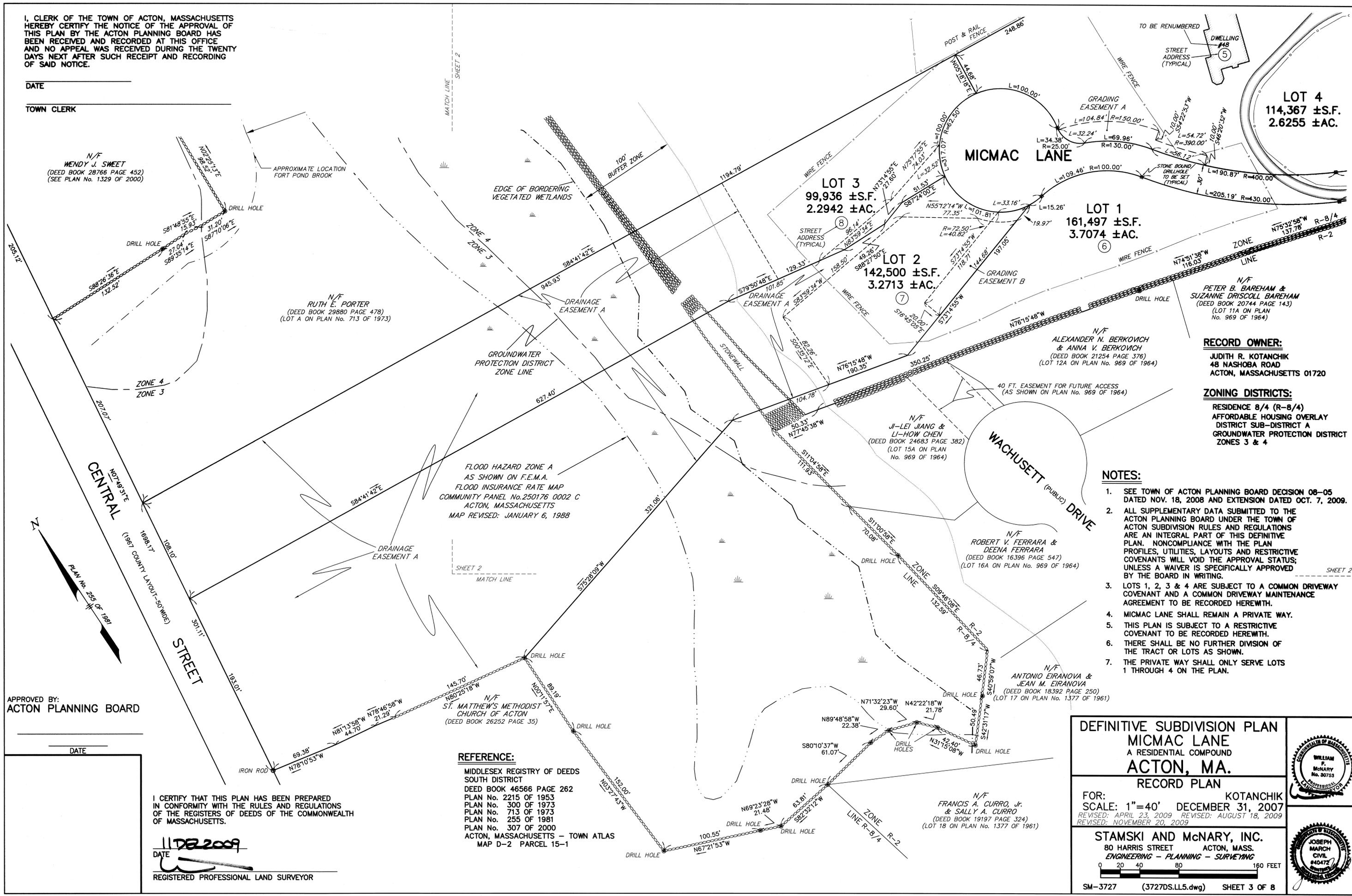
FLOOD HAZARD ZONE A
AS SHOWN ON F.E.M.A.
FLOOD INSURANCE RATE MAP
COMMUNITY PANEL No.250176 0002 C
ACTON, MASSACHUSETTS
MAP REVISED: JANUARY 6, 1988

N/F
ST. MATTHEW'S METHODIST
CHURCH OF ACTON
(DEED BOOK 26252 PAGE 35)

REFERENCE:
MIDDLESEX REGISTRY OF DEEDS
SOUTH DISTRICT
DEED BOOK 46566 PAGE 262
PLAN No. 2215 OF 1953
PLAN No. 300 OF 1973
PLAN No. 713 OF 1973
PLAN No. 255 OF 1981
PLAN No. 307 OF 2000
ACTON, MASSACHUSETTS - TOWN ATLAS
MAP D-2 PARCEL 15-1

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

11 DEC 2009
DATE
REGISTERED PROFESSIONAL LAND SURVEYOR



RECORD OWNER:
JUDITH R. KOTANCHIK
48 NASHOBA ROAD
ACTON, MASSACHUSETTS 01720

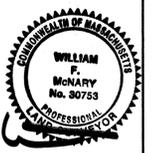
ZONING DISTRICTS:
RESIDENCE 8/4 (R-8/4)
AFFORDABLE HOUSING OVERLAY
DISTRICT SUB-DISTRICT A
GROUNDWATER PROTECTION DISTRICT
ZONES 3 & 4

