

Stamski And McNary, Inc.

Engineering - Planning – Surveying

80 Harris Street, Acton, MA 01720 (978) 263-8585

www.stamskiandmcnary.com

Site Plan Special Permit Application

for 525, 531, 537, 541 Massachusetts Avenue

Application for Use Special Permits

for 525, 531, 537, 541 Massachusetts Avenue

Minor Site Plan Special Permit Amendment

for 541, 543, 545 Massachusetts Avenue and 3, 5, 7 Spruce Street

Under the Town of Acton “Zoning Bylaw”

and the Board of Selectmen’s

“Rules and Regulations for Site Plan Special Permits”

For

West Acton Village Ecology

Acton, MA

January 15, 2010

Applicant: 531 Mass Ave LLC
543 Massachusetts Ave
Acton, MA 01720

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The Office of Michael Rosenfeld, Inc., *Architects*
543 Massachusetts Avenue, West Acton, MA 01720
Phone: (978) 264-0160 Fax: (978) 266-1650 omr-architects.com



December 21, 2009

Dear Members of the Board of Selectmen:

We are excited to present our proposal for the West Acton Village Ecology (WAVE). As you know, this proposal has been in planning for several years, and is shaped by many one-on-one and group meetings with neighbors, businesses, elected officials, town staff, and community groups. As part of our public outreach, we held an open house in which we invited nearly three hundred West Acton Village residents to view the plans and provide us with feedback. We also presented at a public information session in front of the Planning Board and a full audience at Town Hall, and have received official approvals and endorsements from the Historic District Commission, the Conservation Commission, and the Board of Health. Support for the plan and the revitalization of this section of West Acton Village has been overwhelming. Neighbors, businesses, the arts community, transportation and sustainability advocates, and supporters of local economic development have all expressed great enthusiasm for the project.

As with all speculative development projects, WAVE's interior floor plans are flexible, fluid, and constantly evolving to accommodate the needs of different potential tenants. For example, just prior to the planned submission of our original application to your Board, we learned that the donor who intended to finance the central community theater component needed to withdraw from the project due to the economic downturn. As a result, we have since revised the floor plans to accommodate a smaller, more versatile kind of cultural space that enables the required rentable area to keep the project economically feasible. These interior changes have not substantively impacted the site plan or the exterior design that we presented to the community.

To reflect these adjustments, we have included an addendum to the original traffic study. The addendum presents a scenario based on a conservative set of assumptions, and represents the similar traffic results produced by a range of possible tenant mixes. For the parking table calculations that demonstrate zoning compliance, we assumed the most parking intensive use for each proposed unit. This approach to assessing traffic and parking conditions enables programmatic flexibility while maintaining the integrity of our projections.

We strongly believe that WAVE can contribute to reinforcing a sustainable and community-based village with shops, workspace, food options, and an arts venue for music, lectures, independent films, art exhibitions, art/music/exercise classes, meetings and seminars, small banquets, and other events to help bring the community together in the Village. Thank you for reviewing our submission. We look forward to meeting with you.

Sincerely,

MATHIAS

Mathias Rosenfeld

Michael Rosenfeld

Michael Rosenfeld

STAMSKI AND MCNARY, INC.

80 Harris Street
Acton, Massachusetts 01720
(978) 263-8585
FAX (978) 263-9883

WILLIAM F. MCNARY, P.L.S.
JOSEPH MARCH, P.E., P.L.S.

January 15, 2010

Acton Board of Selectmen
472 Main Street
Acton, MA 01720

Re: West Acton Village Ecology
Massachusetts Ave.

Members of the Board,

On behalf of our client, 531 Mass Ave LLC, we hereby submit the enclosed information for a "Site Plan Special Permit" and "Special Permits" for Uses pursuant to the Board of Selectmen's "Rules and Regulations for Site Plan Special Permits" and the Town of Acton "Zoning Bylaw" for the referenced site.

Very truly yours,

Stamski and McNary, Inc.



George Dimakarakos, P.E.

STAMSKI AND MCNARY, INC.

80 Harris Street
Acton, Massachusetts 01720
(978) 263-8585
FAX (978) 263-9883

WILLIAM F. MCNARY, P.L.S.
JOSEPH MARCH, P.E., P.L.S.

January 15, 2010

Acton Town Clerk
472 Main Street
Acton, MA 01720

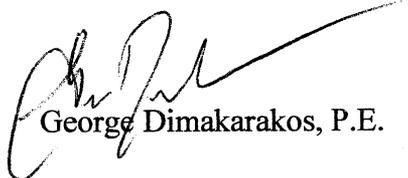
Re: West Acton Village Ecology
Massachusetts Ave.

Dear Town Clerk,

On behalf of our client, 531 Mass Ave LLC, we hereby submit the enclosed information for a "Site Plan Special Permit" and "Special Permits" for Uses pursuant to the Board of Selectmen's "Rules and Regulations for Site Plan Special Permits" and the Town of Acton "Zoning Bylaw" for the referenced site.

Very truly yours,

Stamski and McNary, Inc.



George Dimakarakos, P.E.

Project Overview (By OMR Architects)

West Acton Village Ecology Project Overview

The *West Acton Village Ecology (WAVE)* is a combination of adaptive re-use and new construction on the vacant properties adjacent to our office, *OMR Architects*, located in the old St. Elizabeth's Church building in West Acton Village.

Our proposal is the result of many conversations with town and village residents, business owners, community and cultural groups, Acton school and community education representatives, town boards and administrators, and elected officials. These discussions have revealed a strong desire for environmentally responsible, community-based development that enriches Acton's cultural landscape, preserves its heritage, strengthens local business, and reflects the goals expressed in the West Acton Village Master Plan and Acton Comprehensive Community Plan Visioning Workshops.

We are committed to the Village and to achieving these community needs. We have been business owners in West Acton for 25 years, and are driven (as in all of our work) to ensure that WAVE is environmentally sensitive, respectful of the past, and forward looking.

Goals

The project name, "West Acton Village Ecology", represents a theme of *connection*. We want WAVE to help connect people to cultural opportunities, educational resources, the built and natural environment, local history, and a *shared sense of community*. We believe that reinforcing and strengthening these connections fosters a greater understanding, appreciation, and responsibility for each other and the places we live.

In addition to this overarching goal, we hope to achieve the following **objectives**:

- Preserve the existing **historic village scale, rhythm, and spirit**.
- Model **environmentally responsible** planning, design, construction, and occupancy.
- Support the long-term **sustainability of local businesses and intergenerational community** connections within the village.
- Establish a place for **arts and community** gathering.
- Link learning, cultural, recreational, and business opportunities with a safer, quieter, and more **pedestrian-oriented public streetscape**.

Program (see table for square footage detail)

Restaurant/Shops/Workspace (Restaurant, Retail Store, Office)

The Village's historic character will create a strong identity for small shops, workspaces, and food options that will strengthen the local tax-base and add jobs, workers, and patrons to the Village economy. A lobby will connect the outdoor streetscape to flexible workspace on the first floor, and office/studio space encircling a small arts venue and gallery on the second floor. This community of businesses will benefit from close proximity to each other, the cultural venue, and the playground – which together help support the Village's economic health. Naturally lit, energy efficient units will help reduce each business's operating costs and environmental impact.

Flexible Arts, Community, and Cultural Space (Commercial Entertainment/Recreation/Instruction/Conference Center)

This flexible cultural space will be an intimate venue for music, lectures, independent film, art exhibitions, and other community events in the village. The space may also be configured for exercise groups, small banquets, seminars, and meetings. Several cultural groups in and around Acton have expressed interest in utilizing this community resource.

Streetscape and Public Space

The redesigned street is a vital part of restoring the Village's function as a pedestrian-oriented town center. Reduced speed limits, signage, a new crosswalk to the playground, and traffic calming road design will slow traffic and help Mass Ave become a safer, quieter, and more pedestrian friendly village street. If the Mass Highway grants permission, we would also like to add on-street parking. Existing private front yards will be reclaimed for public-oriented use as part of a streetscape filled with trees, native gardens, sitting areas, and casual gathering spaces that will facilitate community events (such as Oktoberfest, farmer's markets, or arts/crafts fairs) around the playground. Trees will create shade, attract birds, and recall the old tree-lined Village streets. A birch grove with a small picnic area will offer a quiet place to eat lunch overlooking the wetlands.

Parking

Residents have expressed a desire that new off-street parking in the Village be hidden from view. A covered parking lot built into the site's natural grade greatly enhances accessibility to the Village while hiding cars from the street. The open-air parking design creates views to the rear woodlands, and means that energy consuming mechanical ventilation systems will not be required.

Parking that is not covered will be screened from view by buildings, landscaped berms, and vegetation. Pending state approvals, new on-street parking spaces will offer greater access to the playground, eliminate illegal parking currently on Mass Ave, and increase the accessibility of village businesses. Secure bicycle parking will also be provided.

Use and Zoning Summary

Existing Lots FAR Summary	Use	DSA	NSF	Existing FAR
541 Mass Ave	Retail/Office	5930	2716	0.46
535-537 Mass Ave	Two Family	22231	4493	0.20
531-533 Mass Ave	Two Family + Barn	35135	5792	0.16
525 Mass Ave	Single Family	19334	2548	0.13
Total		82630	15549	0.19

Proposed Lot FAR Summary	Use	DSA	NSF	FAR Allowed	Proposed FAR
541-525 Mass Ave	Mixed	82630	33045	0.40	0.40

Proposed Units	Proposed Use(s)	NSF	GSF	Occupancy	SPS	Haz Mat
Retail 1A + 1B or Service/Office	Retail Store/Service/Office	1188	1860		-	N
Retail 2 or Service/Office	Retail Store/Service/Office	568	610		-	N
Retail 3 or Service	Retail Store/Service	1638	1705		-	N
Retail 4 or Service	Retail Store/Service	1638	1705		-	N
Retail 5 or Service	Retail Store/Service	1638	1705		-	N
Retail 6 or Service	Retail Store/Service	729	793		-	N
Restaurant or Retail/Service	Restaurant/Retail Store/Service	2671	3176	95	Y	N
Office 1 or Retail/Service	Office/Retail Store/Service/Studio	1978	2500		-	N
Office 2 or Retail/Service	Office/Retail Store/Service	3195	3379		-	N
Office 3 or Retail/Service	Office/Retail Store/Service	3662	3804		-	N
Office Studios 4	Office/Studio	2112	2314		-	N
Office Studios 5	Office/Studio	1320	1520		-	N
Office Studios 6	Office/Studio	949	1065		-	N
Office 7	Office/Studio	1144	1221		-	N
Office 8	Office/Studio	460	489		-	N
Office 9	Office/Studio	527	583		-	N
Office 10	Office/Studio	2564	2757		-	N
Office 11	Office/Studio	729	798		-	N
Existing 541 Building	Office/Retail Store/Service/Studio	2716	3275	175	-	N
Cultural Space + Support Room	Multiple: SEE SCENARIOS	1619	1693		Y	N
Trash/Recycling Garage	Gross SF	0	623		-	N
Parking Level Baths/Svc/Circulation	Gross SF	0	4746		-	N
Street Level Baths/Svc/Circulation	Gross SF	0	2367		-	N
Upper Level Baths/Svc/Circulation	Gross SF	0	4549		-	N
Totals		33045	49237		-	-

Parking Summary - Weekday Parking Calculations

Unit	NSF	Seats	Max. Zoning Requirement*	Required Parking**	Weekday	
					Provided	Off-street Parking***
Retail 1A + 1B or Service/Office	1188		Office - 1 / 250nsf x .5	2.4	2	
Retail 2 or Service/Office	568		Office - 1 / 250nsf x .5	1.1	1	
Retail 3 or Service	1638		Retail - 1 / 300nsf x .5	2.7	3	
Retail 4 or Service	1638		Retail - 1 / 300nsf x .5	2.7	3	
Retail 5 or Service	1638		Retail - 1 / 300nsf x .5	2.7	3	
Retail 6 or Service	729		Retail - 1 / 300nsf x .5	1.2	1	
Restaurant or Retail/Service		95	Restaurant - 1 / 3 seats x .5	15.8	16	
Office 1 or Retail/Service	1978		Office - 1 / 250nsf x .5	4.0	4	
Office 2 or Retail/Service	3195		Office - 1 / 250nsf x .5	6.4	6	
Office 3 or Retail/Service	3662		Office - 1 / 250nsf x .5	7.3	7	
Office Studios 4	2112		Office - 1 / 250nsf x .5	4.2	4	
Office Studios 5	1320		Office - 1 / 250nsf x .5	2.6	3	
Office Studios 6	949		Office - 1 / 250nsf x .5	1.9	2	
Office 7	1144		Office - 1 / 250nsf x .5	2.3	2	
Office 8	460		Office - 1 / 250nsf x .5	0.9	1	
Office 9	527		Office - 1 / 250nsf x .5	1.1	1	
Office 10	2564		Office - 1 / 250nsf x .5	5.1	5	
Office 11	729		Office - 1 / 250nsf x .5	1.5	2	
Cultural Space Day Existing 541 Building****	No Change	20	See Cultural Space Scenarios	3.5	4	
Totals			NA	69.5	70	NA

*For unknown Office or Retail Use: Office requirements are used to represent a maximum parking potential

**Based on requirements for village collective parking (Sec. 6.9.4.4).

***Proposed collective parking agreement

****Per existing Site Plan Approval 1989-3200 for 543-541 Mass Ave. Parking on separate lot. No Change.

Parking Summary - Night and Weekend Parking Calculations

Unit	NSF	Seats	Max. Zoning Requirement*	Nights/Weekends	
				Required Parking**	Provided off-street Parking***
Retail 1A + 1B or Service/Office	1188		Retail - 1 / 300nsf x .5	2.0	2
Retail 2 or Service/Office	568		Retail - 1 / 300nsf x .5	0.9	1
Retail 3 or Service	1638		Retail - 1 / 300nsf x .5	2.7	3
Retail 4 or Service	1638		Retail - 1 / 300nsf x .5	2.7	3
Retail 5 or Service	1638		Retail - 1 / 300nsf x .5	2.7	3
Retail 6 or Service	729		Retail - 1 / 300nsf x .5	1.2	1
Restaurant or Retail/Service		95	Restaurant - 1 / 3 seats x .5	15.8	16
Office 1 or Retail/Service	1978		Retail - 1 / 300nsf x .5	3.3	3
Office 2 or Retail/Service	3195		Retail - 1 / 300nsf x .5	5.3	5
Office 3 or Retail/Service	3662		Retail - 1 / 300nsf x .5	6.1	6
Office Studios 4	2112		Office - 1 / 250nsf x .5	-	-
Office Studios 5	1320		Office - 1 / 250nsf x .5	-	-
Office Studios 6	949		Office - 1 / 250nsf x .5	-	-
Office 7	1144		Office - 1 / 250nsf x .5	-	-
Office 8	460		Office - 1 / 250nsf x .5	-	-
Office 9	527		Office - 1 / 250nsf x .5	-	-
Office 10	2564		Office - 1 / 250nsf x .5	-	-
Office 11	729		Office - 1 / 250nsf x .5	-	-
Cultural Space Night		175	See Cultural Space Scenarios	21.9	27*****
Existing 541 Building****	No Change		NA	NA	NA
Totals				64.8	70

*For unknown Office or Retail Use: Retail requirements are used to represent a maximum parking potential

**Based on requirements for village collective parking (Sec. 6.9.4.4).

***Proposed collective parking agreement

****Per existing Site Plan Approval 1989-3200 for 543-541 Mass Ave. Parking on separate lot. No Change.

*****Does not include 21 available parking spaces at 543 Mass Ave for additional overflow parking (see next page)

Parking Summary - Total Available Parking

Off-street	Weekdays	Nights	Weekends
New Off-Street Parking Lot	70	70	70
Existing OMR Parking for Night/Weekend Use	0	21	21
Total Off-Street Parking	70	91	91
On-Street	Weekdays	Nights	Weekends
New On-street Spaces	17	17	17
Existing Unutilized On-Street Spaces	24	54	27
Total On-street Parking	41	71	44
Cultural Space Overflow	Weekdays	Nights	Weekends
Building Trade Shop	0	5	5
West Acton Baptist Church	0	26	26
Municipal Lot Behind Fire Station	23	23	23
Other Private Lots in Village Available During Non-Business Hours	0	31	31
Total Overflow Spaces	23	85	85
Total Available On and Off Street Parking	134	247	220

New Off-street Parking Detail

Type of Space	New Spaces
New Full Size Spaces	65
New Handicap Spaces	3
New Compact Spaces	2
Total New Spaces	70

Compact Parking	Spaces
Eligible Spaces (non-retail)	42
Compact Spaces Provided	2
% Provided Compact Spaces	5%
% Allowable Compact Spaces**	30%

**Per Zoning By-law Sec. 6.6

Parking Summary - Cultural Space Scenarios

Special Permit Uses: Commercial Entertainment and Conference Center			
Time	Occupancy	Off-Street Required	Off-Street Provided*
Weekday	20	2.5	4
Night/Weekend	175	21.9	27
			<u>Parking Calculation</u>
			.5 x (1 space/4 occupants)
			.5 x (1 space/4 occupants)

Special Permit Uses: Commercial Instruction and Commercial Recreation			
Time	Occupancy	Off-Street Required	Off-Street Provided*
Weekday	20	3.5	4
Night/Weekend	60	8.5	27
			<u>Parking Calculation</u>
			.5 x (1 space/4 students + 1 tchr + 1 class)
			.5 x (1 space/4 students + 1 tchr + 1 class)

* Does not include on-street parking, OMR parking, or designated overflow parking identified in parking summary

3.1: Application for a Site Plan Special Permit; Application for Use Special Permits, Application for a Minor Site Plan Special Permit Amendment

Town of Acton
APPLICATION FOR SITE PLAN SPECIAL PERMIT
To The
Board Of Selectmen

Refer to the "Rules and Regulations for Site Plan Special Permits" available from the Office of the Board or the Site Plan Coordinator for details on the information and fees required for this application. Contact the Site Plan Coordinator at 264-9632 with any questions concerning the Rules. Incomplete applications may be denied.

Please type or print your application.