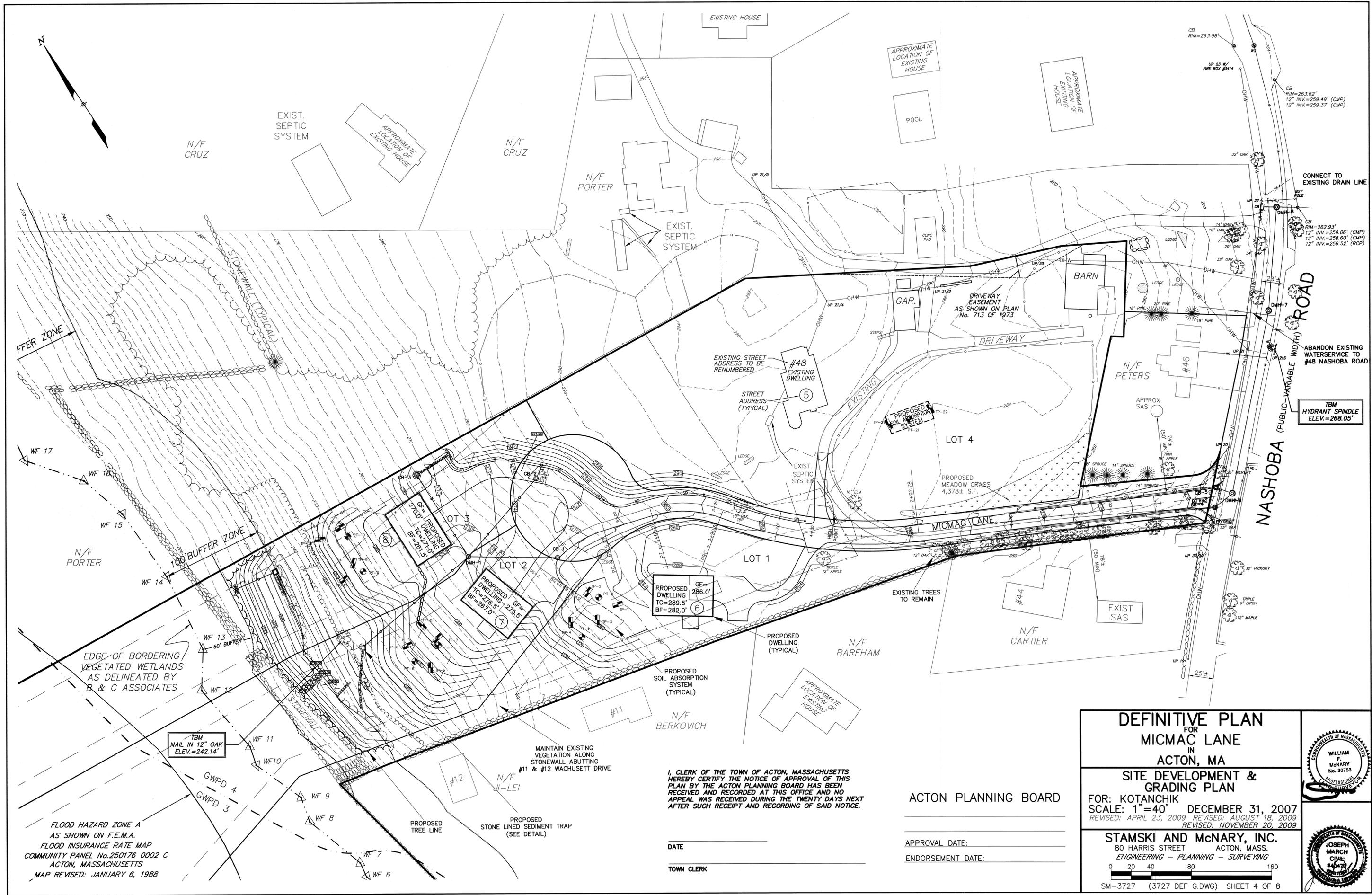
- NOTES:**
- SEE TOWN OF ACTON PLANNING BOARD DECISION 08-05 DATED NOV. 18, 2008 AND EXTENSION DATED OCT. 7, 2009.
 - ALL SUPPLEMENTARY DATA SUBMITTED TO THE ACTON PLANNING BOARD UNDER THE TOWN OF ACTON SUBDIVISION RULES AND REGULATIONS ARE AN INTEGRAL PART OF THIS DEFINITIVE PLAN. NONCOMPLIANCE WITH THE PLAN PROFILES, UTILITIES, LAYOUTS AND RESTRICTIVE COVENANTS WILL VOID THE APPROVAL STATUS; UNLESS A WAIVER IS SPECIFICALLY APPROVED BY THE BOARD IN WRITING.
 - LOTS 1, 2, 3 & 4 ARE SUBJECT TO A COMMON DRIVEWAY COVENANT AND A COMMON DRIVEWAY MAINTENANCE AGREEMENT TO BE RECORDED HERewith.
 - MICMAC LANE SHALL REMAIN A PRIVATE WAY.
 - THIS PLAN IS SUBJECT TO A RESTRICTIVE COVENANT TO BE RECORDED HERewith.
 - THERE SHALL BE NO FURTHER DIVISION OF THE TRACT OR LOTS AS SHOWN.
 - THE PRIVATE WAY SHALL ONLY SERVE LOTS 1 THROUGH 4 ON THE PLAN.

**DEFINITIVE SUBDIVISION PLAN
MICMAC LANE
A RESIDENTIAL COMPOUND
ACTON, MA.
RECORD PLAN**

FOR: KOTANCHIK
SCALE: 1"=40' DECEMBER 31, 2007
REVISED: APRIL 23, 2009 REVISED: AUGUST 18, 2009
REVISED: NOVEMBER 20, 2009

STAMSKI AND McNARY, INC.
80 HARRIS STREET ACTON, MASS.
ENGINEERING - PLANNING - SURVEYING
SM-3727 (3727DS.LL5.dwg) SHEET 3 OF 8





FLOOD HAZARD ZONE A
AS SHOWN ON F.E.M.A.
FLOOD INSURANCE RATE MAP
COMMUNITY PANEL No.250176 0002 C
ACTON, MASSACHUSETTS
MAP REVISED: JANUARY 6, 1988

I, CLERK OF THE TOWN OF ACTON, MASSACHUSETTS
HEREBY CERTIFY THE NOTICE OF APPROVAL OF THIS
PLAN BY THE ACTON PLANNING BOARD HAS BEEN
RECEIVED AND RECORDED AT THIS OFFICE AND NO
APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT
AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

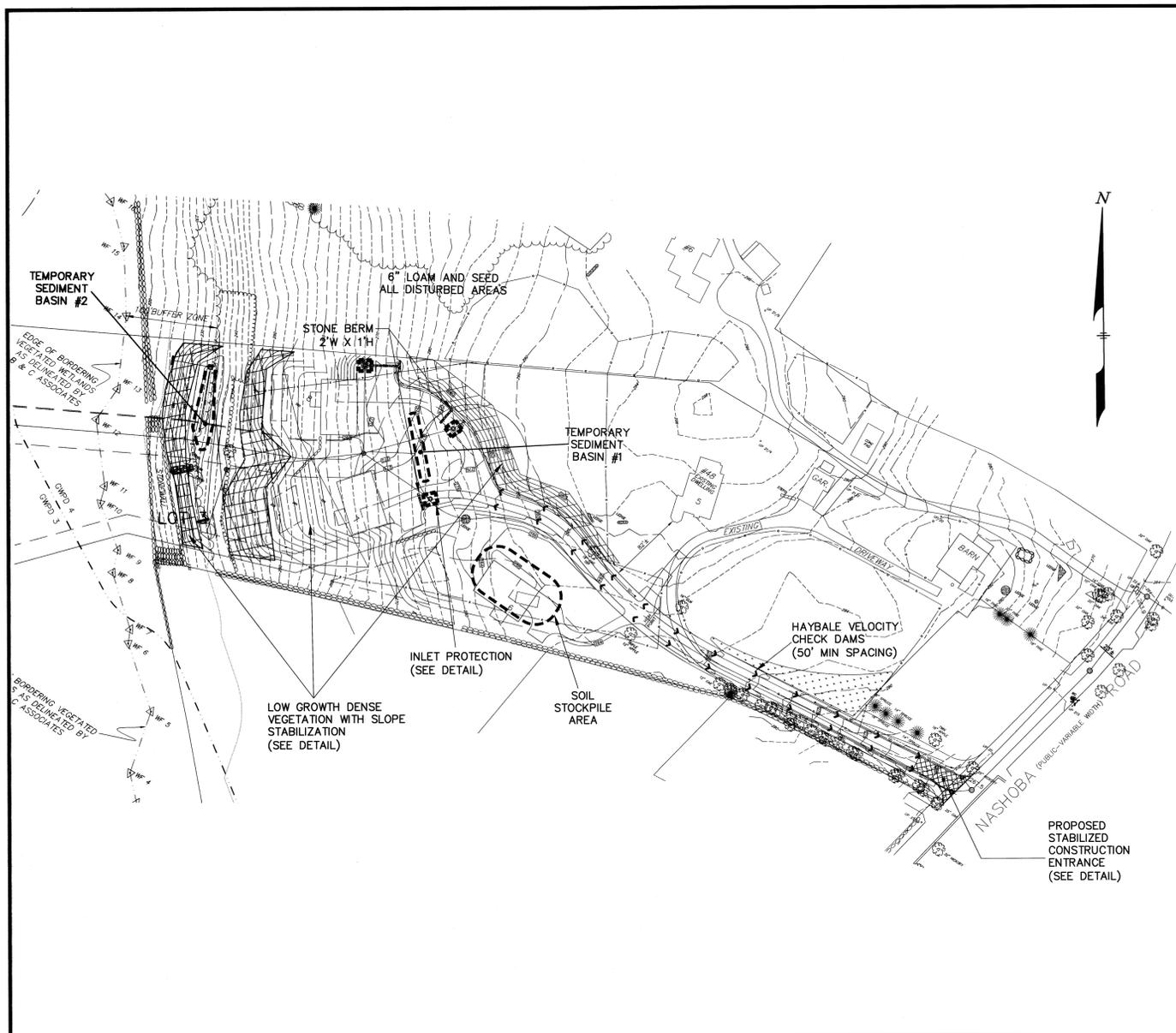
ACTON PLANNING BOARD

DATE _____
TOWN CLERK _____

APPROVAL DATE: _____

ENDORSEMENT DATE: _____

DEFINITIVE PLAN FOR MICMAC LANE IN ACTON, MA SITE DEVELOPMENT & GRADING PLAN		
FOR: KOTANCHIK SCALE: 1"=40' DECEMBER 31, 2007 REVISED: APRIL 23, 2009 REVISED: AUGUST 18, 2009 REVISED: NOVEMBER 20, 2009		
STAMSKI AND McNARY, INC. 80 HARRIS STREET ACTON, MASS. ENGINEERING - PLANNING - SURVEYING		
0 20 40 80 160 SM-3727 (3727 DEF G.DWG) SHEET 4 OF 8		



GENERAL NOTES

- ALL UNDERGROUND UTILITIES SHOWN HEREON WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION OR REPAIRING. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963 MASS. WE ASSUME NO RESPONSIBILITY FOR DAMAGE INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE APPROPRIATE PUBLIC UTILITY ENGINEERING DEPARTMENT MUST BE CONSULTED. DIG-SAFE TELE. NO. (888) 344-7233.
- RIP RAP SHALL BE HARD DURABLE STONE, ANGULAR IN SHAPE AND BE GENERALLY WELL GRADED WITHIN A 25 LB. TO 125 LB. RANGE. RIP RAP SHALL BE PLACED OVER A 4" COARSE BANK RUN GRAVEL MATTE. RIP RAP SHOWN SCHEMATICALLY AT DRAINAGE OUTFLOWS SHALL BE PLACED FOR A 3' WIDTH AND 6' LENGTH.
- ALL LIMITS OF WORK SHALL BE LOCATED IN THE FIELD PRIOR TO CONSTRUCTION. (SEE EROSION AND SEDIMENTATION CONTROL PLAN)
- ALL WATER PIPES, HYDRANTS, GATE VALVES AND OTHER APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE ACTON WATER DISTRICT REQUIREMENTS. ALL WATER MAINS SHALL BE CEMENT LINED DUCTILE IRON (CLO) PIPE. HYDRANTS SHALL BE INSTALLED WITH ANCHOR TEES AND VALVES. CONTRACTOR SHALL CONDUCT A PRECONSTRUCTION MEETING WITH ACTON WATER DEPARTMENT PRIOR TO START OF WORK.
- ALL STUMPS AND OTHER CONSTRUCTION DEBRIS SHALL BE PROPERLY REMOVED FROM THE SITE.
- ANY FILL MATERIAL USED SHALL BE FREE OF HAZARDOUS MATERIALS OR WASTE.
- ALL DRAIN PIPES SHALL BE ADS N-12 DRAIN PIPE.
- TRANSPORTATION OF FILL, EARTH, OR CONSTRUCTION DEBRIS TO OR FROM THE SITE SHALL BE RESTRICTED TO DAYTIME HOURS (9 AM TO 4 PM) MONDAY THROUGH FRIDAY.
- SEWER PIPES WITHIN 10' OF THE BUILDINGS SHALL BE SCH 40 PVC. (SEE SEWAGE DISPOSAL PLANS FOR LOCATIONS AND SPECIFICATIONS).
- RETAINING WALLS SHALL BE DESIGNED BY OTHERS.
- TRAFFIC CONTROL SIGNS SHALL COMPLY WITH STANDARDS IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)".
- FINAL BUILDING FOOTPRINT SUBJECT TO BUILDING INSPECTOR REVIEW.
- CONSTRUCTION VEHICLES SHALL BE PROHIBITED FROM PARKING ON OR ALONG NASHOBA ROAD.
- AN AS-BUILT PLAN, SHOWING ALL PAVEMENT, DRAINAGE AND UTILITIES, SHALL BE REQUIRED AT THE CONCLUSION OF CONSTRUCTION.
- ELEVATIONS BASED ON M.G.D. OF 1925 STATION ELEVATION DERIVED FROM TOWN OF ACTON ENGINEERING DEPARTMENT RECORDS. HIGH POINT OF N.E. BOUND AT INTERSECTION OF CENTRAL ST. AND NASHOBA ROAD. ELEV.=233.945
- WATER LINES THAT CROSS SEWER LINES SHALL BE ENCASED IN CONCRETE FOR 10 FEET ON EITHER SIDE OF SEWER LINE.
- SUPPLEMENTARY DATA SUBMITTED UNDER THE RULES ARE AN INTEGRAL PART OF THE DEFINITIVE PLAN AND THAT NON-COMPLIANCE WITH THE PLAN PROFILES, UTILITIES, LAYOUTS AND RESTRICTIVE COVENANTS WILL VOID THE APPROVAL STATUS, UNLESS, A WAIVER IS SPECIFICALLY APPROVED BY THE BOARD IN WRITING.
- IF ALTERATIONS (REMOVAL OF VEGETATION, GRADING, EXCAVATIONS, ETC.) ARE TO BE MADE WITHIN 100 FEET OF WETLANDS AREAS (PONDS, BROOKS, SWAMPS, ETC.) OR WITHIN RIVERFRONT AREAS, A REQUEST FOR DETERMINATION OF APPLICABILITY OF THE WETLANDS PROTECTION ACT (6131 *40A) SHOULD BE FILED WITH THE TOWN'S CONSERVATION COMMISSION. THE FILING OF A NOTICE OF INTENT MAY BE REQUIRED AND LOCAL BYLAWS MAY APPLY.
- THERE ARE NO PROPOSED LOCATIONS FOR UNDERGROUND STORAGE TANKS FOR FUELS OR OTHER CHEMICALS.
- THE DRIVEWAY SHALL BE BROUGHT TO FINISH GRADE WITH AT LEAST THE TOP 12 INCHES CONSISTING OF TWO SIX-INCH LAYERS OF WELL-COMPACTED BINDING GRAVEL THREE FEET WIDER ON EACH SIDE THAN REQUIRED PAVEMENT. (SEE MICMAC LANE CROSS SECTION)
- THE COMPLETED GRAVEL SURFACE SHALL BE TREATED FOR THE FULL WIDTH OF THE DRIVEWAY WITH 1 1/2 INCHES OF TYPE 1, BITUMINOUS CONCRETE PAVEMENT APPLIED AS A BINDER COURSE. THE BINDER COURSE OF PAVEMENT SHALL BE EXPOSED TO ONE WINTER SEASON (NOV. 15 - APR. 30) PRIOR TO THE APPLICATION OF THE WEARING COURSE.
- THE BINDER COURSE SHALL BE TREATED FOR THE FULL WIDTH OF THE DRIVEWAY WITH A WEARING SURFACE OF 1 1/2 INCHES OF TYPE 1, BITUMINOUS CONCRETE PAVEMENT APPLIED IN ONE COURSE. PRIOR TO INSTALLATION OF THE WEARING SURFACE ON THE DRIVEWAY, THE BINDER COURSE SHALL BE SWEEPED CLEAN, DRIED IF NECESSARY, PATCHED AND TREATED WITH AN ASPHALT EMULSION OR TACK COAT TO ENSURE A SATISFACTORY BOND BETWEEN THE PAVEMENT COURSES. IN ORDER TO MINIMIZE DAMAGE TO THE WEARING SURFACE, THE WEARING COURSE SHOULD NOT BE APPLIED UNTIL ALL CONSTRUCTION ON THE BUILDINGS SERVED BY THE PROPOSED DRIVEWAY IS COMPLETED OR SUBSTANTIALLY COMPLETED.