APPLICANT'S

Name & Address

531 Mass Ave LLC
543 Massachusetts Ave
Acton, MA 01720

Telephone

(978) 264-0160

OWNER'S

Name & Address

See Attachment

Telephone

Location and Street Address of Site

525,531,537,541 Massachusetts Ave
Acton, MA 01720

Tax Map & Parcel Number

Map F-2A,
Parcels 103,104,105,113,114

Area of Site: 4.06 ac.

Zoning Distric: West Acton Village (WAV)

*If any site plans have been filed previously
for this site give file numbers:*

307, Plan File #3200 (#541 Mass. Ave)

The undersigned hereby apply to the Board of Selectmen for a public hearing and a site plan special permit under Section 10.4 of the Zoning Bylaw approving the attached site plan.

The undersigned hereby certify that the information on this application and plans submitted herewith is correct, and that all applicable provisions of Statutes, Regulations, and Bylaws will be complied with.

The above is subscribed to and executed by the undersigned under the penalties of perjury in accordance with Section 1-A of Chapter 268, General Laws of the Commonwealth of Massachusetts.

Date

June 24, 2009

Signature of Petitioner



OWNER'S KNOWLEDGE AND CONSENT

I hereby assert that I have knowledge of and give my consent to the application presented above.

See Attachment

Date

Signature of Owner

Town of Acton
APPLICATION FOR SPECIAL PERMIT

To The
Board Of Selectmen

Please type or print your application.

Indicate the special permits requested. The fee for a Special Permit is \$250 unless otherwise noted.

Recreation	Nursing Home	Resturant
Hotel, Inn, Motel, Conference Center	Combined Buisness & Dwelling	Lodge or Club
Veterinary Care	Commercial Kennel	Commercial Recreation
Commercial & Trade School	Commercial Entertainment	Freestanding Sign
Warehouse	Mini-Warehouse	Heating Fuel Sales/Service
Light Manufacturing	Scientific Reasearch; Development/Production	Commercial Education or Instruction
Reduced Parking Fee = \$100	Drive-Up Bank Fee = \$1000	Service Station Fee = \$1000

If this application is made concurrently with a site plan application, then the fee will be \$100 in all cases.

APPLICANT'S

Name & Address
 531 Mass Ave LLC
 543 Massachusetts Ave
 Acton, MA 01720

Telephone
 (978)264-0160

OWNER'S

Name & Address
 SEE ATTACHMENT

Location and Street Address of Site
 525,531,537,541 Massachusetts Ave
 Acton, MA 01720

Tax Map & Parcel Number
 Map F-2A,
 Parcels 103,104,105,113,114

Area of Site 4.06 ac.

Zoning District: West Acton Village (WAV)

*If any site plans have been filed previously
 for this site give file numbers*
 307, Plan File #3200 (#541 Mass. Ave)

Telephone

Twelve (12) completed copies of this application and supporting materials including plan sheets, if any, are required at the time of submission. A certified abutters list taken from the most recent town tax list and certified by the Town Assessor must be included with this application. At a minimum, a 1"=1200' location map must be provided with each copy of the application showing the subject site in relation to other lots, roads, and natural features. Sufficient supporting information must be provided to fully explain the purpose and plans of the applicant – attach additional sheets and plans as necessary. The Board may require additional information as it deems necessary. Each copy of any plan sheets shall be folded so that it will fit neatly into a letter sized folder.

OWNER'S KNOWLEDGE AND CONSENT

Parcel 103: 531 Mass Ave I.I.C.
543 Massachusetts Ave
Acton, MA 01720

I hereby assert that I have knowledge of and give my consent to the application presented above.

Date June 24, 2009

Signature of Owner

M. Parry

Parcel 104 & 105: 525 Mass Ave LLC
543 Massachusetts Ave
Acton, MA 01720

I hereby assert that I have knowledge of and give my consent to the application presented above.

Date June 24, 2009

Signature of Owner

M. Parry

Parcel 113: 541 Mass Ave LLC
543 Massachusetts Ave
Acton, MA 01720

I hereby assert that I have knowledge of and give my consent to the application presented above.

Date 6/24/09

Signature of Owner

Nanni Rosenfeld

Parcel 114: 537 Mass Ave LLC
543 Massachusetts Ave
Acton, MA 01720

I hereby assert that I have knowledge of and give my consent to the application presented above.

Date June 24, 2009

Signature of Owner

M. Parry

Town of Acton
APPLICATION FOR SITE PLAN SPECIAL PERMIT
To The **AMENDMENT (MINOR)**
Board Of Selectmen

Refer to the "Rules and Regulations for Site Plan Special Permits" available from the Office of the Board or the Site Plan Coordinator for details on the information and fees required for this application. Contact the Site Plan Coordinator at 264-9632 with any questions concerning the Rules. Incomplete applications may be denied.

Please type or print your application.

APPLICANT'S

Name & Address
531 Mass Ave LLC
543 Massachusetts Ave
Acton, MA 01720

Telephone
(978) 264-0160

OWNER'S
Name & Address
See Attachment

Telephone

Location and Street Address of Site
541,543,545 Massachusetts Ave

3, 5, 7 Spruce Street
Acton, MA 01720

Tax Map & Parcel Number
Map F-2A,

Parcels 94, 97, 112, 113

Area of Site: 1.21 ac.

Zoning Distric: West Acton Village (WAV)

*If any site plans have been filed previously
for this site give file numbers:*
307, Plan File #3200

The undersigned hereby apply to the Board of Selectmen for a public hearing and a site plan special permit under Section 10.4 of the Zoning Bylaw approving the attached site plan.

The undersigned hereby certify that the information on this application and plans submitted herewith is correct, and that all applicable provisions of Statutes, Regulations, and Bylaws will be complied with.

The above is subscribed to and executed by the undersigned under the penalties of perjury in accordance with Section 1-A of Chapter 268, General Laws of the Commonwealth of Massachusetts.

Date

Signature of Petitioner

OWNER'S KNOWLEDGE AND CONSENT

I hereby assert that I have knowledge of and give my consent to the application presented above.

See Attachment

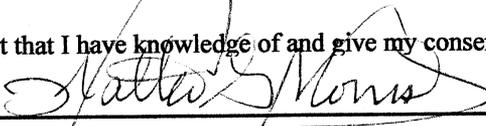
Date

Signature of Owner

OWNER'S KNOWLEDGE AND CONSENT

Parcel 94 Unit 2: Bitterroot Group LLC
3 Spruce Street
Acton, MA 01720

I hereby assert that I have knowledge of and give my consent to the application presented above.

6/12/09 
Date Signature of Owner

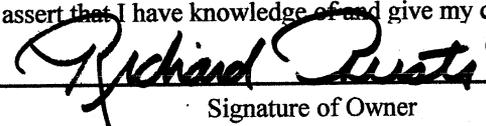
Parcel 94 Unit 3 & Parcel 112: 543-545 Mass Ave Limited Partnership
543 Massachusetts Ave
Acton, MA 01720

I hereby assert that I have knowledge of and give my consent to the application presented above.

June 24, 2009 
Date Signature of Owner

Parcel 97 Unit 1: Presti Family Limited Partnership
585 Massachusetts Ave
Acton, MA 01720

I hereby assert that I have knowledge of and give my consent to the application presented above.

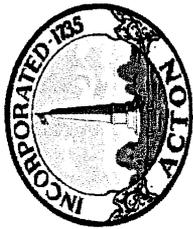

Date Signature of Owner

Parcel 113: 541 Mass Ave LLC
543 Massachusetts Ave
Acton, MA 01720

I hereby assert that I have knowledge of and give my consent to the application presented above.

June 24, 2009 
Date Signature of Owner

3.2: Certified Abutter List



Town of Acton
 472 Main Street
 Acton, MA 01720
 Telephone (978) 264-9622
 Fax (978) 264-9630

Brian McMullen
 Assistant Assessor

Locus: 525-537, 541 MASS AVE & 1 SPRUCE ST #3
 Parcel ID: F2.A-105,104,103,114,113 AND F2.A-94-3

Location	Parcel ID	Owner	Co-Owner	Mailing Address	City	ST	Zip
7 WEST RD	F2.A-29-7	BERLIED JOHN C	C/O LING CAO	7 WEST RD	ACTON	MA	01720
9 WEST RD	F2.A-29-8	CHIAO PHILLIP CHEN HSI	CHIAO ANGELA SU-CHU PENG	9 WEST RD	ACTON	MA	01720
8 WEST RD	F2.A-29-9	GALLAGHER ALISON E	C/O GALLAGHER ALISON E + CALD	8 WEST RD	ACTON	MA	01720
226 ARLINGTON ST	F2.A-29-10	PHILBRICK SCOTT D	SHARYON D	226 ARLINGTON ST	ACTON	MA	01720
11 SPRUCE ST	F2.A-93	BOTTOS NICHOLAS A TRUSTEE	BOTTOS CASSIANI N TRUSTEE	11 SPRUCE ST NOMINEE TRUS 2	ACTON	MA	01720
5-9 SPRUCE ST U1	F2.A-97	PRESTI FAMILY LP	PRESTI MANAGEMENT CORP GP	585 MASS AVENUE	ACTON	MA	01720
543 MASS AV	F2.A-112	543-545 MASSACHUSETTS AVENUE	LIMITED PARTNERSHIP	543 MASS AVE	ACTON	MA	01720
542 MASS AV	F2.A-137	MAXWELL JEFFREY F	C/O GOLECKI THOMAS F + MCILW	542 MASS AV	ACTON	MA	01720
536 MASS AV	F2.A-139	HENSLEIGH NANCY	CHAVEZ SUSAN HARVEY	835 BANTAM WY	PETALUMA	CA	94952
530 MASS AV	F2.A-140	TOWN OF ACTON	ONEIL LINDA B	472 MAIN STREET	ACTON	MA	01720
516 MASS AV	F2.B-6	ONEIL RICHARD J JR	C/O FLANNERY EDWARD W	36 ESTERBROOK RD	ACTON	MA	01720
540 MASS AV	F2.B-15	FLANNERY CECELIA JOAN	C/O FLANNERY EDWARD W	544 MASSACHUSETTS AV	ACTON	MA	01720
520 MASS AV	F2.B-31-10	ACTON WATER DISTRICT		PO BOX 953	ACTON	MA	01720
520 MASS AV	F2.B-5-520	DOLAN PAULINE		520 MASS AV	ACTON	MA	01720
522 MASS AV	F2.B-5-522	SLATTERY MAURA A		522 MASS AV	ACTON	MA	01720
524 MASS AV	F2.B-5-524	LIPMAN ABBY		524 MASS AV	ACTON	MA	01720
526 MASS AV	F2.B-5-526	RAYNER MARION L		526 MASS AV	ACTON	MA	01720
3 WEST RD	F2.A-29-3	CHU YU-MEI		3 WEST RD	ACTON	MA	01720
5 WEST RD	F2.A-29-5	PLANTE RICHARD P	RHE ETTA	5 WEST RD	ACTON	MA	01720
6 WEST RD	F2.A-29-6	MAK PAUL W	RILEY DEBORAH	6 WEST RD	ACTON	MA	01720
239 ARLINGTON ST	F2.A-44	KLINGER MICHAEL L	DRAGO M CAROLE	239 ARLINGTON ST	ACTON	MA	01720
235 ARLINGTON ST	F2.A-45	LOCKE CYNTHIA A	JANE LOUISE HARTMAN	235 ARLINGTON ST	ACTON	MA	01720
227 ARLINGTON ST	F2.A-46	HARTMAN WILLIAM G	RICHARDT LAUREN	227 ARLINGTON ST	ACTON	MA	01720
220 ARLINGTON ST	F2.A-53	RICHARDT ANDREW D	C/O LR PROPERTIES LLC	220 ARLINGTON ST	ACTON	MA	01720
241 ARLINGTON ST	F2.A-61	MADIGAN JOHN C	ATTN: MARK RODERICK	PO BOX 745	HARVARD	MA	01451
232 ARLINGTON ST	F2.A-70	WEST ACTON TRIO LLC	TRUSTEES 240 ARLINGTON ST NO	PO BOX 401012	CAMBRIDGE	MA	02140
240 ARLINGTON ST	F2.A-81	BOTTOS NICHOLAS A + CASSIANI N	15 SPRUCE TRUST II	253C SCHOOL ST	ACTON	MA	01720
15 SPRUCE ST	F2.A-82	MERRILL ERNEST O JR TRUSTEE		15 SPRUCE ST	ACTON	MA	01720

555 MASS AV	F2.A-91	BOTTOS LLC	253B SCHOOL STREET	ACTON	MA	01720
10 SPRUCE ST	F2.A-92	BOTTOS CASSIANI N TRUSTEE	253B SCHOOL STREET	ACTON	MA	01720
553 MASS AV	F2.A-102	WEST ACTON AMERICAN/EXXON/MOBIL GILBARCO INC	ATTN: CMS MAILSTOP F-76	GREENSBORO	NC	22087
556 MASS AV	F2.A-121	LAROCHE KAREN TRUSTEE	556 MASSACHUSETTS AV RLTY TR	556 MASS AV	MA	01720
552 MASS AV	F2.A-122	PITTA JOSEPH P	554 MASS AVE	ACTON	MA	01720
550 MASS AV	F2.A-132	BEAUDOIN RAYMOND J	550 MASS AVE.	ACTON	MA	01720
544 MASS AV	F2.A-133	FLANNERY CECELIA JOAN	544 MASS AV	ACTON	MA	01720
5 KINSLEY RD	F2.A-136	PHANEUF NEIL H	5 KINSLEY RD	ACTON	MA	01720
MBTA C/O TRANSIT REALTY ASSOCIATES, LLC ATTN: VANESSA MERRITT			77 FRANKLIN ST	BOSTON	MA	02110

Abutters and owners of land directly opposite on any public or private street or way and abutters to the abutters within three hundred feet of the property line all as they appear on the most recent applicable tax list.

HEARING NOTICES FOR ALL SPECIAL PERMITS MUST BE SENT TO THE PLANNING BOARD, TOWN HALL IN THE FOLLOWING TOWNS:

Boxborough, MA 01729	Maynard, MA 01754	Concord, MA 01742	Littleton, MA 01460
Carlisle, MA 01741	Stow, MA 01775	Westford, MA 01886	Sudbury, MA 01776

Kimberly Hoyt
 Kimberly Hoyt
 Brian McMullen
 Assistant Assessor
 Acton Assessors Office

12/18/2009 updated
 8/7/09

230 ARLINGTON ST HAS BEEN COMBINED INTO 232 ARLINGTON ST.

3.3: Use Description & Project Summary

West Acton Village Ecology Use Description and Project Summary

The proposed project is a mix of restoration, adaptive re-use, and new development at 525-541 Massachusetts Avenue and 5-7 Spruce Street. The site has been zoned as part of the West Acton Village District. Currently, #525 contains a residential dwelling while #531 includes both a dwelling and a barn. These lots shall be redeveloped with aspects of the existing structures being incorporated into a new multipurpose facility featuring institutional and business uses. The building will include a flexible performance space as a **Commercial Entertainment (3.5.16)** venue for dance, music, lectures, independent films, and other community events. This cultural space may also be used as **Commercial Education or Instruction (3.4.11)** or **Commercial Recreation (3.5.15)** for art, craft, aerobics, yoga, dancing, martial arts, or similar classes. This venue may also serve as a small **Conference Center (3.5.7)** for corporate meetings and small banquets. The facility will also feature **Studio (3.5.13)** space used as professional or artist's studios. A **Restaurant (3.5.5)** will be open to the public as well as patrons of the facility. The remaining area of the building will be divided into regular **Retail Store (3.5.1)/Service and Office (3.5.2)** uses intended for local businesses. The building will reserve maintenance and storage spaces for the exclusive use of the facility. #537 Mass. Ave. will see an existing dwelling repurposed with an expansion into a building used for Retail/Service or Offices. A common parking lot will serve the new building uses at #525, #531, and #537, the existing use at #541, and the existing Offices at #543. 5-7 Spruce Street will have no changes in Use. The historic barn at #537 will be moved to this property for the purpose of preservation.

The Commercial Education or Instruction, Restaurant, Conference Center, Commercial Recreation, and Commercial Entertainment uses require a Special Permit. The proposed facility will not generate, store, use, or dispose of Hazardous Materials or Wastes. West Acton Village Ecology will help restore the Village's historic function as a center for civic and commercial activity.