DRAINAGE SYSTEM OPERATION AND MAINTENANCE PLAN

THE IMPLEMENTATION, INSPECTION, AND REPAIR OF THE EROSION CONTROLS IS THE RESPONSIBILITY OF THE SITE CONTRACTOR DURING CONSTRUCTION.

THE INSPECTION AND OPERATION OF THE STORM WATER MANAGEMENT SYSTEM UPON COMPLETION OF CONSTRUCTION IS THE RESPONSIBILITY OF:

DURING CONSTRUCTION: APPLICANT - JUDITH KOTANCHIK
48 NASHOBA ROAD
ACTON, MA 01720

PARTIES RESPONSIBLE FOR LONG TERM OPERATION/MAINTENANCE:
HOME OWNERS OF LOTS SERVED BY PRIVATE WAY "MICMAC LANE".

SCHEDULE FOR INSPECTION AND MAINTENANCE:

STREET SWEEPING:
THE PAVEMENT SHALL BE SWEEPED OF ALL SEDIMENT ONCE IN THE SPRING AND ONCE IN THE FALL.

DEEP SUMP AND HOODED CATCH BASINS
THE DEEP SUMP FOR THE CATCH BASINS SHALL BE INSPECTED AND CLEANED ANNUALLY. THE CATCH BASINS SHALL HAVE A FOUR FOOT DEEP SUMP AND THE WATER LEVEL IS MAINTAINED BY THE DISCHARGE PIPE AT FOUR FEET. THE DISCHARGE PIPE IS HIDDEN FROM VIEW BY A HOODED OULITE.

- THE DEPTH OF THE SEDIMENT IN A BASIN SHALL NOT EXCEED A DEPTH OF 18 INCHES AS DETERMINED BY PROBING WITH A STICK. IF THE STICK HITS THE BOTTOM WITHIN 30 INCHES OF THE WATER LEVEL, MORE THAN 18 INCHES OF SEDIMENT HAS ACCUMULATED AND MUST BE REMOVED. LICENSED PERSONS SHOULD REMOVE AND DISPOSE OF THE CONTENTS OF THE SUMP IN ACCORDANCE WITH APPLICABLE REGULATIONS.

DRAINAGE BASIN
IN EACH OF THE FIRST THREE YEARS AFTER CONSTRUCTION, TWO INSPECTIONS ARE REQUIRED IN BOTH THE GROWING AND NON-GROWING SEASONS. AFTER SUCCESSFUL ESTABLISHMENT OF ALL REQUIRED VEGETATION AND SURFACES WITHSTAND EROSION, INSPECTION AND MAINTENANCE SHOULD CONTINUE ON A YEARLY BASIS. THE FOLLOWING OBSERVATIONS AND CORRECTIVE MEASURES SHOULD BE MADE DURING EACH INSPECTION:

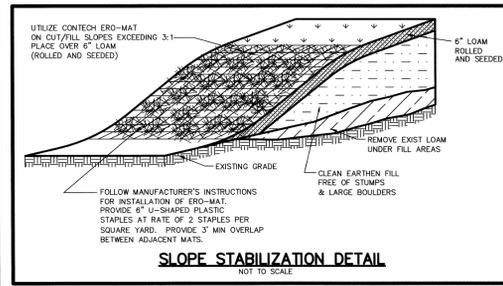
- SIDE SLOPES OF THE CHANNEL SHALL BE INSPECTED FOR EROSION.
ALL ERODED AREAS SHALL RECEIVE 6" OF LOAM AND BE RESEEDED PER ORIGINAL DESIGN PLAN. AREAS OF CONTINUED EROSION SHALL BE STABILIZED WITH 3" MINUS RIPRAP.

- REMOVE ALL SEDIMENT FROM THE CHANNEL ONCE THE SEDIMENT REACHES 10% OF CHANNEL VOLUME OR 3-INCH DEPTH.

EMERGENCY CONTACTS:
IN THE EVENT OF A HAZARDOUS MATERIALS SPILL ON THE SITE THE FOLLOWING PARTIES SHALL BE CONTACTED:

FIRE DEPARTMENT: PH: 978-284-9645

RECORDS:
THE OWNER SHALL MAINTAIN AN INSPECTION LOG OF ALL ELEMENTS OF THE STORM WATER MANAGEMENT PLAN. THE OWNER SHALL MAINTAIN A MAINTENANCE LOG DOCUMENTING THE INSPECTION AND MAINTENANCE OF THE DRAINAGE STRUCTURES UNDER HIS CONTROL. A COPY OF THE EROSION CONTROL AND STORM WATER MAINTENANCE PLAN AND INSPECTION LOGS SHALL BE KEPT ON SITE AT ALL TIMES.

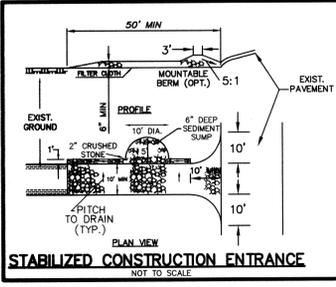
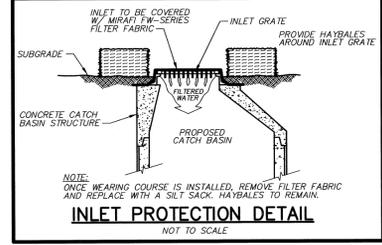
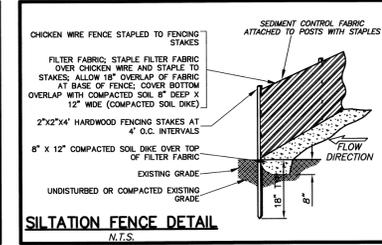
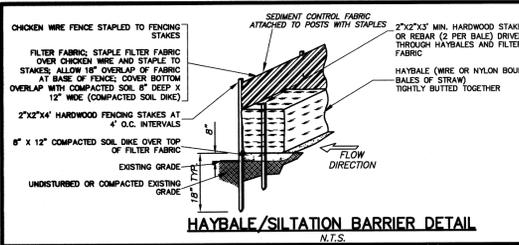


EROSION AND SEDIMENTATION CONTROL NOTES

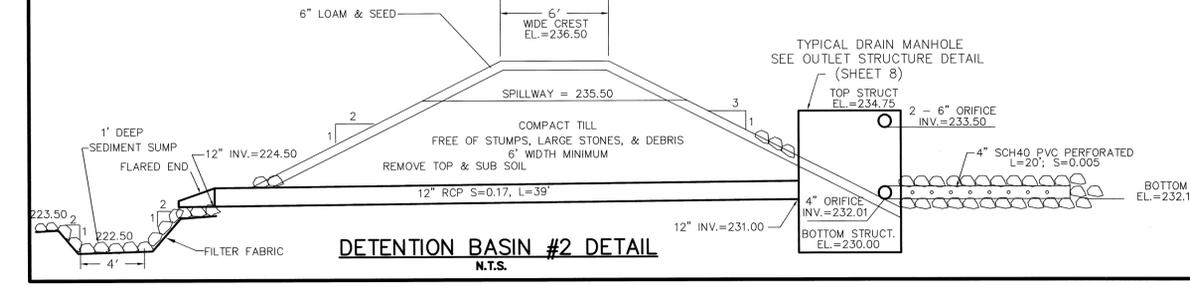
- THE LIMITS OF WORK SHALL BE MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
- SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY CONSTRUCTION ON THE SITE.
- SILTATION BARRIER AND SILT FENCE SHALL BE PLACED IN ALL AREAS AS SHOWN ON ALL THE PLANS AND IN ANY OTHER AREAS AS DETERMINED NECESSARY DURING CONSTRUCTION.
- ALL SOIL STOCKPILES SHALL HAVE EROSION CONTROL MEASURES AROUND THEIR EDGES AT ALL TIMES. SOIL STOCKPILES SHALL BE COVERED WITH TEMPORARY VEGETATION OR FASTENED TAUPAULIN SHEETS.
- THE DRAINAGE SYSTEM SHALL BE CONSTRUCTED DURING THE EARLIEST STAGES OF THE PROJECT IN ORDER TO COLLECT RUNOFF AND SEDIMENT.
- ALL CATCH BASINS SHALL BE COVERED WITH SILTATION FABRIC DURING CONSTRUCTION. CATCH BASIN RIMS ARE TO BE SET AT BINDER GRADE UNTIL IT IS TIME TO APPLY THE PAVEMENT WEARING COARSE.
- ALL CUT AND FILL SLOPES SHALL BE IMMEDIATELY COVERED WITH 6" OF LOAM AND SEEDING DURING THE GROWING SEASON (APRIL 1 TO NOVEMBER 1) OR COVERED WITH HAYMULCH DURING THE NON-GROWING SEASON (NOVEMBER 1 TO APRIL 1). IN AREAS SUBJECT TO THE WETLANDS PROTECTION ACT, THE HAYMULCH AND/OR REQUIRED MEASURES SHALL REMAIN IN PLACE UNTIL PERMANENT VEGETATION IS ESTABLISHED.
- UNLESS OTHERWISE INDICATED, ALL DISTURBED AREAS SHALL RECEIVE 6" OF LOAM AND BE SEED TO PREVENT EROSION.
- THE DRAINAGE BASIN SHALL BE CLEANED FOLLOWING CONSTRUCTION AND ANNUALLY THEREAFTER.
- UPON ACCUMULATION OF 6" OF SEDIMENT, THE DRAINAGE BASIN SHALL BE CLEANED.
- THE SILTATION BARRIER SHALL BE MAINTAINED UNTIL VEGETATIVE COVER HAS BEEN SUITABLY ESTABLISHED AND GRADED SLOPES ARE STABLE.
- INSPECTION/MAINTENANCE:**
THE SITE CONTRACTOR IS RESPONSIBLE TO CLEAN UP ANY SEDIMENT WHICH ERODES FROM THE SITE INTO NASHOBA ROAD OR ABUTTING PROPERTY IMMEDIATELY UPON DISCOVERY.
- THE SITE CONTRACTOR IS RESPONSIBLE TO CLEAN UP ANY SEDIMENT WHICH ERODES FROM THE SITE ONTO PRIVATE PROPERTY AND TO REMOVE SEDIMENT OR DEBRIS THAT ENTERS ANY EXISTING DRAINAGE SYSTEM INCLUDING CATCH BASIN SUMPS, PIPE LINES, MANHOLES, AND DITCHES.
- THE CONTRACTOR SHALL FOLLOW STANDARD PRACTICE AND LOAM AND SEED ALL DISTURBED AREAS FOLLOWING CONSTRUCTION.
- OPERATOR PERSONNEL MUST INSPECT THE CONSTRUCTION SITE AT LEAST EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5 INCHES OR MORE. DISTURBED AREAS THAT HAVE BEEN STABILIZED MUST BE INSPECTED AT LEAST ONCE PER MONTH.
- THE SILTATION BARRIER SHALL BE MAINTAINED UNTIL VEGETATIVE COVER HAS BEEN SUITABLY ESTABLISHED, GRADED SLOPES ARE STABLE.
- ALL CATCH BASIN SUMPS AND MANHOLES SHALL BE CLEANED OUT AFTER CONSTRUCTION AND ANNUALLY THEREAFTER.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL SPRAY DOWN THE SITE WITH A WATER TRUCK AS NEEDED FOR DUST CONTROL.
- DURING CONSTRUCTION THE CONTRACTOR SHALL INSPECT NASHOBA ROAD AND SWEEP AS NECESSARY.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL STRUCTURES AND DEVICES THROUGHOUT CONSTRUCTION. ANY EROSION CONTROL DEVICES FOUND TO NO LONGER TO BE SERVICEABLE SHALL BE REMOVED AND REPLACED. ALL ACCUMULATED SEDIMENTS MUST BE REMOVED WHEN DEPOSITS REACH NO MORE THAN ONE HALF THE HEIGHT OF THE SILTATION BARRIER.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING (7 DAYS IF WITH 100 FEET OF A STREAM, POND OR WETLAND) AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT THE SITE FROM SPRING RUNOFF PROBLEMS. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TEMPORARY MULCH OR OTHER METHODS APPROVED BY THE ENGINEER SHALL BE EMPLOYED TO PROTECT THE SITE.
- A STOCKPILE OF ADDITIONAL SILT FENCE AND HAYBALES SHALL BE KEPT ON SITE IN ORDER TO BE ABLE TO IMMEDIATELY RESPOND TO ISSUES WHICH MIGHT DEVELOP DURING CONSTRUCTION.