3.4: Other Permits and Variances

Permits and Variances

Federal:

- NPDES Construction General Permit

State:

- Mass Highway Roadway Transfer (Administration Approval)

Town:

Board of Selectmen:

- Site Plan Special Permit
- Special Use Permit
 - Commercial Entertainment
 - Conference Center
 - Commercial Education or Instruction
 - Commercial Recreation
 - Restaurant

Conservation Commission:

- Order of Conditions (Acton Wetlands Protection Bylaw)
- Order of Conditions (Wetlands Protection Act)

Board of Health:

- Sewage Disposal Construction Works Permit
- Aquifer Protection Area Special Permit (Zone 3)

Planning Board:

- Endorsement of Approval Not Required Plan

Building Department:

- Trench Permit
- Building Permit
- Sign Permit

Engineering Department:

- Street Opening

Water District:

- Water Supply

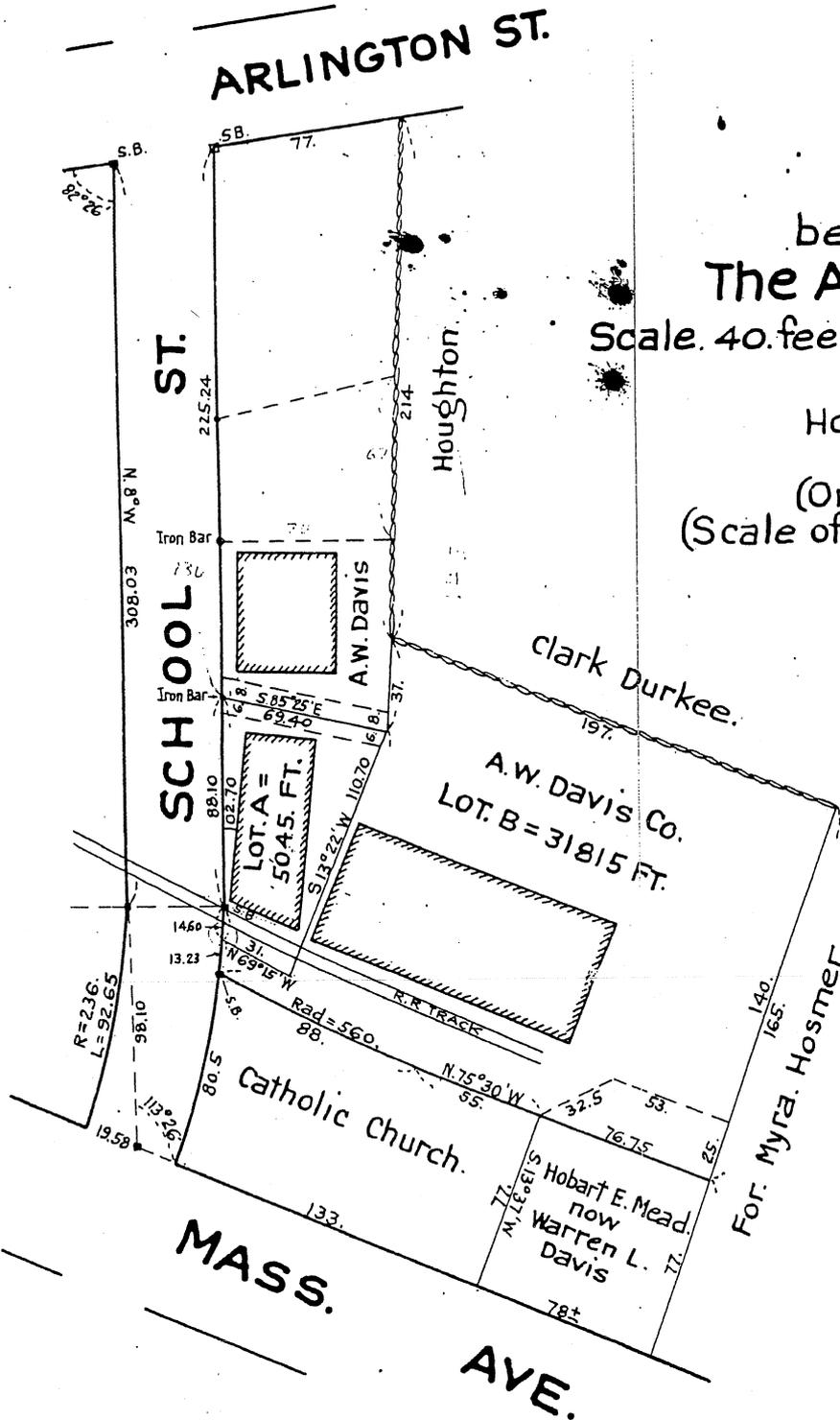
Tree Warden:

- Shade Tree Removal

Previous Permits (Ordered Chronologically by Property):

- 525 Mass. Ave.: Board of Health, 1986, Septic Alteration
- 531-533 Mass. Ave.: D.E.P. File #85-847, 2003, Order of Conditions
D.E.P. File #85-847, 2006, Extension
- 535-537 Mass. Ave.: Board of Health, 93-71RR, Septic Installation
Board of Health, 93-27SP, Work Within the Aquifer
D.E.P. File #85-847, 2003, Order of Conditions
D.E.P. File #85-847, 2006, Extension
- 541 Mass. Ave.: Board of Appeals, 88-47, Site Plan
Site Plan Special Permit, 2/1/89 – 307, Plan File #3200
Special Use Permit, 12/12/89 – 318
Board of Health, 6/25/90, Grease Trap Installation
Board of Appeals, 91-4
Special Use Permit, 3/18/91 – 330
- 543 Mass. Ave.: Board of Health, 85-3CR, Septic Installation
Board of Appeals, 88-48 (Same as 88-47)
Site Plan Special Permit, 2/1/89 – 307, Plan File #3200
- 5-7 Spruce St.: Board of Appeals, 88-49, 50, 51 (Same as 88-47)
Site Plan Special Permit, 2/1/89 – 307, Plan File #3200
Special Use Permit, 8/17/92 – 337

3.5: Recorded Plans



Land in
ACTON
 belonging to
The A.W. Davis Co.

Scale 40 feet = 1 inch June 18 1936
 surveyed by
 Horace F. Tuttle

(Original on file.)
 (Scale of this plan: 1 in. = 60 ft.)

Middlesex Registry of Deeds, So. Dist.
 CAMBRIDGE, MASS.

Plan Number 62 of 19.44
 Rec'd. Feb. 17, 1944 at 11.43 A.M.
 with Deed
A.W. Davis Co.
Louis A. Flerra
 Recorded, Book 6744 Page 298

Attest Thomas Deighton Register.



Bk: 49233 Pg: 364 Doc: DEED
Page: 1 of 2 04/03/2007 01:44 PM

SCHEIER & KATIN, P.C.
103 GREAT ROAD
ACTON, MA 01720

QUITCLAIM DEED

I, Patricia M. Beaudoin, (a/k/a Patricia F. Beaudoin), Trustee of the Patricia M. Beaudoin 2004 Revocable Trust u/d/t dated June 16, 2004 as described in a Certificate of Trust recorded in the Middlesex South District Registry of Deeds at Book 43197, Page 379, of Acton, Middlesex County, Massachusetts for consideration paid and in full consideration of Four Hundred Thirty Two Thousand and 00/100 (\$432,000.00) Dollars grant to 525 MASS AVE LLC, a Massachusetts limited liability company, of 398 Garfield Road, Concord, Middlesex County, Massachusetts 01742 with QUITCLAIM COVENANTS

Two certain parcels of land, with the buildings thereon, situated on the northerly side of, and together numbered 525 Massachusetts Avenue, in that part of said Acton known as West Acton, bounded and described as follows:

Parcel 1: A certain tract or parcel of land situated in the Westerly part of said Acton on the northerly side of the County road leading from Harvard to Concord, called Massachusetts Ave., and bounded and described as follows to wit: Beginning at the Southerly corner of the premises, on said road and at land of George Gardner now or formerly; thence running North 13° 5' E. by said Gardner land two hundred forty three and one-half feet to a cross wall; thence S. 76° 35' E. about two hundred and twenty-five feet to the center of Fort Pond Brook; thence Southerly and Easterly bounded on the center of said Brook to the Northerly line of said road; thence N. 74° 50' W. on said road six hundred fifteen and one-half feet to the corner and bound first mentioned, be all said measurements more or less.

Parcel 2: The land in the Westerly part of Acton beginning at the southeasterly corner at a stone bound on the Northerly side of the State Highway (now called Massachusetts Ave.) and at Parcel 1 above described, thence northerly by said parcel 1, 248 feet to a stone wall at land formerly of Clark G. Durkee and Ida L. Durkee; thence westerly by said Durkee land as the wall now stands 98 feet to an angle at other land formerly of John McCarthy; thence southerly by said land of John McCarthy 248 feet to said State Highway; thence easterly by said State Highway 98 feet to the bound first mentioned. All above measurements are more or less.

Together with the benefit of and subject to, a right of way, described in a deed to Helen A. Knowlton, recorded in Book 5655, Page 349, as follows: "A passageway between the Gardner applehouse and the above described premises approximately 14 feet on the State Highway and extending the same width, northerly along the western boundary 50 feet, is to be kept open through its entire length and width for the common use of all abutters."

Property Address: 525 Massachusetts Avenue, Acton, MA 01720

MASSACHUSETTS EXCISE TAX
Southern Middlesex District ROD # 001
Date: 04/03/2007 01:44 PM
Ctr# 089699 19919 Doc# 00059297
Fee: \$1,969.92 Cons: \$432,000.00

Being the same premises conveyed to the Grantor by deed dated June 16, 2004 recorded with Middlesex South District Registry of Deeds at Book 43197, Page 380.

Witness my hand and seal this 3rd day of April, 2007.

Patricia M. Beaudoin 2004 Revocable Trust

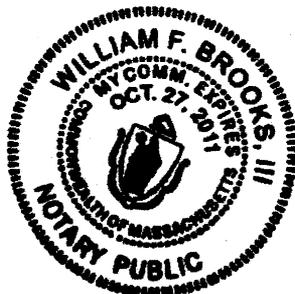
By: Patricia M. Beaudoin Trustee
Patricia M. Beaudoin (a/k/a Patricia F. Beaudoin), Trustee

COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss

April 3, 2007

On this 3rd day of April, 2007, before me, the undersigned Notary Public, personally appeared Patricia M. Beaudoin (a/k/a Patricia F. Beaudoin), Trustee of the Patricia M. Beaudoin 2004 Revocable Trust, proved to me through satisfactory evidence of identification which was a Massachusetts driver's license to be the person whose name is signed on the preceding documents, and acknowledged to me that he/she signed it voluntarily for its stated purpose.



[Signature]

Notary Public:
My Commission Expires:

James C. Brown
Attest. Middlesex S. Registrar



2004 00313217

Bk: 44299 Pg: 210 Doc: DEED
Page: 1 of 2 12/15/2004 11:50 AM

Total Pages = 2

Return to:
Scheier & Katin, P.C.
103 Great Road
Acton, MA 01720
Our File No. Rosenfeld (MEK) 20603.02

Quitclaim Deed

Michael Rosenfeld of 389 Garfield Road, Concord, Middlesex County, Massachusetts

for consideration paid and in full consideration of **ONE (\$1.00) DOLLAR**

grant to **531 Mass Ave LLC**, a Massachusetts limited liability company having a usual place of business at 389 Garfield Road, Concord, Middlesex County, Massachusetts 01742

with Quitclaim covenants

the following property in Acton, Middlesex County, Massachusetts

{Description and encumbrances, if any}

A certain parcel of land, with the building(s) and improvements thereon, situated in said Acton and bounded and described as follows:

BEGINNING at the Southeasterly corner thereof, at the State highway from Concord to Harvard and at land of Frank R. Knowlton; thence Northerly by said Knowlton land about two hundred and forty-eight (248) feet, to a wall; thence Westerly by land of Clark G. Durkee and Ida I. Durkee about one hundred and sixty-six (166) feet; thence Southerly by land of Myra E. R. Hosmer, formerly about two hundred and forty-four (244) feet to the said State Highway; thence Easterly along said State Highway about one hundred and sixty-six (166) feet to the place of beginning.

Subject to easements, restrictions and covenants of record if they affect the locus and are in full force and effect, expressly not intending nor meaning to extend the same in the event that they have expired by operation of law or otherwise.

PROPERTY ADDRESS: 531-533 Massachusetts Avenue, Acton, MA
QUITCLAIM DEED
PAGE 1 of 2

PROPERTY ADDRESS: 531-533 Massachusetts Avenue, Acton, MA

For title see Deed of James M. Andersen a/k/a James M. Anderson to Michael Rosenfeld dated May 1, 2000 and recorded with the Middlesex South District Registry of Deeds in Book 31365, Page 162.

Witness my hand and seal this 22 day of November, 2004.

Michael Rosenfeld
Michael Rosenfeld

COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss.

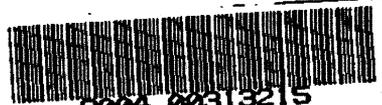
November 22, 2004

On this 22 day of November, 2004 before me, the undersigned notary public, personally appeared MICHAEL ROSENFELD, proved to me through satisfactory evidence of identification, which were Driver's License to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose.

Lillian Colby
Notary Public
My commission expires: 4-21-2011

PROPERTY ADDRESS: 531-533 Massachusetts Avenue, Acton, MA
QUITCLAIM DEED
PAGE 2 of 2

[Faint notary seal or stamp]



2004 00313215
Bk: 44299 Pg: 207 Doc: DEED
Page: 1 of 2 12/15/2004 11:49 AM

Total Pages = 2

Return to:
Scheier & Katin, P.C.
103 Great Road
Acton, MA 01720
Our File No. Rosenfeld (MEK) 20603.02

Quitclaim Deed

Michael Rosenfeld of 389 Garfield Road, Concord, Middlesex County, Massachusetts

for consideration paid and in full consideration of **ONE (\$1.00) DOLLAR**

grant to **537 Mass Ave LLC**, a Massachusetts limited liability company having a usual place of business at 389 Garfield Road, Concord, Middlesex County, Massachusetts 01742

with Quitclaim covenants

the following property in Acton, Middlesex County, Massachusetts

[Description and encumbrances, if any]

A certain parcel of land, with the building(s) and improvements thereon, situated on Massachusetts Avenue in that part of Acton called West Acton, in said county of Middlesex, bounded and described as follows:

Beginning at the Southeast corner of the premises on the County Road, now called Massachusetts Avenue, leading from Harvard to Concord at a corner of a wall and running

- NORTHERLY fourteen (14) rods and twenty (20) links to a corner of a wall; thence
- WESTERLY five (5) rods and twenty-four (24) links to a stake and stones by a wall; thence
- SOUTHERLY fourteen (14) rods and twelve (12) links to a stake and stones by said County Road; thence

PROPERTY ADDRESS: 535-537 Massachusetts Avenue, Acton, MA

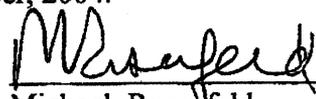
EASTERLY five (5) rods and twenty-four (24) links to the point of beginning.

Containing, according to said Plan, eighty-seven (87) rods, more or less.

Subject to easements, restrictions and covenants of record if they affect the locus and are in full force and effect, expressly not intending nor meaning to extend the same in the event that they have expired by operation of law or otherwise.

For title see Deed of John L. Shane and Susan R. Blau to Michael Rosenfeld dated April 1, 1998 and recorded with the Middlesex South District Registry of Deeds in Book 28395, Page 521.

Witness my hand and seal this 22 day of November, 2004.

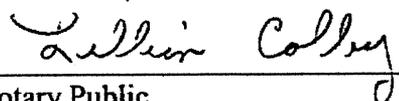

Michael Rosenfeld

COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss.

November 22, 2004

On this 22 day of November, 2004 before me, the undersigned notary public, personally appeared MICHAEL ROSENFELD, proved to me through satisfactory evidence of identification, which were Driver's License to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose.


Notary Public
My commission expires: 4-21-2011

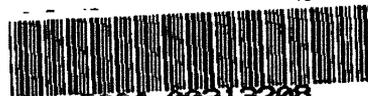
F:\REARRE\DEEDS\Rosenfeld-537MassAve.wpd

PROPERTY ADDRESS: 535- 537 Massachusetts Avenue, Acton, MA

QUITCLAIM DEED

PAGE 2 of 2


Lillian Colby
Notary Public
My commission expires: 4-21-2011



2004 00313208
Bk: 44299 Pg: 182 Doc: DEED
Page: 1 of 2 12/15/2004 11:46 AM

Total Pages = 2

Return to:
Scheier & Katin, P.C.
103 Great Road
Acton, MA 01720
Our File No. Rosenfeld (MEK) 20603.02

Quitclaim Deed

Naomi Rosenfeld of 389 Garfield Road, Concord, Middlesex County, Massachusetts

for consideration paid and in full consideration of **ONE (\$1.00) DOLLAR**

grant to **541 Mass Ave LLC**, a Massachusetts limited liability company having a usual place of business at 389 Garfield Road, Concord, Middlesex County, Massachusetts 01742

with Quitclaim covenants

the following property in Acton, Middlesex County, Massachusetts

[Description and encumbrances, if any]

A certain parcel of land, with the building(s) and improvements thereon, situated at the Northerly side of Massachusetts Avenue, bounded:

- SOUTHERLY by Massachusetts Avenue, seventy-eight (78) feet;
- EASTERLY by land now or formerly of Myra Hosmer, seventy-seven (77) feet;
- NORTHERLY by land now or formerly of A. W. Davis co., seventy-six and 75/100ths (76.75) feet;
- WESTERLY by land now or formerly of The Roman Catholic Archbishop of Boston, seventy-seven (77) feet.

The above premises being shown as the lot referred to as "Hobart E. Mead now Warren L. Davis" on the plan entitled "Land in Acton belonging to The A. W. Davis Co.," dated June 18, 1936

PROPERTY ADDRESS: 539 - 541 Massachusetts Avenue, Acton, MA
QUITCLAIM DEED
PAGE 1 of 2

PROPERTY ADDRESS: 539 - 541 Massachusetts Avenue, Acton, MA

recorded with said Registry of Deeds in Book 6744, Page 298.

Be all measurements, areas and monuments, as shown on said plan notwithstanding how the same may be described herein.

Subject to easements, restrictions and covenants of record if they affect the locus and are in full force and effect, expressly not intending nor meaning to extend the same in the event that they have expired by operation of law or otherwise.

For title see Deed of Richard J. O'Neil, Jr. And Leonard E. Rae, Trustees of the Warren Davis Realty Trust to Naomi Rosenfeld dated October 25, 1984 and recorded with the Middlesex South District Registry of Deeds in Book 15851, Page 531.

Witness my hand and seal this 22 day of November, 2004.

Naomi Rosenfeld
Naomi Rosenfeld

COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss.

November 22, 2004

On this 22 day of November, 2004 before me, the undersigned notary public, personally appeared NAOMI ROSENFELD, proved to me through satisfactory evidence of identification, which were MADL to be the person whose name is signed on the preceding or attached document, and acknowledged to me that she signed it voluntarily for its stated purpose.

Jane Faccenda
Notary Public
My commission expires: July 9th 2010

Jane Faccenda
NOTARY PUBLIC
My commission expires July 9, 2010

PROPERTY ADDRESS: 539 - 541 Massachusetts Avenue, Acton, MA
QUITCLAIM DEED
PAGE 2 of 2

Jane Faccenda
Notary Public



Location of Property: 543-545 Massachusetts Avenue, Acton, MA

374 SE 2500
19
02:19
02:19
11/03/83

I, HAROLD A. LEDGARD, as Trustee of the N. & S. Realty Trust, under declaration of Trust dated September 27, 1971 and recorded at the Middlesex South District Registry of Deeds in Book 12098, Page 299.
of Concord, Middlesex County, Massachusetts,

being married, for consideration paid, and in full consideration of \$110,000.00

grants to 543-545 Massachusetts Avenue Limited Partnership, a Massachusetts Limited Partnership
of 543-545 Massachusetts Avenue, Acton, Massachusetts with quitclaim covenants

THE STANDARD

(Description and encumbrances, if any)

A certain parcel of land with the buildings thereon situated in that part of Acton in said County of Middlesex called West Acton, now known as and numbered 543-545 Massachusetts Avenue, being shown and marked, "Church Lot" on a plan of land in West Acton made by Horace F. Tuttle, dated 1912, duly recorded in Middlesex South Registry of Deeds at end of Book 3733, and being bounded and described as follows, viz:

Beginning at the corner of Massachusetts Avenue and the new county road, now variously called School Street and Spruce Street, and running on said new county road by a curved line, eighty and 5/10 (80.5) feet more or less; thence turning and running southeasterly by land now or formerly of George W. Burroughs and another, by two lines as shown on said plan eighty eight (88) feet more or less and fifty five (55) feet more or less, respectively; thence turning and running Southwest still by land now or formerly of said Burroughs and another seventy seven (77) feet more or less to said Massachusetts Avenue and thence turning and running Northwest by said avenue one hundred and thirty three (133) feet more or less to the point of beginning. Containing ten thousand four hundred and forty two (10,442) square feet of land more or less.

For my title, see deed of Stephen P. Steinberg, et al dated May 3, 1979 and recorded with said deeds in Book 13684, Page 444.

The grantor hereby certifies that the Declaration of Trust establishing N. & S. Realty Trust is in full force and effect and has not been altered, amended, rescinded or revoked.



Witness my hand and seal this 3rd day of November 19 83.

Harold A. Ledgard
Harold A. Ledgard, Trustee as aforesaid

The Commonwealth of Massachusetts

Middlesex, ss. November 3, 19 83

Then personally appeared the above named HAROLD A. LEDGARD, Trustee as aforesaid and acknowledged the foregoing instrument to be his free act and deed before me

Louis A. Florio - Notary Public - ~~Notary of the State~~
My commission expires July 8, 19 88

(*Individual — Joint Tenants — Tenants in Common.)

CHAPTER 185 SEC. 6 AS AMENDED BY CHAPTER 497 OF 1969

Every deed presented for record shall contain or have endorsed upon it the full name, residence and post office address of the grantee and a recital of the amount of the full consideration thereof in dollars or the nature of the other consideration therefor, if not delivered for a specific monetary sum. The full consideration shall mean the total price for the conveyance without deduction for any liens or encumbrances assumed by the grantee or remaining thereon. All such endorsements and recitals shall be recorded as part of the deed. Failure to comply with this section shall not affect the validity of any deed. No register of deeds shall accept a deed for recording unless it is in compliance with the requirements of this section.

Y3

William R. Hurd and Katharine A. Hurd
of Boxboro, Middlesex

County, Massachusetts,

~~XXXXXXXXXX~~, for consideration paid \$75,000.00

grant to 543-545 Massachusetts Avenue Limited Partnership, a Massachusetts limited partnership with a place of business at 543 Massachusetts Avenue, Acton, Massachusetts *Naomi Rosenfeld, general partner with quitclaim covenants*

~~XXX~~

~~the deed~~

(Description and encumbrances, if any)

671 25.00
Condominium Unit No. 3 (the Unit) in the Condominium known as Spruce Street Condominium (the Condominium), situate at 5 and 7 Spruce Street, Acton, Massachusetts 01720 created by a Master Deed (the Master Deed) dated June 24, 1988 to be recorded with the Middlesex South District Registry of Deeds herewith. * Book 19220 PAGE 186

MSD 07/26/88 03:56:57
The Unit is more particularly described (1) in the Master Deed and (2) on such floor plans as have been recorded or filed therewith and (3) on the copy of said floor plan attached hereto and recorded herewith. The Unit is conveyed together with an undivided 33.33% interest in the common areas and facilities of the Condominium and the same interest in the Organization of Unit Owners known as Spruce Street Condominium Association (the Unit Owners Organization).

MSD 07/26/88 03:56:57
The Premises are conveyed subject to and together with the benefit of (1) the provisions of Chapter 183A of the General Laws (Ter. Ed.) of the Commonwealth of Massachusetts (2) the provisions and matters set forth and/or referred to in the Master Deed and (3) the provisions of the instrument creating the Unit Owners Organization and the By-Laws thereunder as recorded or filed with the Master Deed and such Rules and Regulations as may be promulgated thereunder.

171.00 ***
Subject to easements, restrictions and covenants of record if they affect the locus and are in full force and effect, expressly not intending nor meaning to extend the same in the event that they have expired by operation of law or otherwise.

For our title, see deed recorded with said deeds on July 31, 1987 as Instrument #1273 in Book 10729, Page 173.

Witness..... hand and seal this..... 24th day of..... JUNE..... 1988

William R. Hurd
Katharine A. Hurd

The Commonwealth of Massachusetts

Middlesex ss. JUNE 24 1988

Then personally appeared the above named..... William R. Hurd and Katharine A. Hurd

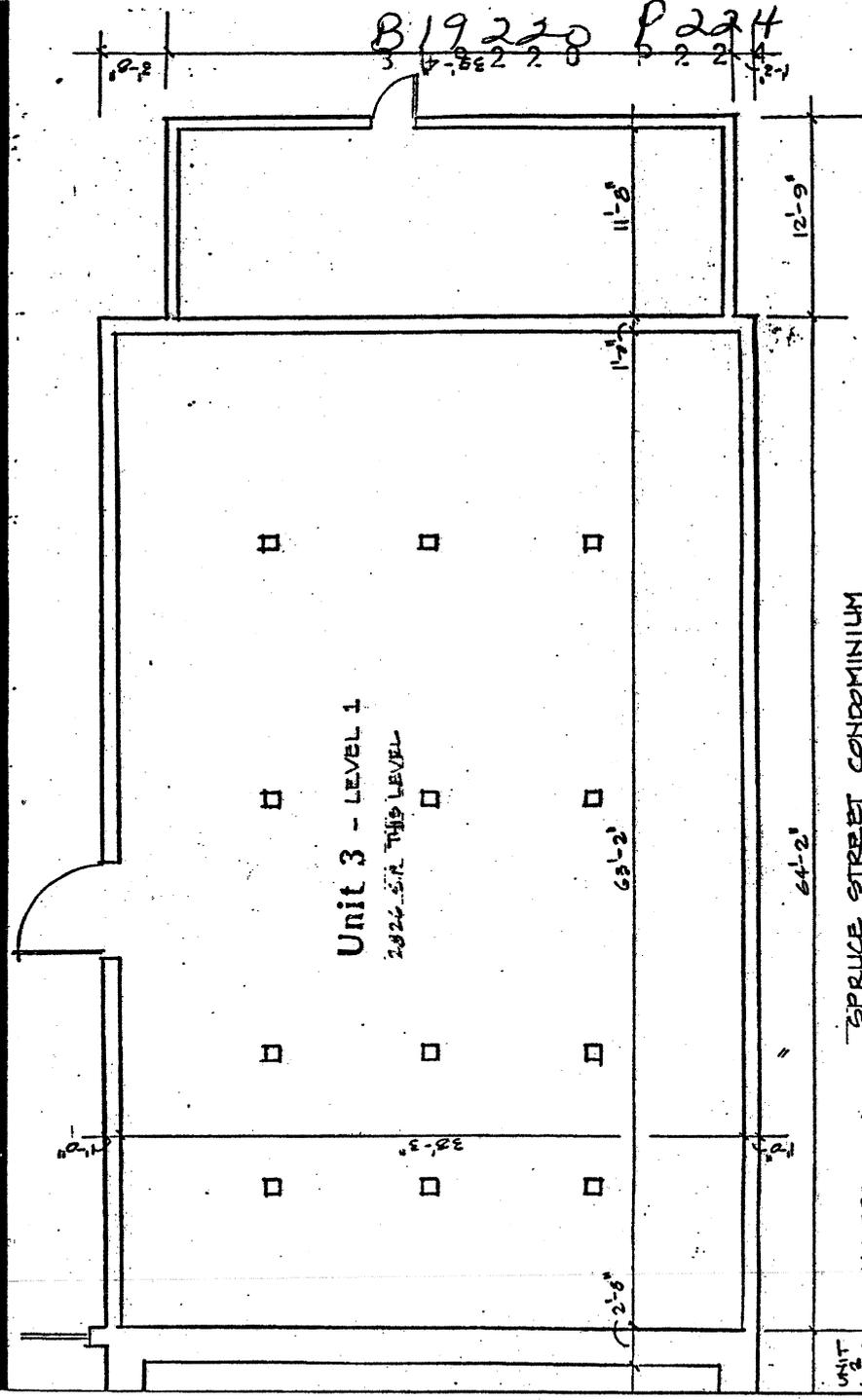
and acknowledged the foregoing instrument to be their free act and deed, before me,

[Signature]
Notary Public - ~~XXXXXXXXXX~~

My Commission expires..... 8/19 19 89

CANCELLED
COMMONWEALTH OF MASSACHUSETTS
RECORDS & DEEDS
171.00

B19220 P224
 3 4-8 2 2 0 2 2 4



Unit 3 - LEVEL 1
 2324 SIA THIS LEVEL

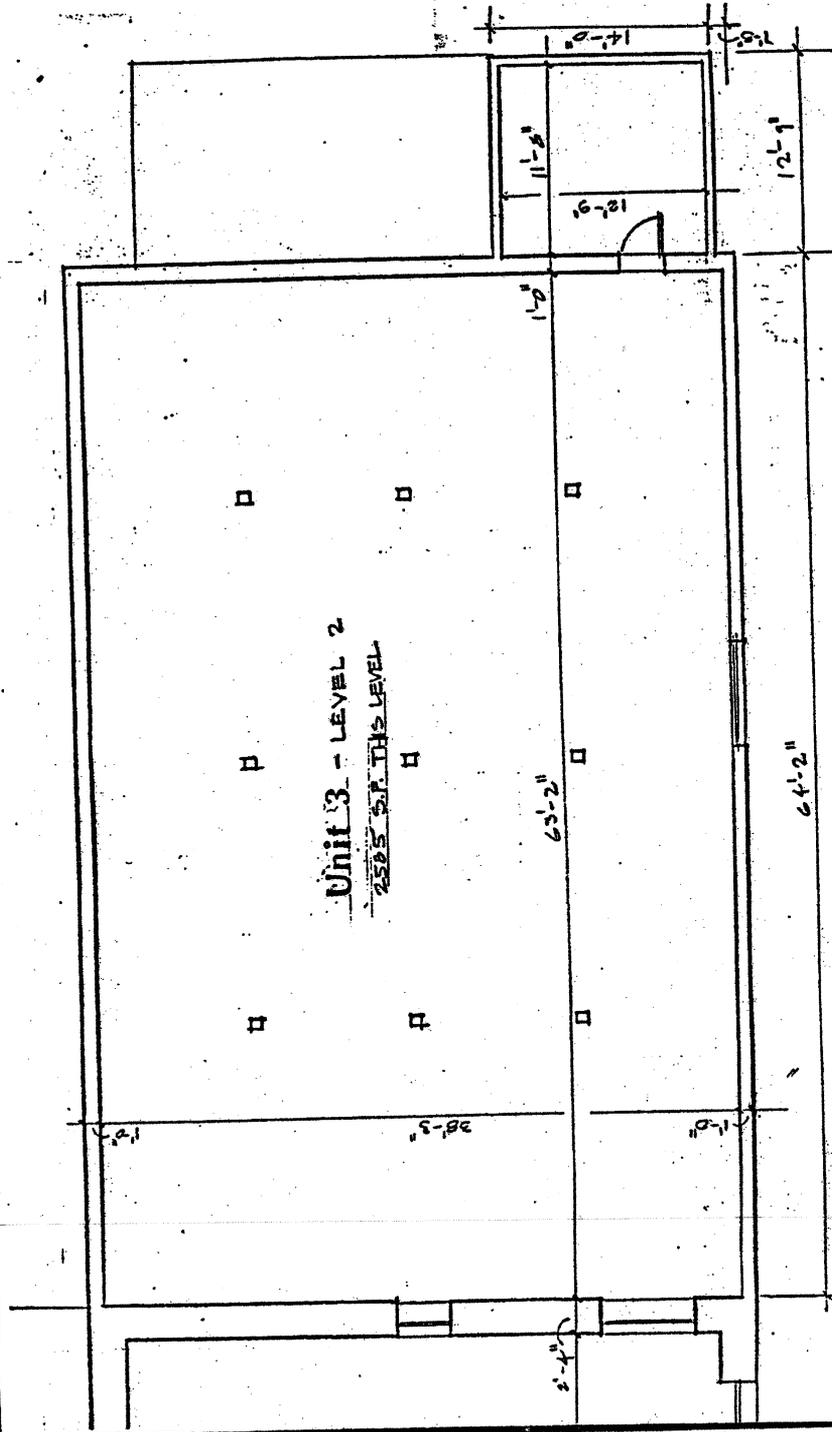
UNIT 2 ← UNIT 3 →
 1/2" = 1'
 SPRUCE STREET CONDOMINIUM
 5/27/88



David J. Hoopes

I hereby certify that this copy of the floor plans of Unit #3 shows the unit designation of the unit and of the immediately adjoining unit and fully and accurately depicts the layout of said unit, its location, dimensions, approximate area, main entrance, and immediate common area to which it has access, as built.

B 1 9 2 2 0 P 2 2 5



UNIT 2 ← UNIT 3
 18'-1"
 SPRUCE STREET CONDOMINIUM
 6/23/00

I hereby certify that this copy of the floor plans of Unit #3 shows the unit designation of the unit and of the immediately adjoining unit and fully and accurately depicts the layout of said unit, its location, dimensions, approximate area, main entrance, and immediate common area to which it has access, as built.

Unit Deed

84

We, **William R. Hurd and Katharine A. Hurd**, of 51 Cobleigh Road, Boxborough, Middlesex County, Massachusetts

for consideration paid and in full consideration of **Five Hundred Thousand and 00/100 (\$500,000.00) DOLLARS**

grant to **Presti Family Limited Partnership by its General Partner, Presti Management Corp.** of 585 Massachusetts Avenue, Acton, Middlesex County, Massachusetts

with Quitclaim covenants

the following property in Acton, Middlesex County, Massachusetts

[Description and encumbrances, if any]

Condominium Unit No. 1 (the "Unit"), in the condominium located at 5-7-9 Spruce Street, Acton, Massachusetts, known as **Spruce Street Condominium** (the "Condominium"), created pursuant and subject to the provisions of Chapter 183A of the General Laws of Massachusetts, by Master Deed dated June 24, 1988 and recorded with the Middlesex South District Registry of Deeds in Book 19220, Page 186.

The Unit is more particularly described (1) in the Master Deed (2) such site and floor plans as have been recorded or filed therewith, (3) a copy of the floor plans attached hereto and recorded herewith. The Unit is conveyed together with an undivided **33.33%** percentage interest in the common areas and facilities of the Condominium and the same percentage interest in the Organization of Unit Owners known as the Spruce Street Condominium Association (the Unit Owners Organization).

The Premises are conveyed subject to and together with the benefit of (1) the provisions of Chapter 183A of the General Laws (Ter. Ed.) of the Commonwealth of Massachusetts, (2) the provisions and matters set forth and/or referred to in the Master Deed, and (3) the provisions of the instrument creating the Unit Owners Organization and the By-Laws thereunder as recorded or filed with the Master Deed and such Rules and Regulations as may be promulgated thereunder.

Subject to easements, restrictions and covenants of record if they affect the locus and are in full force and effect, expressly not intending nor meaning to extend the same in the event that they have expired by operation of law or otherwise.

Property Address: Unit 1, 5-7-9 Spruce Street, Acton, MA

1



Bk: 41606 Pg: 171

Recorded: 12/13/2003
Document: 00000072 Page: 1 of 6

12/15/03 8:09AM 01
000000 #3377

FEE \$2280.00
CAS \$2280.00

CANCELLED

**CAMBRIDGE
DEEDS REG15
MIDDLE SOUTH**

5-7-9 Spruce s. Acton

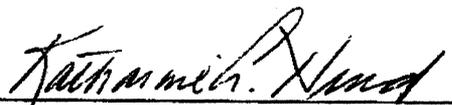
MASS. EXCISE TAX: 2280.00 ***
72 125.00
MSD 12/13/03 10:18:27

For title see Deed recorded with the Middlesex South District Registry of Deeds in Book 18429, Page 193.

Witness our hand(s) and seal(s) this 12th day of December, 2003.



William R. Hurd



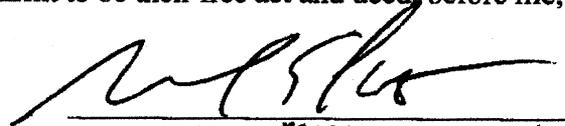
Katharine A. Hurd

COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss.

December 14, 2003

Then personally appeared the above-named WILLIAM R. HURD and KATHARINE A. HURD and acknowledged the foregoing instrument to be their free act and deed, before me,



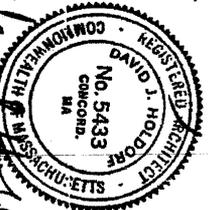
Notary Public: MICHAEL E. KATZIN
My commission expires: 7/11/2008

[:\REARREDEEDSHUR.DED]

Property Address: Unit 1, 5-7-9 Spruce Street, Acton, MA

I certify that this plan shows the unit designation of the unit being conveyed and of immediately adjoining units, and that it fully and accurately depicts the layout of the unit, its location, dimensions, approximate area, main entrance and immediate common area to which it has access, as built.