EROSION AND SEDIMENTATION CONTROL PLAN

SCALE: 1"=80'



- CONSTRUCTION SPECIFICATIONS**
- THE ENTRANCE OF THE PROPOSED DRIVEWAY SHALL INITIALLY HAVE 6" OF 2" CRUSHED STONE LAID DOWN AS A TRAFFIC SEDIMENT CONTROL SURFACE AS SHOWN IN THE STABILIZED CONSTRUCTION ENTRANCE DETAIL. THIS STONE PACK SHALL BE PLACED OVER THE DRIVEWAY FOR A MINIMUM DISTANCE OF 50 FEET FROM THE EDGE OF PAVEMENT AND SHALL BE REMOVED AND REPLACED WITH ROADWAY GRAVEL IMMEDIATELY PRIOR TO THE PLACEMENT OF PAVEMENT.
 - STONE SIZE - USE 2" CRUSHED STONE. LARGER STONE MAY BE REQUIRED AND IS TO BE INSTALLED IF CONDITIONS ARE SUCH THAT THE 2-INCH STONE IS NOT PERFORMING AS REQUIRED.
 - WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS OF INGRESS OR EGRESS.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACEMENT OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED NEAR CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS DONE IT SHALL BE DONE ON STABILIZED ENTRANCE WITH STONE AND WHICH DRAINS INTO THE SEDIMENT SUMP AS SHOWN.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



DATE _____

TOWN CLERK _____

ACTON PLANNING BOARD _____

APPROVAL DATE: _____

ENDORSEMENT DATE: _____

DEFINITIVE PLAN
FOR
MICMAC LANE
IN
ACTON, MA

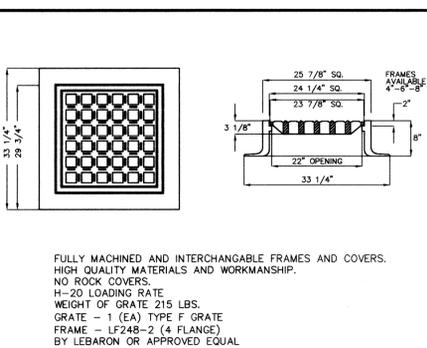
EROSION AND SEDIMENTATION CONTROL PLAN AND DETAILS

FOR: KOTANCHIK
SCALE: 1"=40' OCTOBER 31, 2007
REVISED: APRIL 23, 2009 REVISED: AUGUST 18, 2009
REVISED: NOVEMBER 20, 2009

STAMSKI AND McNARY, INC.
80 HARRIS STREET ACTON, MASS.
ENGINEERING - PLANNING - SURVEYING

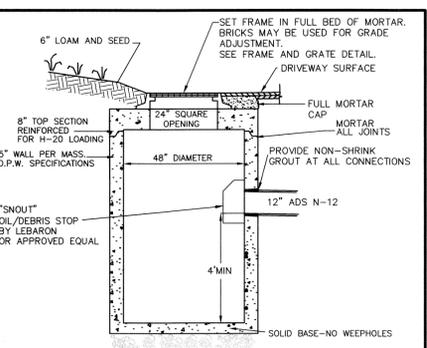
SM-3727 (3727 DEF G.DWG) SHEET 7 OF 8





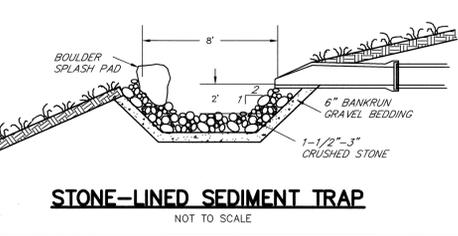
CATCH BASIN FRAME AND GRATE DETAIL
NOT TO SCALE

1. FRAME AND GRATE TO CONFORM TO MASS HIGHWAY CONSTRUCTION STANDARDS (SEE DETAIL 201.6.0)

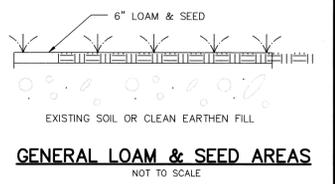


PRECAST FLAT TOP CATCH BASIN DETAIL (CB-1, 2, 4 & 5)
NOT TO SCALE

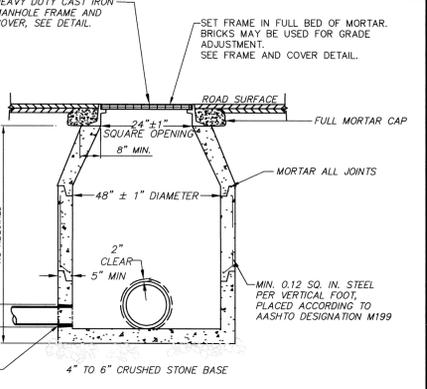
1. CONSTRUCTION JOINTS AND GAS TRAPS TO BE SEALED WITH A ONE-INCH BUTYL-RUBBER GAS TYPE SEALANT.