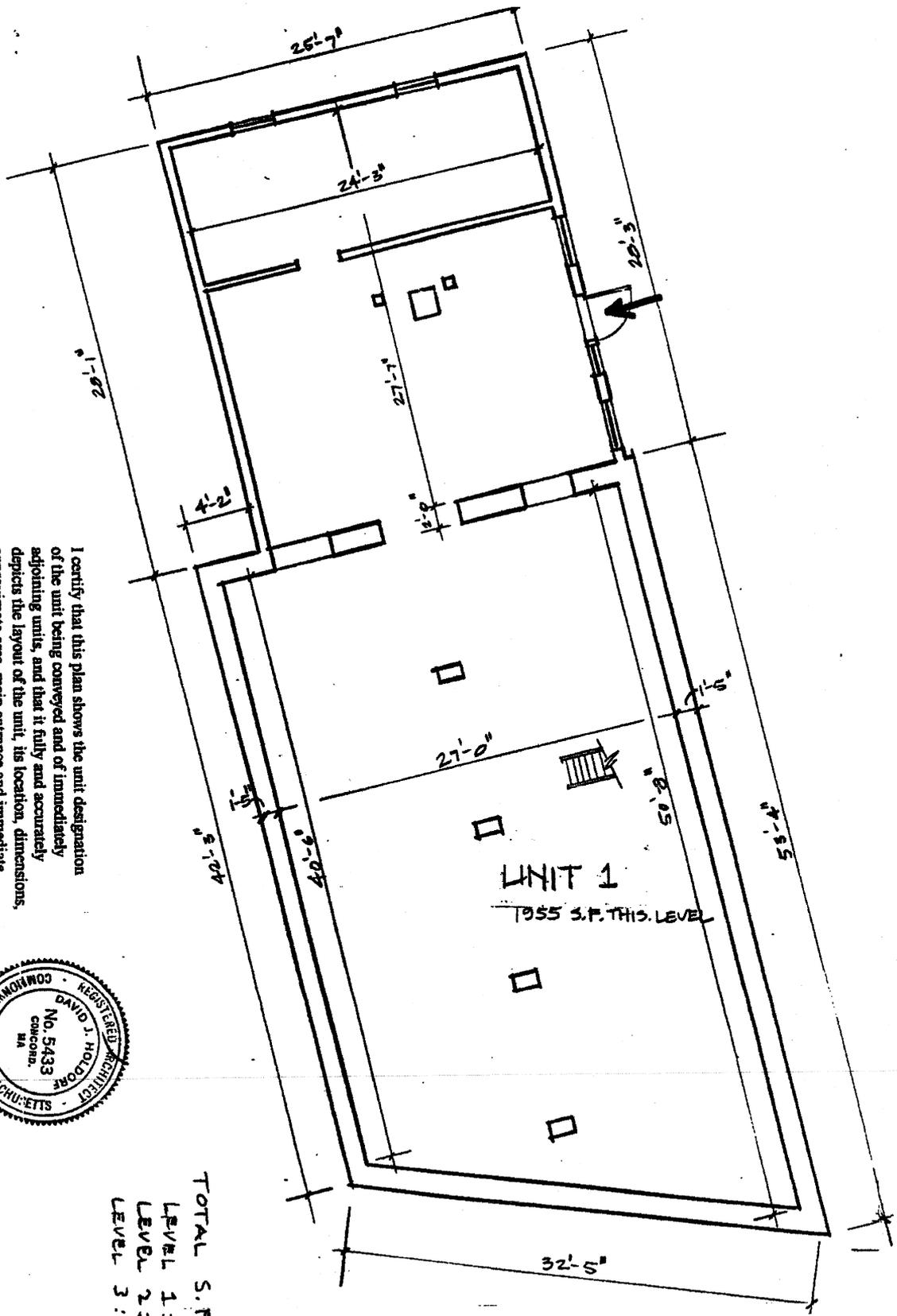
David J. Holdorf

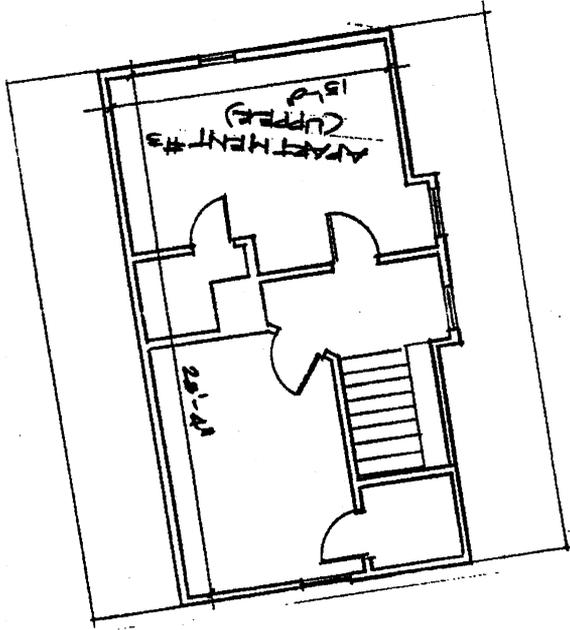


TOTAL S.F.:

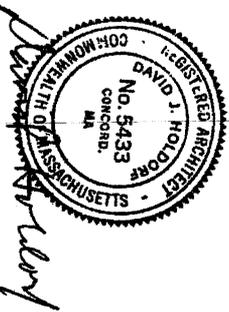
LEVEL 1:	1955
LEVEL 2:	2039
LEVEL 3:	2465
	<u>6459</u>

 David Holdorf Architect 40 Canal Street Cambridge, MA 02142 617-452-2828	
Project: SPACE STUDS CONDOMINIUMS ACTION, MA	
Drawing Title: LEVEL 1 (UNIT 1)	
Date: 10/17/08	
Drawing No.: 1 OF 4	





I certify that this plan shows the unit designation of the unit being conveyed and of immediately adjoining units, and that it fully and accurately depicts the layout of the unit, its location, dimensions, approximate area, main entrance and immediate common area to which it has access, as built.



 <p>David J. Holdorf Architect 200 Cambridge Street Concord, MA 01742 978-365-1111</p>	<p>Project: SPRUCE STREET CONDOMINIUMS ACTON MA</p>	<p>Drawing Title: LEVEL 3 - (UNIT 3)</p> <p>Date: 7/8/2008 Revision: 5/10</p> <p>Drawing No.: 4 OF 4</p>
---	---	--

12093

Page 1 of 2
Return to:
Bitterroot Group, LLC
3 Spruce Street
Acton, MA 01720

MASSACHUSETTS EXCISE TAX
Southern Middlesex District ROD # 001
Date: 08/02/2004 02:14 PM
Ctrl# 030678 21285 Doc# 00140089
Fee: \$2,211.60 Cons: \$485,000.00



Bk: 42957 Pg: 228 Doc: DEED
Page: 1 of 3 08/02/2004 02:14 PM

Unit Deed

We, **William R. Hurd and Katharine A. Hurd**, of 51 Cobleigh Road, Boxborough, Middlesex County, Massachusetts

for consideration paid and in full consideration of **Four Hundred Eighty-Five Thousand and 00/100 (\$485,000.00) DOLLARS**

grant to **Bitterroot Group, LLC**, a Massachusetts Limited Liability Company, having its place of business located at 3 Spruce Street, Acton, MA 01720

with Quitclaim covenants

the following property in Acton, Middlesex County, Massachusetts

[Description and encumbrances, if any]

Condominium Unit No. 2 (the "Unit"), in the condominium located at 5-7-9 Spruce Street, Acton, Massachusetts, known as **Spruce Street Condominium** (the "Condominium"), created pursuant and subject to the provisions of Chapter 183A of the General Laws of Massachusetts, by Master Deed dated June 24, 1988 and recorded with the Middlesex South District Registry of Deeds in Book 19220, Page 186.

The Unit is more particularly described (1) in the Master Deed (2) such site and floor plans as have been recorded or filed therewith, (3) a copy of the floor plans attached hereto and recorded herewith. The Unit is conveyed together with an undivided **33.33%** percentage interest in the common areas and facilities of the Condominium and the same percentage interest in the Organization of Unit Owners known as the **Spruce Street Condominium Association** (the Unit Owners Organization).

The Premises are conveyed subject to and together with the benefit of (1) the provisions of Chapter 183A of the General Laws (Ter. Ed.) of the Commonwealth of Massachusetts, (2) the provisions and matters set forth and/or referred to in the Master Deed, and (3) the provisions of the instrument creating the Unit Owners Organization and the By-Laws thereunder as recorded or filed with the Master Deed and such Rules and Regulations as may be promulgated thereunder.

Property Address: Unit 2, ³~~5-7-9~~ Spruce Street, Acton, MA

Property Address: Unit 2, 3 Spruce Street, Acton, MA 01720

Subject to easements, restrictions and covenants of record if they affect the locus and are in full force and effect, expressly not intending nor meaning to extend the same in the event that they have expired by operation of law or otherwise.

For title see Deed recorded with the Middlesex South District Registry of Deeds in Book 18429, Page 193.

Witness our hand(s) and seal(s) this 2nd day of June, 2004.

William R. Hurd
William R. Hurd

Katharine A. Hurd
Katharine A. Hurd

COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss.

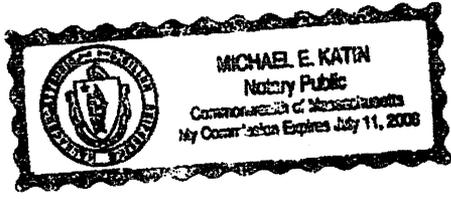
June 2, 2004

On this 2nd day of June, 2004 before me, the undersigned notary public, personally appeared WILLIAM R. HURD and KATHARINE A. HURD, proved to me through satisfactory evidence of identification which were DRIVERS' LICENSES to be the persons whose names are signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose.

Michael E. Katin

Notary Public:
My commission expires:

[I:\RE\REDEEDS\HURDUNIT2.ded.wpd]



Property Address: Unit 1, 5-7-9 Spruce Street, Acton, MA



David Holdorf
Architect
441 Corbett Road
Chelsea
Massachusetts 01938
Tel: 617 888

Notes:



SQUARE FEET:
LEVEL 1 - 3535
LEVEL 2 - 2491
TOTAL - 6026

SCALE:

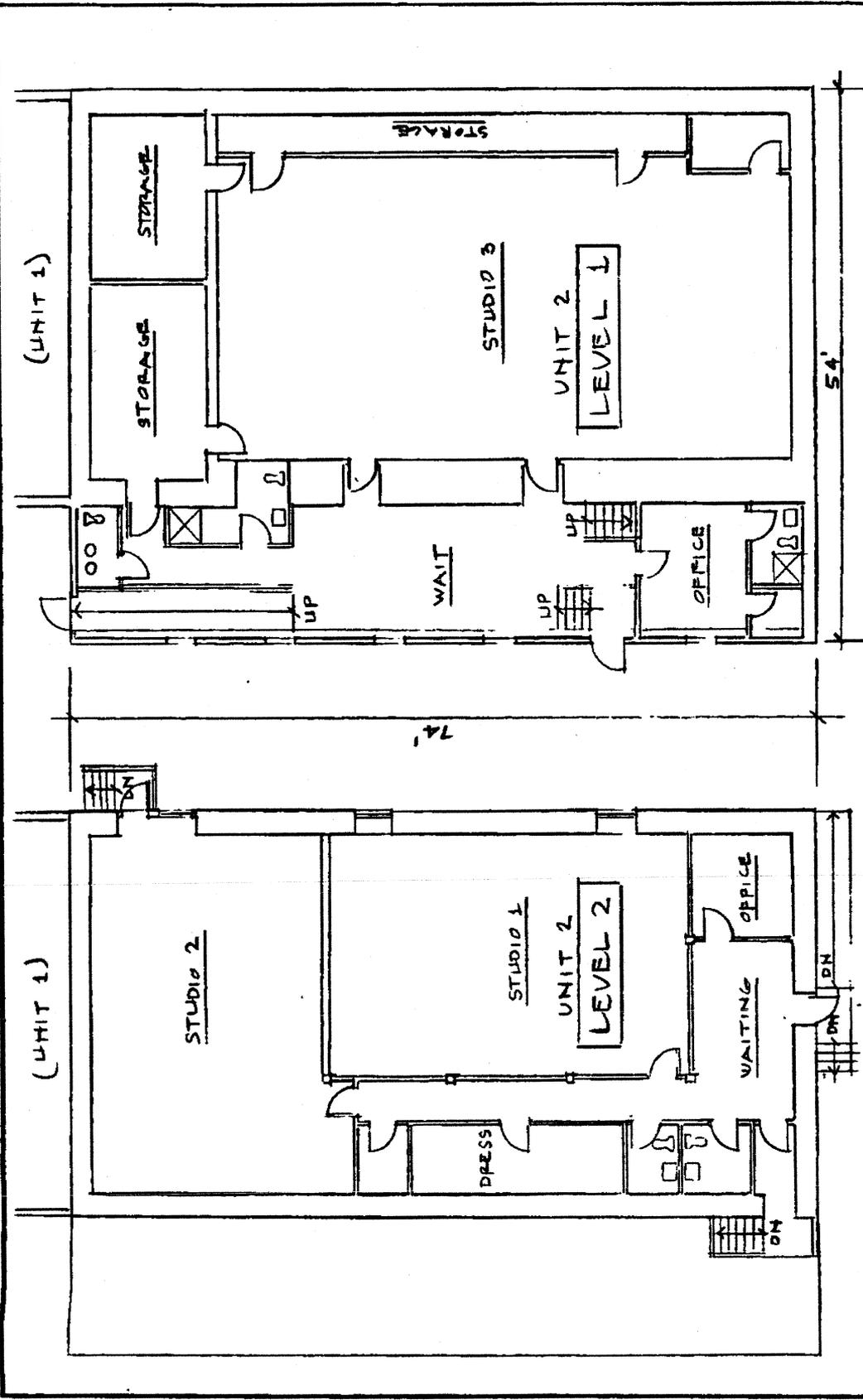


Project:
SPRUCE STREET
CONDOMINIUMS
1 SPRUCE ST.
ACTON, MA

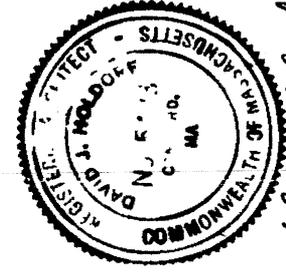
Drawing Title:
UNIT 2

Scale: 1/8" = 1'-0"
Revision:
Date: 3/14/04

Drawing No.



THIS PLAN IS A COPY OF THIS ORIGINAL PLAN FILED WITH THE MASTER DEED, WITH SUBSEQUENT IMPROVEMENTS AND SHOWS THE UNIT DESIGNATION OF THE UNIT BEING CONVEYED BY THE DEED TO WHICH THE PLAN IS APPENDED. I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERED PLAN DEEDS, AND THAT IT SHOWS THE UNIT DESIGNATION OF THE UNIT BEING CONVEYED AND OF IMMEDIATELY ADJOINING UNITS, AND THAT IT FULLY AND ACCURATELY DEPICTS THE LAYOUT OF THE UNIT, ITS LOCATION, DIMENSIONS, APPROXIMATE AREA, MAIN ENTRANCE AND IMMEDIATE COMMON AREA TO WHICH IT HAS ACCESS, AS BUILT.



David T. Holdorf

REGISTRY OF DEEDS
SOUTHERN DISTRICT
ATTEST:

[Signature]
REGISTER

3.9 Plans

SITE PLAN FOR WEST ACTON VILLAGE ECOLOGY 525-541 MASSACHUSETTS AVENUE 3-7 SPRUCE STREET ACTON, MASSACHUSETTS

DATE: JULY 31, 2009
REV.: DECEMBER 21, 2009

RECORD OWNER:

- PARCEL 105 525 MASS AVE LLC
543 MASSACHUSETTS AVE
ACTON, MA 01720
- PARCEL 104 525 MASS AVE LLC
543 MASSACHUSETTS AVE
ACTON, MA 01720
- PARCEL 103 531 MASS AVE LLC
543 MASSACHUSETTS AVE
ACTON, MA 01720
- PARCEL 114 537 MASS AVE LLC
543 MASSACHUSETTS AVE
ACTON, MA 01720
- PARCEL 113 541 MASS AVE LLC
543 MASSACHUSETTS AVE
ACTON, MA 01720
- PARCEL 112 543-545 MASS AVE LIMITED PARTNERSHIP
543-545 MASSACHUSETTS AVE
ACTON, MA 01720
- PARCEL 94 UNIT 2 BITTERROOT GROUP LLC
3 SPRUCE STREET
ACTON, MA 01720
- UNIT 3 543-545 MASS AVE LIMITED PARTNERSHIP
543-545 MASSACHUSETTS AVE
ACTON, MA 01720
- PARCEL 97 UNIT 1 PRESTI FAMILY LIMITED PARTNERSHIP
585 MASSACHUSETTS AVE
ACTON, MA 01720

REFERENCE:

MIDDLESEX REGISTRY OF DEEDS
SOUTH DISTRICT
PARCEL 105 DEED BOOK 49223 PAGE 364
PARCEL 104 DEED BOOK 49223 PAGE 364
PARCEL 103 DEED BOOK 44299 PAGE 210
PARCEL 114 DEED BOOK 44299 PAGE 207
PARCEL 113 DEED BOOK 44299 PAGE 182
PARCEL 112 DEED BOOK 15300 PAGE 519
PARCEL 94 UNIT 2 DEED BOOK 42957 PAGE 226
UNIT 3 DEED BOOK 19220 PAGE 223
PARCEL 97 UNIT 1 DEED BOOK 41606 PAGE 171

PLAN No. 62 OF 1944
TOWN OF ACTON ASSESSORS MAPS
MAP F-2A, PARCELS 94, 97, 103, 104, 105, 112, 113, 114

INDEX

- SHEET 1 TITLE SHEET AND MASS. AVE. LAYOUT PLAN
- SHEET 2 EXISTING CONDITIONS PLAN
- SHEET 3 EXISTING CONDITIONS PLAN
- SHEET 4 GRADING, DRAINAGE & UTILITIES PLAN
- SHEET 5 GRADING, DRAINAGE, & UTILITIES PLAN
- SHEET 6 STORMWATER POLLUTION PREVENTION SITE PLAN
- SHEET 7 DETAIL SHEET
- SHEET 8 DETAIL SHEET

ZONING DISTRICT:

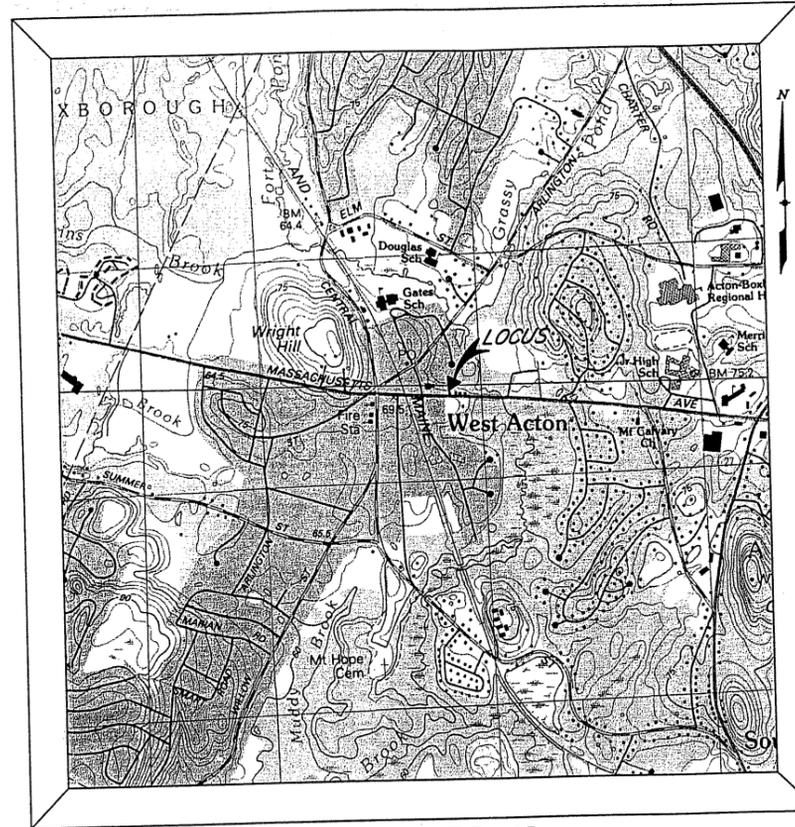
WEST ACTON VILLAGE (WAV)
GROUNDWATER PROTECTION DISTRICT ZONE 3
WEST ACTON HISTORIC DISTRICT

APPLICANT:

531 MASS AVE LLC
543 MASSACHUSETTS AVE
ACTON, MA

ENGINEER/SURVEYOR

STAMSKI AND McNARY, INC
80 HARRIS STREET
ACTON, MASSACHUSETTS 01720
(978) 263-8585



LOCUS PLAN
SCALE: 1"=1200'

LAND USE DATA: 525-541 MASSACHUSETTS AVE.

ZONING REQUIREMENTS

ZONING DISTRICT:	WEST ACTON VILLAGE (WAV)	REQUIRED:	PROVIDED:
MIN LOT AREA:	NR	NR	176,871 SF
MIN LOT FRONTAGE:	NR	NR	1,062± FT
MIN LOT WIDTH:	NR	NR	567± FT
MIN FRONT YARD:	5 FT	NR	5± FT
MIN SIDE & REAR YARD:	NR	NR	NR
MIN OPEN SPACE:	NR	NR	74%
MAX FLOOR AREA RATIO	0.40	NR	0.40
MAX HEIGHT	36 FT	NR	<36 FT
MIN SIDE YARD ABUTTING R. DIST.:	20 FT	NR	>20 FT

FLOOR AREA REQUIREMENTS

LOT AREA =	176,871 SF
WETLAND AND/OR FLOODPLAIN AREA =	94,241 SF (53%)
DEVELOPABLE SITE AREA (DSA) =	82,630 SF
MAX NET FLOOR AREA ALLOWED : 0.4 x 82,630 =	33,052 SF
PROPOSED NET FLOOR AREA =	33,045 SF
PROPOSED FLOOR AREA RATIO =	0.40
PROPOSED GROSS FLOOR AREA =	49,237 SF

PARKING REQUIREMENTS:
(FROM SECTION 6.3.1, 50% FOR COLLECTIVE USE PARKING; SECTION 6.9.4.4)
(REFER TO SITE PLAN APPLICATION FOR DETAILED PARKING SUMMARY)

	WEEKDAY	NIGHTS/WEEKENDS
RETAIL / OFFICE POTENTIAL MAX.* *SEE PARKING SUMMARY	50.2 SPACES	27.1 SPACES
RESTAURANT (95 SEATS) : 1 SPACE / 3 SEATS X 0.5	15.8 SPACES	15.8 SPACES
CULTURAL SPACE POTENTIAL MAX.* *SEE PARKING SUMMARY	3.5 SPACES	21.9 SPACES
NUMBER OF SPACES REQ'D =	69.5 SPACES	64.8 SPACES
NUMBER OF SPACES PROVIDED =	70 SPACES*	70 SPACES*

*STANDARD SIZE = 65, HANDICAPPED SPACES = 3 (4%), COMPACT SPACES = 2

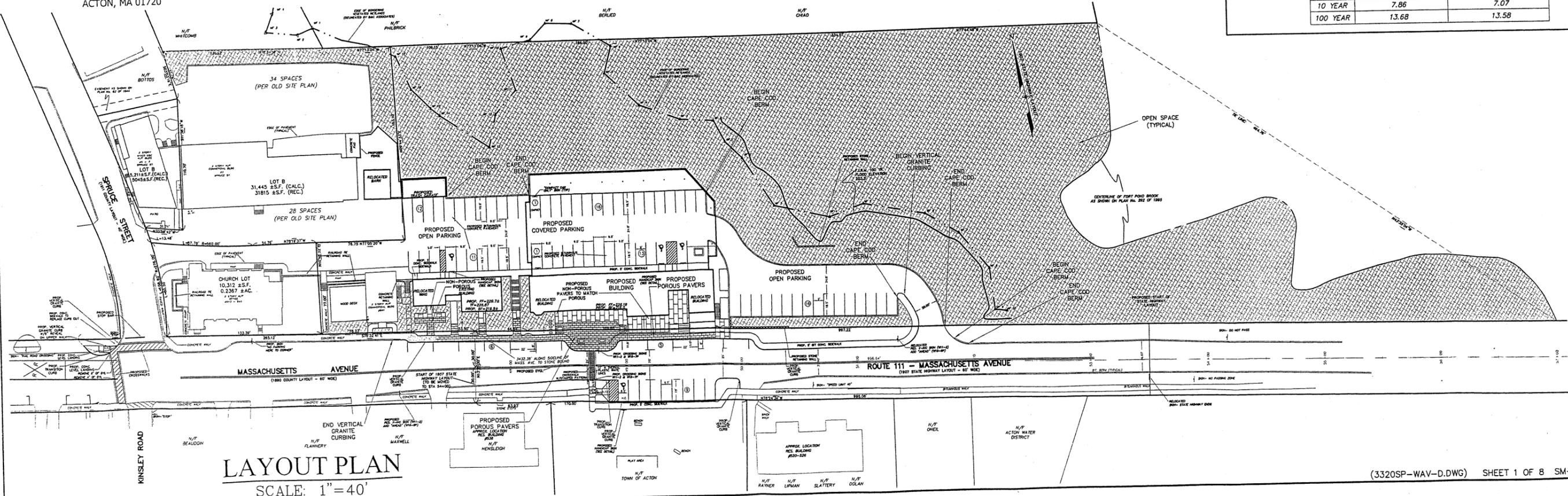
SEWAGE FLOW:

RETAIL: 12,500 x 50 GPD/1,000 S.F. =	625 GPD
RESTAURANT: 95 x 20 GPD/SEAT =	1,900 GPD
OFFICE : 13,539 x 75 GPD/1000 S.F. =	1,015 GPD
CULTURAL SPACE POTENTIAL MAX. =	525 GPD
EXISTING FLOW AT #541 =	118 GPD
MAX. DESIGN FLOW =	4,183 GPD

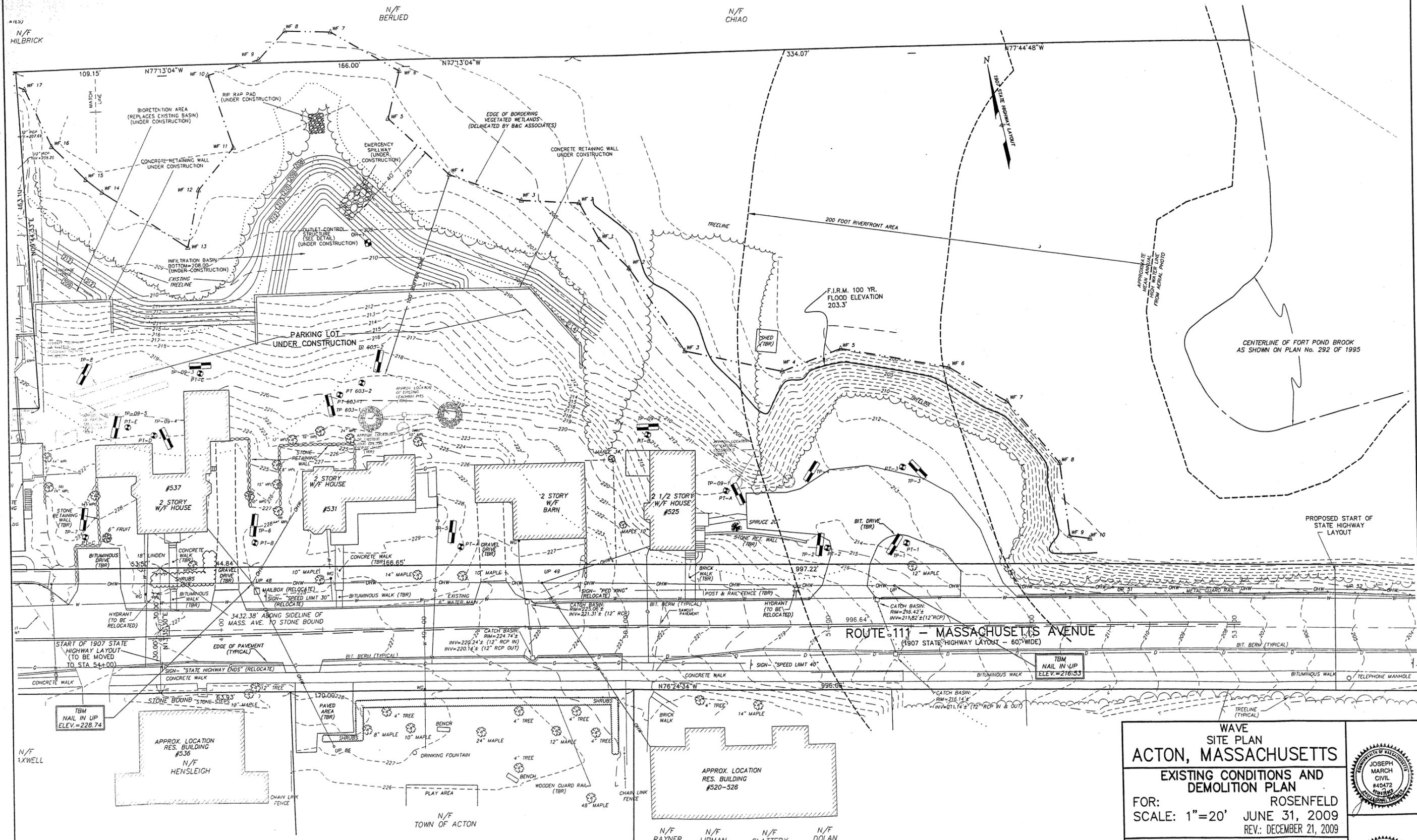
DRAINAGE:

MINIMUM DISTANCE TO GROUNDWATER = 3.5 FT (OH-1)
PEAK DISCHARGE RATES:

	PRE-DEVELOPMENT DISCHARGE RATE (CFS)	POST-DEVELOPMENT DISCHARGE RATE (CFS)
2-YEAR	4.47	4.37
10 YEAR	7.86	7.07
100 YEAR	13.68	13.58



LAYOUT PLAN
SCALE: 1"=40'



WAVE
SITE PLAN
ACTON, MASSACHUSETTS

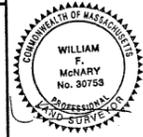
EXISTING CONDITIONS AND
DEMOLITION PLAN

FOR: ROSENFELD
SCALE: 1"=20' JUNE 31, 2009
REV.: DECEMBER 21, 2009

STAMSKI AND McNARY, INC.
80 HARRIS STREET ACTON, MASSACHUSETTS
(978) 263-8585
ENGINEERING - PLANNING - SURVEYING

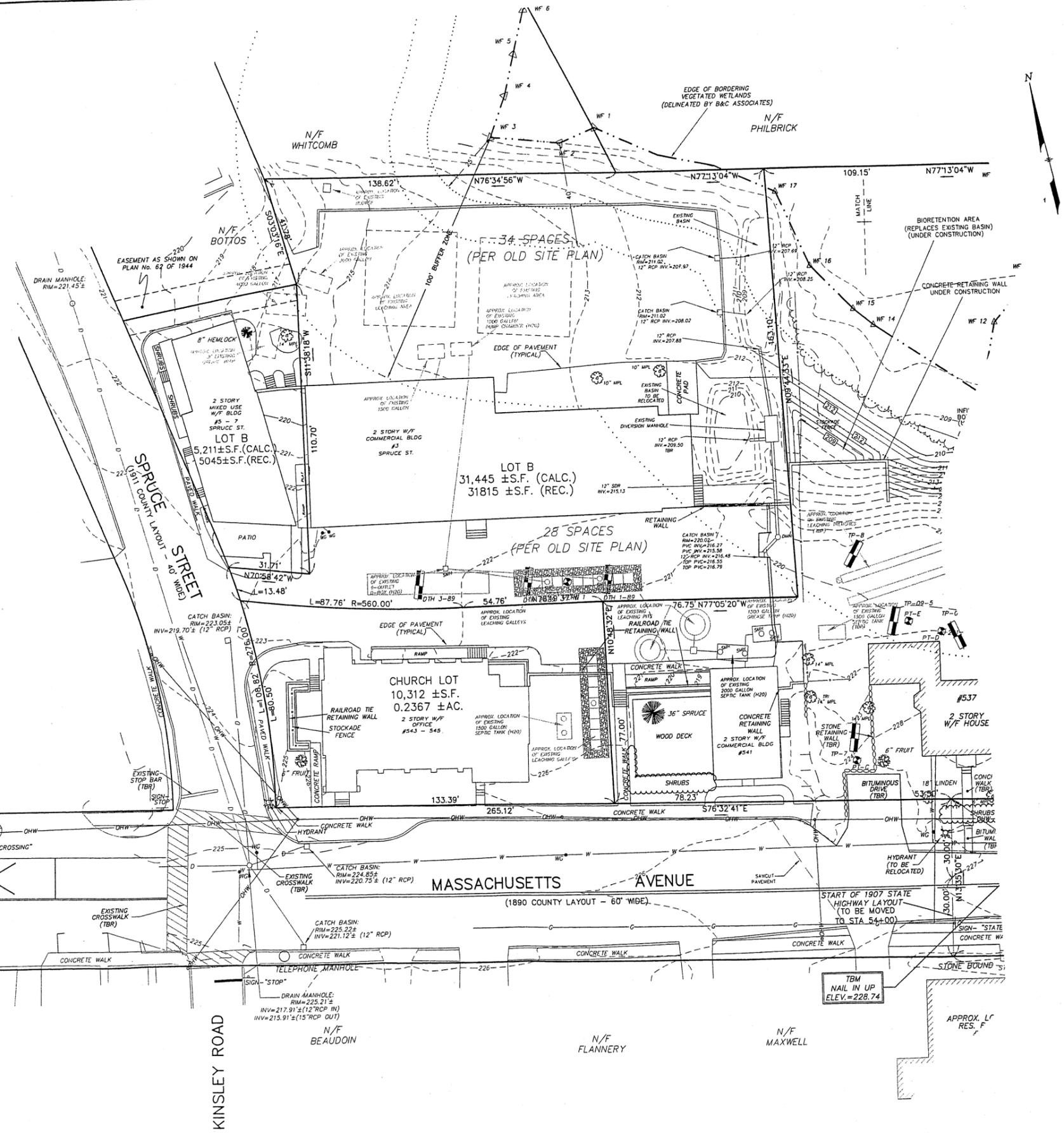
0 10 20 40 60 80 FT

(3320SP-WAV-D.DWG) SHEET 2 OF 8 SM-3320



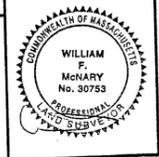
LEGEND:

- N/F --- EXISTING CONTOUR
- NOW OR FORMERLY
- U/P --- UTILITY POLE
- BORDERING VEGETATED WETLAND
- 100' BUFFER ZONE
- APPROX. EXISTING OVERHEAD WIRES
- APPROX. EXISTING WATER MAIN
- APPROX. EXISTING GAS SERVICE
- EXISTING TREELINE
- PROPOSED TREELINE
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- DMH --- DRAIN MANHOLE
- CB --- CATCH BASIN
- SMH --- SEWER MANHOLE
- TBR --- TO BE REMOVED