STONE-LINED SEDIMENT TRAP
NOT TO SCALE

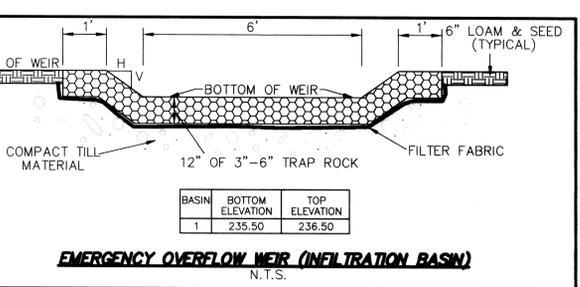


GENERAL LOAM & SEED AREAS
NOT TO SCALE



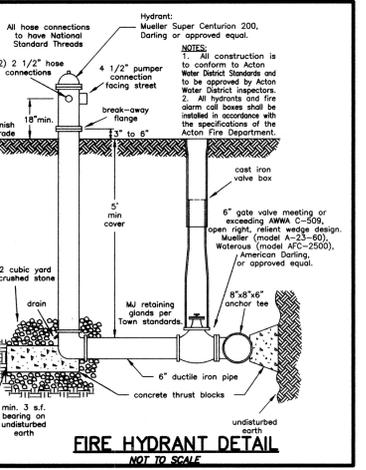
PRECAST CONCRETE MANHOLE DETAIL
NOT TO SCALE

1. MANHOLE TO CONFORM TO MASS HIGHWAY CONSTRUCTION STANDARDS (SEE DETAIL 202.4.0)
2. FACE OF PIPE FLUSH OR NOT TO PROJECT MORE THAN 4\"/>

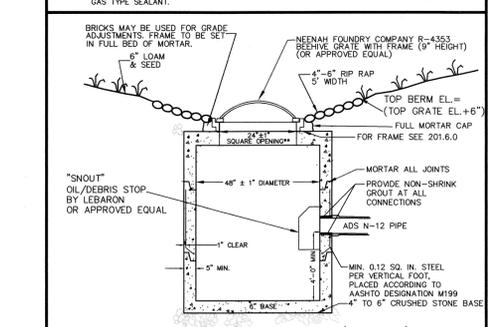


EMERGENCY OVERFLOW WEIR (INFILTRATION BASIN)
N.T.S.

BASIN ELEVATION	BOTTOM ELEVATION	TOP ELEVATION
1	235.50	236.50

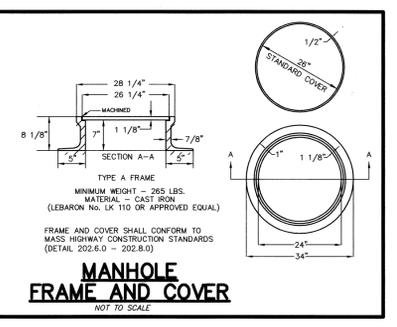


FIRE HYDRANT DETAIL
NOT TO SCALE

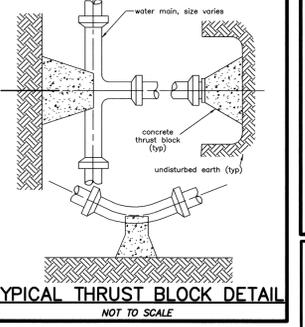


CATCH BASIN DETAIL (CB-3)
NOT TO SCALE

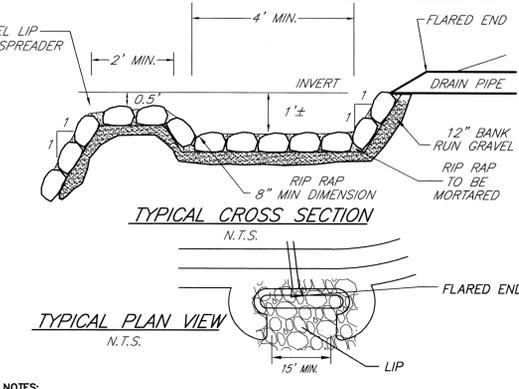
1. INLET TO CONFORM TO MASS HIGHWAY CONSTRUCTION STANDARDS (SEE DETAIL 201.4.0)
2. FACE OF PIPE FLUSH OR NOT TO PROJECT MORE THAN 4\"/>



MANHOLE FRAME AND COVER
NOT TO SCALE



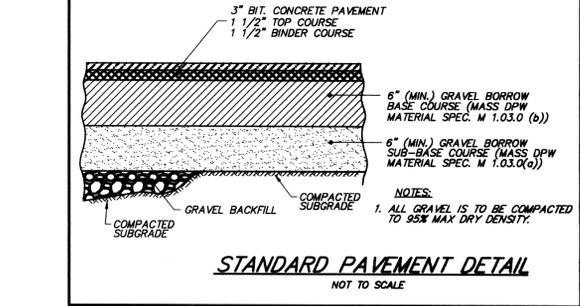
TYPICAL THRUST BLOCK DETAIL
NOT TO SCALE



TYPICAL CROSS SECTION
N.T.S.

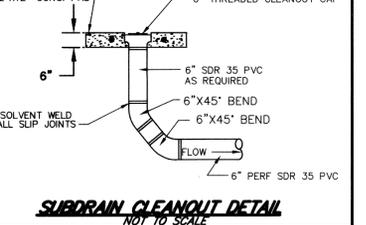
TYPICAL PLAN VIEW
N.T.S.

NOTES:
RIP RAP SHALL BE HARD DURABLE STONE, ANGULAR IN SHAPE AND BE GENERALLY WELL GRADED WITHIN A 45 LB. TO 125 LB. RANGE. RIP RAP SHALL BE PLACED OVER A 1\"/>

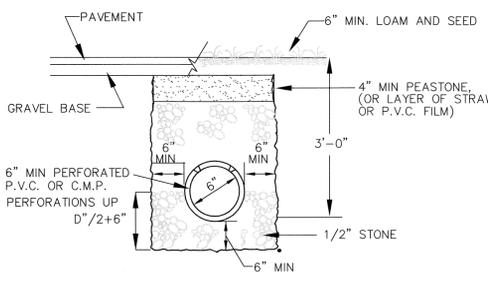


STANDARD PAVEMENT DETAIL
NOT TO SCALE

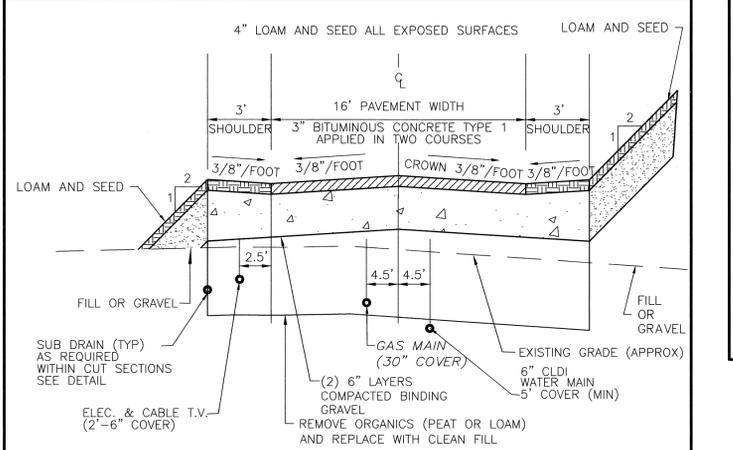
1. ALL GRAVEL IS TO BE COMPACTED TO 95% MAX DRY DENSITY.