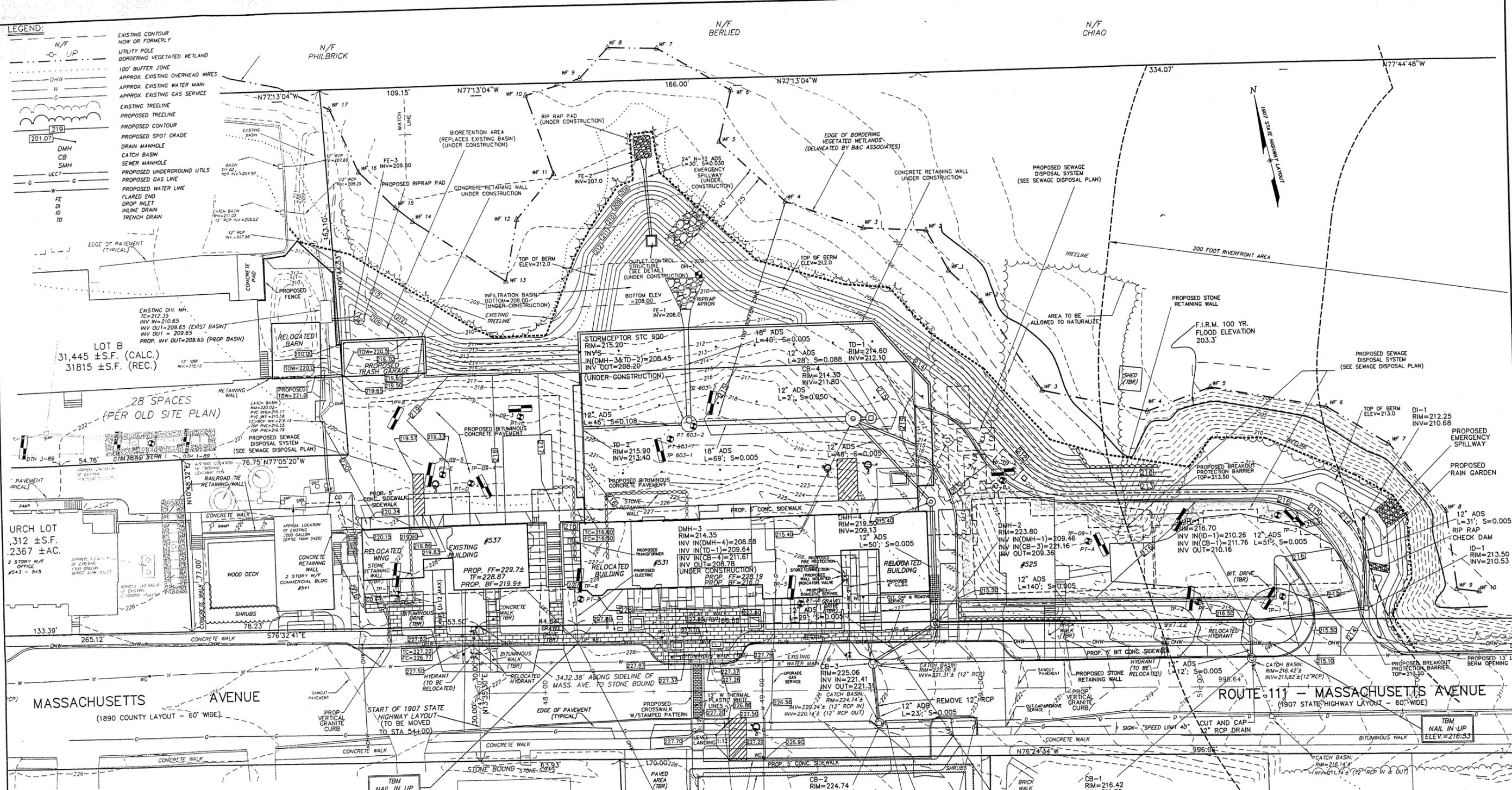


WAVE
SITE PLAN
ACTON, MASSACHUSETTS
EXISTING CONDITIONS AND
DEMOLITION PLAN
FOR: ROSENFELD
SCALE: 1"=20' JULY 31, 2009
REV.: DECEMBER 21, 2009

STAMSKI AND McNARY, INC.
80 HARRIS STREET ACTON, MASSACHUSETTS
(978) 263-8585
ENGINEERING - PLANNING - SURVEYING
0 10 20 40 60 80 FT
(3320SP-WAV-D.DWG) SHEET 3 OF 8 SM-3320



- LEGEND:**
- N/F --- EXISTING CONTOUR NOW OR FORMERLY
 - UP --- UTILITY POLE
 - BORDERING VEGETATED WETLAND
 - 100' BUFFER ZONE
 - APPROX. EXISTING OVERHEAD WIRES
 - APPROX. EXISTING WATER MAIN
 - APPROX. EXISTING GAS SERVICE
 - EXISTING TREELINE
 - PROPOSED TREELINE
 - PROPOSED CONTOUR
 - PROPOSED SPOT GRADE
 - DRAIN MANHOLE
 - CATCH BASIN
 - SEWER MANHOLE
 - PROPOSED UNDERGROUND UTILS
 - PROPOSED GAS LINE
 - PROPOSED WATER LINE
 - FLARED END
 - DROP INLET
 - INLINE DRAIN
 - TRENCH DRAIN

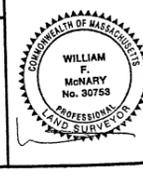
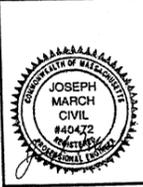


**525-541 MASSACHUSETTS AVE
SITE PLAN
ACTON, MASSACHUSETTS**

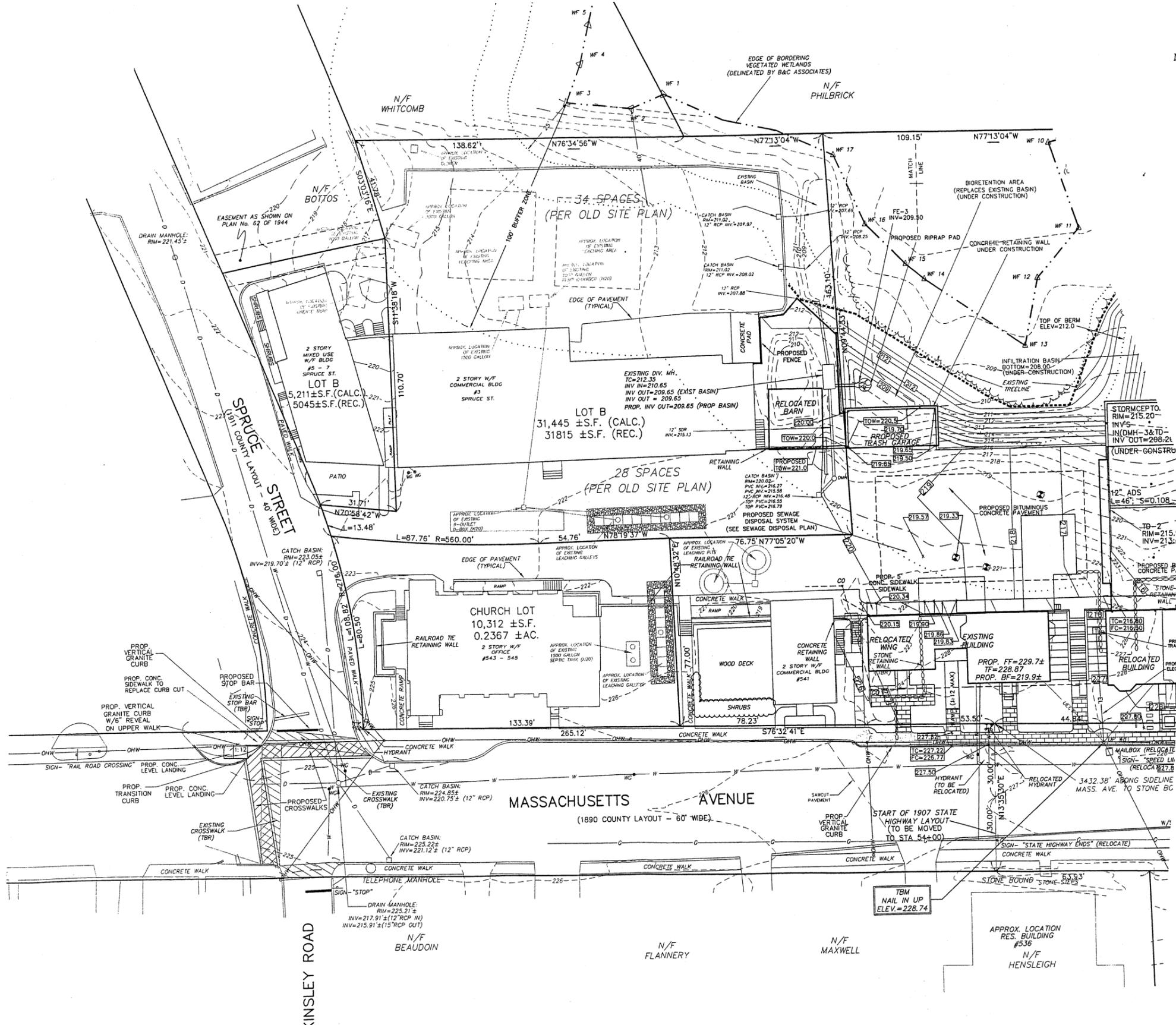
**GRADING, DRAINAGE & UTILITIES PLAN
FOR: ROSENFELD
SCALE: 1"=20' JULY 31, 2009
REV.: DECEMBER 21, 2009**

STAMSKI AND McNARY, INC.
80 HARRIS STREET ACTON, MASSACHUSETTS
(978) 263-8585
ENGINEERING - PLANNING - SURVEYING

0 10 20 40 60 80 FT
(3320SP-WAV-D.DWG) SHEET 4 OF 8 SM-3320



N/F PHILBRICK
N/F BERLIED
N/F CHIAO
N/F RAYNER
N/F LIPMAN
N/F SLATTERY
N/F DOLL
N/F MAXWELL
N/F HENSLEIGH
N/F TOWN OF ACTON



LEGEND:

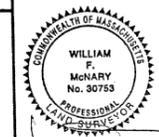
---	EXISTING CONTOUR
---	NOW OR FORMERLY
○	UTILITY POLE
○	UP
---	BORDERING VEGETATED WETLAND
---	100' BUFFER ZONE
---	APPROX. EXISTING OVERHEAD WIRES
---	APPROX. EXISTING WATER MAIN
---	APPROX. EXISTING GAS SERVICE
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED CONTOUR
---	PROPOSED SPOT GRADE
---	DMH
---	CB
---	SMH
---	PROPOSED UNDERGROUND UTILS
---	PROPOSED GAS LINE
---	PROPOSED WATER LINE
---	FLARED END
---	DROP INLET
---	INLINE DRAIN
---	TRENCH DRAIN

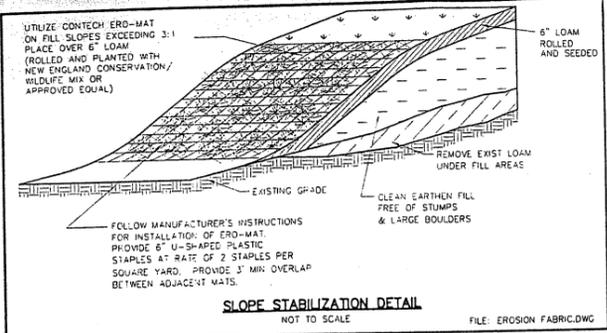
**WAVE
SITE PLAN
ACTON, MASSACHUSETTS**

GRADING, DRAINAGE & UTILITIES PLAN
FOR: **ROSENFELD**
SCALE: 1"=20' JULY 31, 2009
REV.: DECEMBER 21, 2009

STAMSKI AND McNARY, INC.
80 HARRIS STREET ACTON, MASSACHUSETTS
(978) 263-8585
ENGINEERING - PLANNING - SURVEYING

0 10 20 40 60 80 FT
(3320SP-WAV-D.DWG) SHEET 5 OF 8 SM-3320



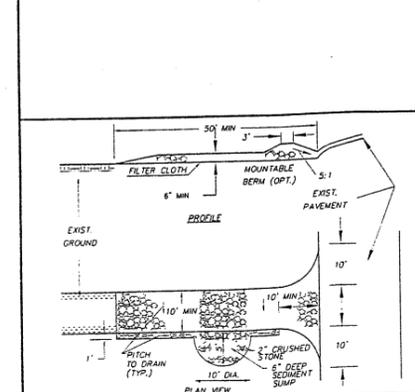
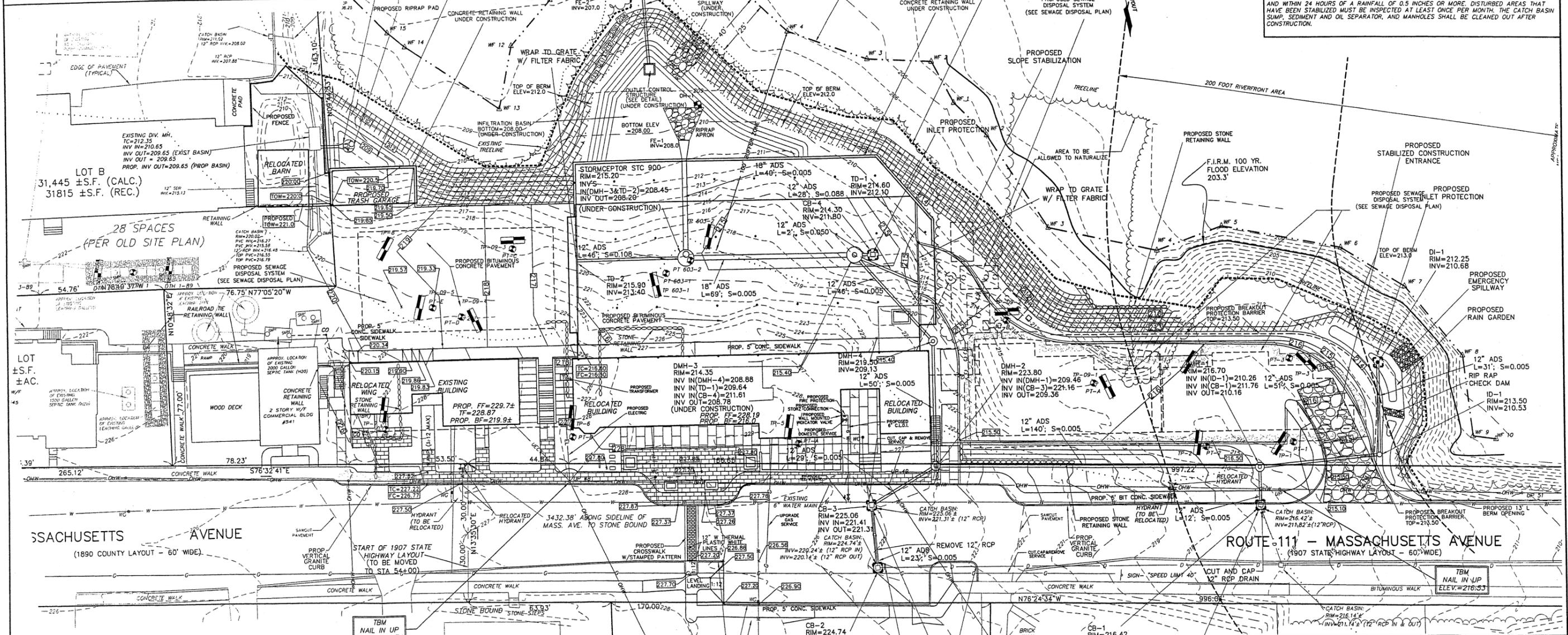


EROSION AND SEDIMENTATION CONTROL NOTES

1. ALL SOIL STOCKPILES SHALL HAVE EROSION CONTROL MEASURES AROUND THEIR PERIMETER AT ALL TIMES.
2. THE DRAINAGE SYSTEM SHALL BE CONSTRUCTED DURING THE EARLIEST STAGES OF THE PROJECT IN ORDER TO DIRECT RUNOFF FOR TREATMENT.
3. THE CATCH BASIN GRATES SHALL BE COVERED WITH SILTATION FABRIC DURING CONSTRUCTION. CATCH BASIN RIMS ARE TO BE SET AT BINDER GRADE UNTIL IT IS TIME TO APPLY THE PAVEMENT WEARING COURSE. THE CATCH BASIN SUMPS SHALL BE CLEANED FOLLOWING COMPLETION OF CONSTRUCTION AND ANNUALLY THEREAFTER. ALL CUT AND FILL SLOPES SHALL BE IMMEDIATELY COVERED WITH 4" OF LOAM AND SEEDED DURING THE GROWING SEASON (APRIL 1 TO NOVEMBER 1) OR COVERED WITH HAYMULCH DURING THE NON-GROWING SEASON (NOVEMBER 1 TO APRIL 1). SLOPES STEEPER THAN 3:1 SHALL BE LOAMED, SEEDED, ROLLED AND STABILIZED WITH "CONTECH ERO-MAT" EROSION MAT, INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
4. UNLESS OTHERWISE INDICATED, ALL DISTURBED AREAS SHALL RECEIVE 4" OF LOAM AND BE SEEDED TO PREVENT EROSION.

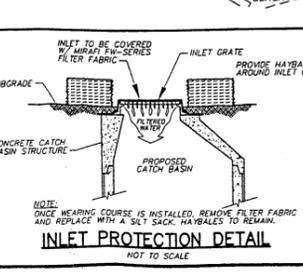
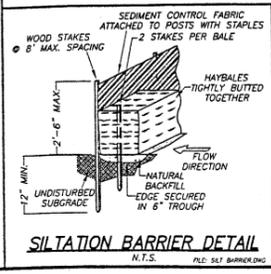
INSPECTION/MAINTENANCE

5. THE DEVELOPER IS RESPONSIBLE TO CLEAN UP ANY SEDIMENT OR DEBRIS WHICH ERODES FROM THE SITE ONTO PUBLIC ROADS AND PRIVATE PROPERTY AND TO REMOVE SEDIMENT OR DEBRIS THAT ENTERS ANY EXISTING DRAINAGE SYSTEM INCLUDING CATCH BASIN SUMPS, PIPE LINES, MANHOLES, AND DITCHES. THE CONTRACTOR SHALL INSTALL EROSION BARRIERS, AS NECESSARY, TO PREVENT MATERIAL FROM ERODING ONTO MASSACHUSETTS AVENUE AND SPRUCE STREET.
6. THE CONTRACTOR SHALL FOLLOW STANDARD PRACTICE AND LOAM AND SEED ALL DISTURBED AREAS FOLLOWING CONSTRUCTION.
7. MAINTENANCE AND OPERATION PLAN SHALL BE IN PLACE AT ALL TIMES ON THE SITE. OPERATOR PERSONNEL MUST INSPECT THE CONSTRUCTION SITE AT LEAST EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5 INCHES OR MORE. DISTURBED AREAS THAT HAVE BEEN STABILIZED MUST BE INSPECTED AT LEAST ONCE PER MONTH. THE CATCH BASIN SUMP, SEDIMENT AND OIL SEPARATOR, AND MANHOLES SHALL BE CLEANED OUT AFTER CONSTRUCTION.