SUBDRAIN CLEANOUT DETAIL
NOT TO SCALE

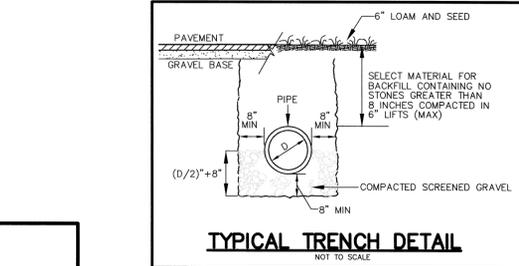


TYPICAL SUBDRAIN DETAIL
NOT TO SCALE

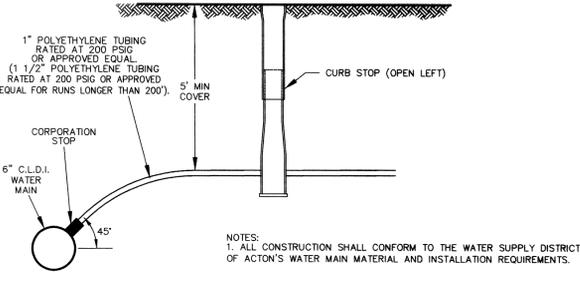


MICMAC LANE CROSS-SECTION
N.T.S.

THE 3\"/>

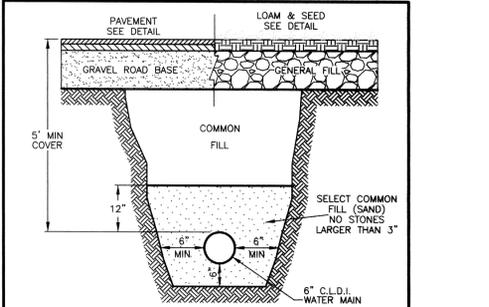


TYPICAL TRENCH DETAIL
NOT TO SCALE



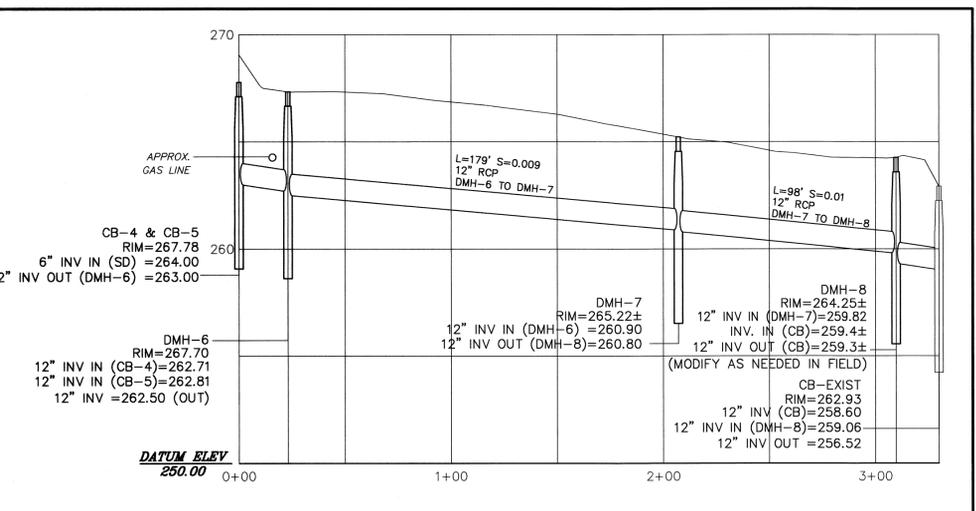
WATER SERVICE CONNECTION
NOT TO SCALE

NOTES:
1. ALL CONSTRUCTION SHALL CONFORM TO THE WATER SUPPLY DISTRICT OF ACTON'S WATER MAIN MATERIAL AND INSTALLATION REQUIREMENTS.

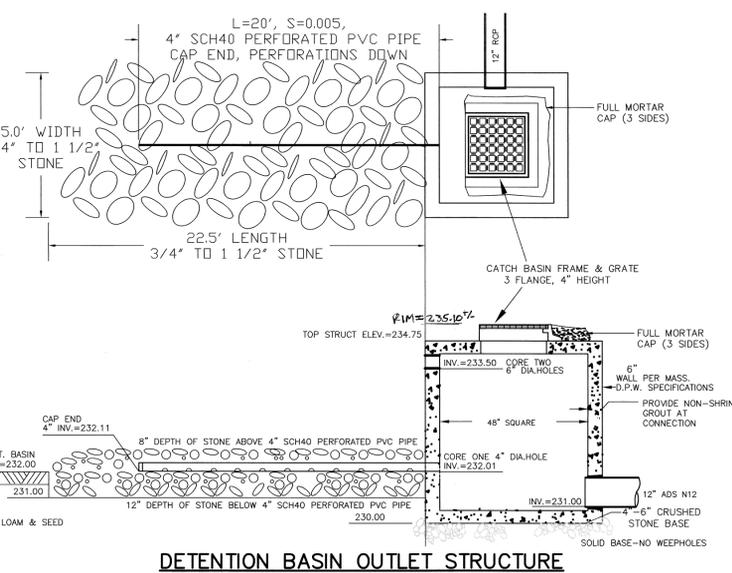


WATER MAIN TRENCH DETAIL
NOT TO SCALE

NOTES:
1. ALL CONSTRUCTION SHALL CONFORM TO THE WATER SUPPLY DISTRICT OF ACTON'S WATER MAIN MATERIAL AND INSTALLATION REQUIREMENTS.



PROFILE - NASHOBA ROAD (PUBLIC)
SCALE: 1"=4' VERTICAL
SCALE: 1"=40' HORIZONTAL



DETENTION BASIN OUTLET STRUCTURE
NOT TO SCALE

NOTES:
1. MANHOLE 4' x 4' SQUARE (SHEA CONCRETE OR APPROVED EQUAL) TO CONFORM TO MASS. D.P.W. STANDARD 202.4.0.
2. FACE OF PIPE FLUSH OR NOT TO PROJECT MORE THAN 4\"/>

1. CLERK OF THE TOWN OF ACTON, MASSACHUSETTS HEREBY CERTIFY THE NOTICE OF APPROVAL OF THIS PLAN BY THE ACTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____

TOWN CLERK _____

ACTON PLANNING BOARD

APPROVAL DATE: _____

ENDORSEMENT DATE: _____

DEFINITIVE PLAN
FOR
MICMAC LANE
IN
ACTON, MA

CONSTRUCTION DETAILS
FOR: KOTANCHIK
SCALE: 1"=40' DECEMBER 31, 2007
REVISED: APRIL 23, 2009 REVISED: AUGUST 18, 2009
REVISED: NOVEMBER 20, 2009

STAMSKI AND McNARY, INC.
80 HARRIS STREET ACTON, MASS.
ENGINEERING - PLANNING - SURVEYING

SEAL: WILLIAM F. McNARY No. 80755
SEAL: JOSEPH MARCH CIVIL No. 80772

SM-3727 (3727 DEF-G.DWG) SHEET 8 OF 8