CONSTRUCTION SPECIFICATIONS

1. THE ENTRANCE OF THE PROPOSED DRIVE SHALL INITIALLY HAVE 6" OF 2" CRUSHED STONE LAD DOWN AS A TRAFFIC STABILIZED CONSTRUCTION ENTRANCE DETAIL. THIS STONE PACK SHALL BE PLACED OVER THE ROADWAY FOR A MINIMUM DISTANCE OF 50 FEET FROM THE EDGE OF PAVEMENT AND SHALL BE REMOVED AND REPLACED WITH ROADWAY GRAVEL PRIOR TO THE PLACEMENT OF PAVEMENT.
2. STONE SIZE - USE 2" CRUSHED STONE.
3. WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS OF INGRESS OR EGRESS.
4. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACEMENT OF STONE.
5. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED NEAR CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL A MOUNTABLE BERM WITH 3:1 SLOPES WILL BE PERMITTED.
6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
7. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS DONE IT SHALL BE DONE ON STABILIZED ENTRANCE WITH STONE AND WHICH DRAINS INTO THE SEDIMENT SUMP AS SHOWN.
8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

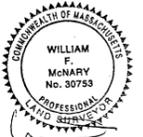


WAVE SITE PLAN
ACTON, MASSACHUSETTS
STORMWATER POLLUTION PREVENTION SITE PLAN
 FOR: **ROSENFELD**
 SCALE: 1"=20' JULY 31, 2009
 REV.: DECEMBER 21, 2009

STAMSKI AND McNARY, INC.
 80 HARRIS STREET ACTON, MASSACHUSETTS
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 ENGINEERING - PLANNING - SURVEYING

0 10 20 40 60 80 FT

(3320SP-WAV-D.WG) SHEET 6 OF 8 SM-3320



N/F RAYNER N/F LIPMAN N/F SLATTERY N/F DOLAN

GENERAL NOTES

- ALL UNDERGROUND UTILITIES SHOWN HEREON WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM VARIOUS UTILITIES COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION OR REPAIRING. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963 MASS. WE ASSUME NO RESPONSIBILITY FOR DAMAGE INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE APPROPRIATE PUBLIC UTILITY ENGINEERING DEPARTMENT MUST BE CONSULTED. DIG-SAFE TELE. NO. (888) 344-7233.
- UNLESS OTHERWISE SPECIFIED ON THESE PLANS, ALL CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH SPECIFICATIONS OUTLINED IN THE ACTON ZONING BYLAW AND THE ACTON TOWN ENGINEERING RECORDS. ALL REGULATIONS FOR SITE PLAN SPECIAL PERMITS.
- ALL LIMITS OF WORK SHALL BE LOCATED IN THE FIELD PRIOR TO CONSTRUCTION OR SITE CLEARING.
- ALL WATER PIPES, HYDRANTS, GATE VALVES AND OTHER APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE ACTON WATER SUPPLY DISTRICT REQUIREMENTS.
- ALL STUMPS AND OTHER CONSTRUCTION DEBRIS SHALL BE PROPERLY REMOVED ANY FILL MATERIAL USED SHALL BE FREE OF HAZARDOUS MATERIALS OR WASTE.
- ALL DRAIN PIPES SHALL BE ADS N-12 UNLESS OTHERWISE SHOWN.
- TRANSPORTATION OF FILL, EARTH, OR CONSTRUCTION DEBRIS TO OR FROM THE SITE SHALL BE RESTRICTED TO DAYTIME HOURS (9 AM TO 4 PM) MONDAY THROUGH FRIDAY.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH 521 CMR - ARCHITECTURAL ACCESS BOARD REGULATIONS. ALL PROPOSED SIDEWALKS SHALL HAVE A MAX. CROSS SLOPE OF 2%. THE PROPOSED HANDICAP PARKING STALLS AND ADJACENT AREAS SHALL HAVE A MAX. SLOPE OF 2% IN ALL DIRECTIONS.
- LOCATIONS OF THE EXISTING SEPTIC TANKS, SOIL ABSORPTION SYSTEM, AND WATER LINE ARE APPROXIMATE PER ACTON B.O.H. RECORDS, AND ACTON TOWN ENGINEER RECORDS. TO THE EXISTING ON-SITE SOIL ABSORPTION SYSTEM AND ASSOCIATED TANKS LABELED TO BE REMOVED SHALL BE ABANDONED PURSUANT TO 310CMR 15.354 ABANDONMENT OF SYSTEMS FROM SITE.
- ANY FILL MATERIAL USED SHALL BE FREE OF HAZARDOUS MATERIALS OR WASTE.

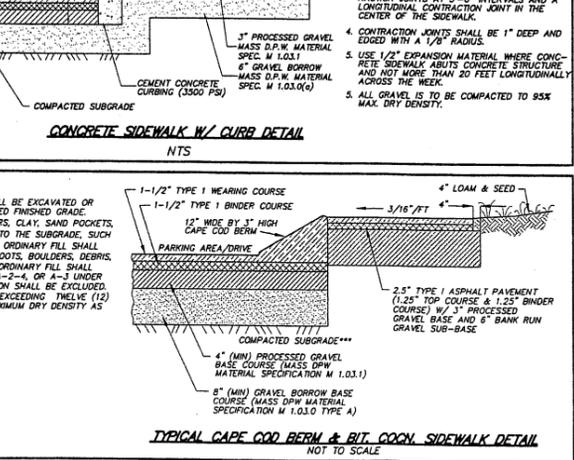
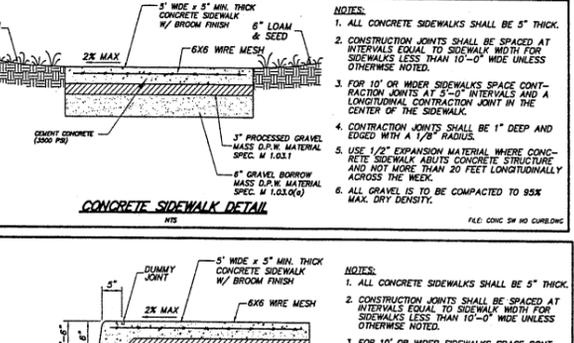
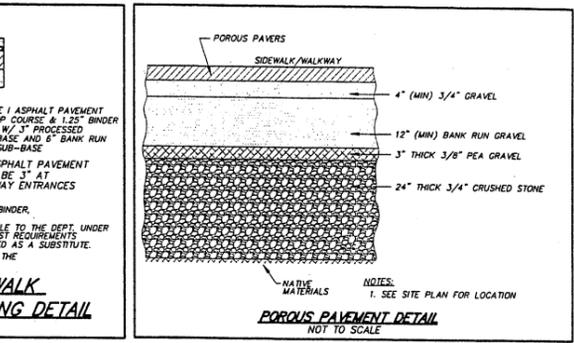
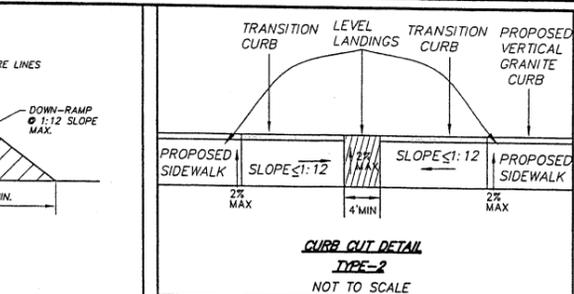
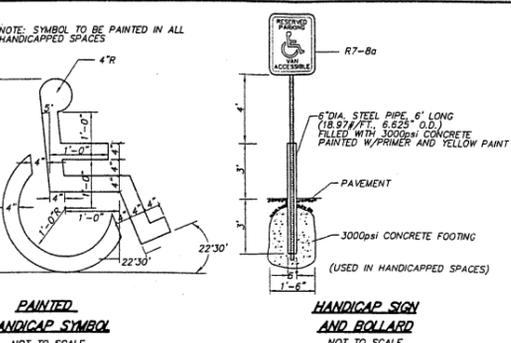
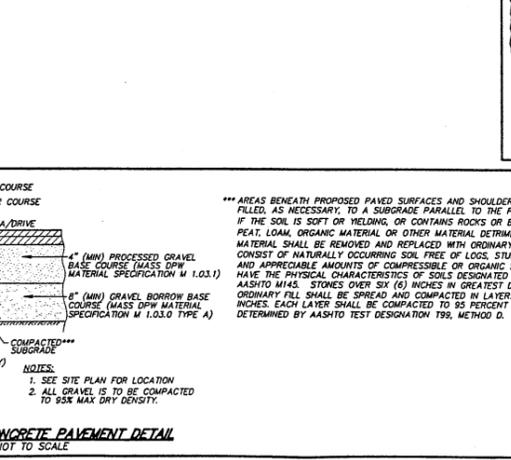
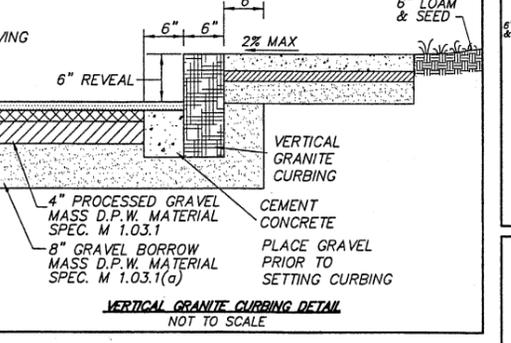
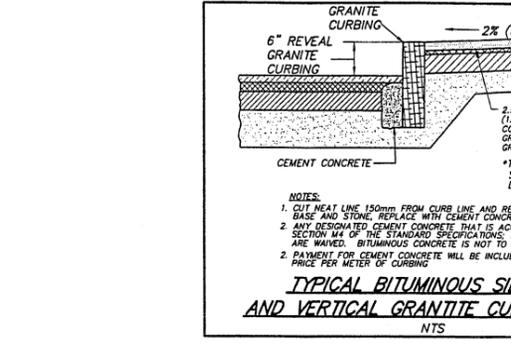
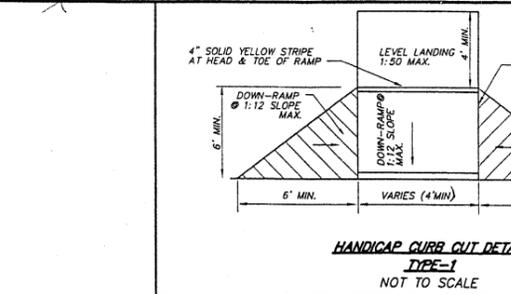
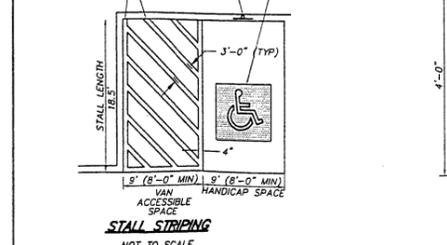
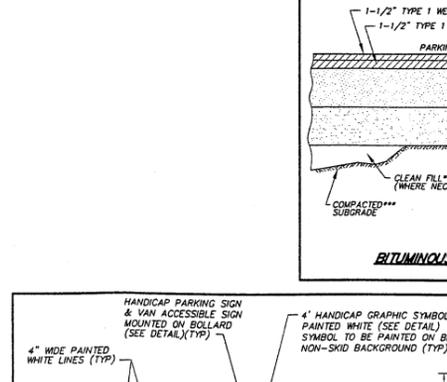
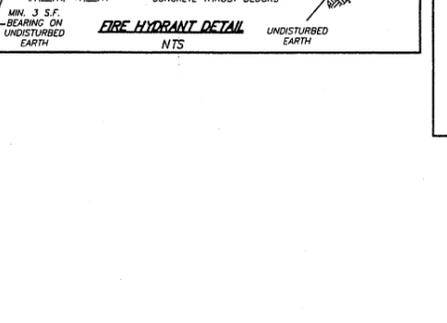
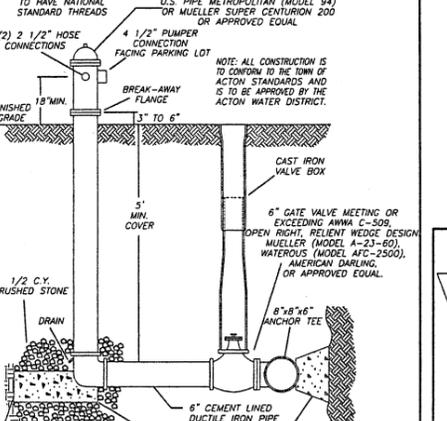
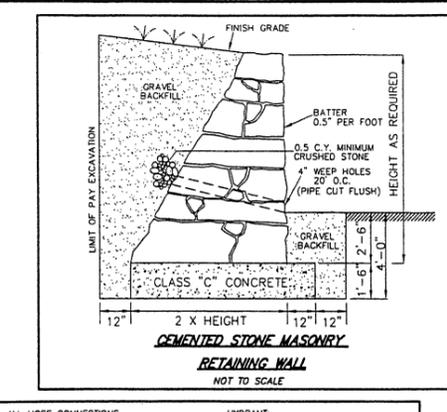
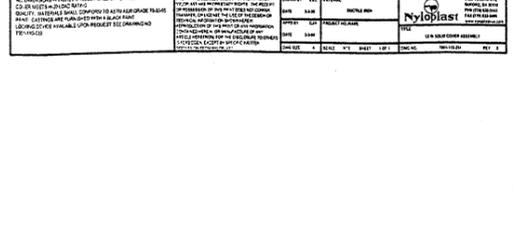
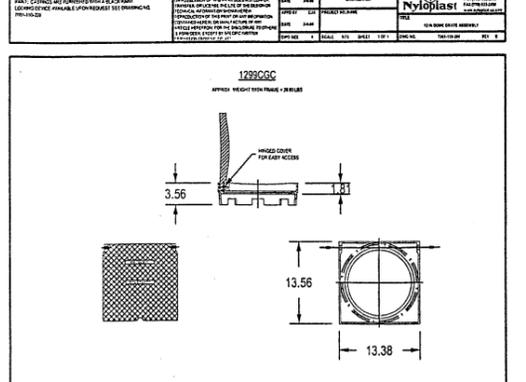
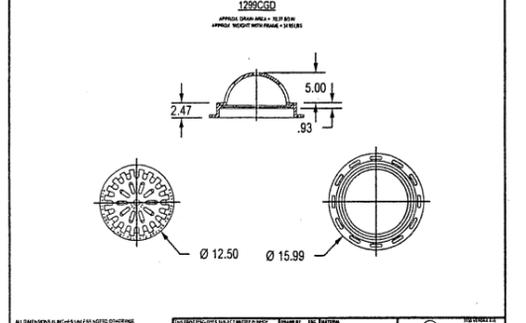
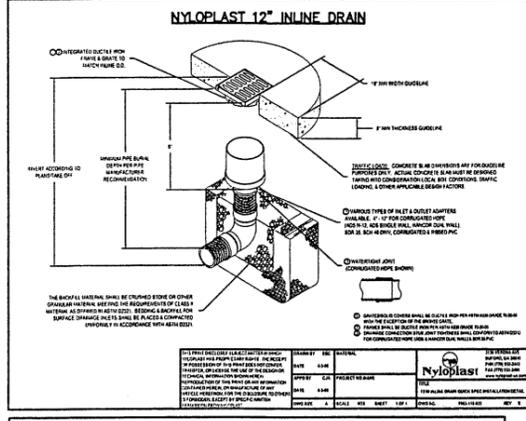
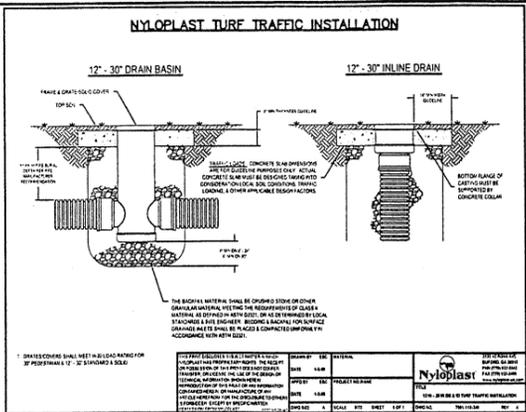
DRAINAGE SYSTEM OPERATION AND MAINTENANCE PLAN

- BMP OWNER: 541 MASS AVE LCC
541 MASSACHUSETTS AVE.
ACTON, MA 01720
- PARTIES RESPONSIBLE FOR MAINTENANCE: SAME AS ABOVE
- SCHEDULE FOR INSPECTION AND MAINTENANCE:
DEEP SUMP AND HOODED CATCH BASIN:
THE DEEP SUMPS FOR THE CATCH BASINS SHALL BE INSPECTED AND CLEANED QUARTERLY. THE CATCH BASINS HAVE A FOUR FOOT DEEP SUMP AND THE WATER LEVEL IS MAINTAINED BY THE DISCHARGE PIPE AT FOUR FEET. THE DISCHARGE PIPE IS HIDDEN FROM VIEW BY A HOODED OUTLET.
THE DEPTH OF THE SEDIMENT IN THE BASIN SHALL NOT EXCEED A DEPTH OF 18 INCHES AS DETERMINED BY PROBING WITH A STICK. IF THE STICK HITS THE BOTTOM WITHIN 30 INCHES OF THE WATER LEVEL, MORE THAN 18 INCHES OF SEDIMENT HAS ACCUMULATED AND MUST BE REMOVED.
LICENSED PERSONS SHOULD REMOVE AND DISPOSE OF THE CONTENTS OF THE SUMP IN ACCORDANCE WITH APPLICABLE REGULATIONS.
STORMCEPTOR:
INSPECTION AND MAINTENANCE OF THE IN-LINE STORMCEPTOR CAN BE PERFORMED FROM THE SURFACE, WITHOUT ENTRY INTO THE UNIT. PERFORM MAINTENANCE ONCE THE STORED VOLUME REACHES 15% OF THE STORMCEPTOR CAPACITY, OR IMMEDIATELY IN THE EVENT OF A STORM.
PERFORM QUARTERLY INSPECTIONS DURING THE FIRST YEAR OF INSTALLATION TO ACCURATELY ESTABLISH THE MAINTENANCE SCHEDULE.
REMOVE OIL AND SEDIMENT THROUGH THE 24-INCH DIAMETER OUTLET RISER PIPE. ALTERNATIVE FLOW TABLES AND HYDROCARBONS MAY BE REMOVED THROUGH THE 6-INCH OIL INSPECTION PORT.
DISPOSAL FROM STORMCEPTOR ARE SIMILAR TO THAT OF ANY OTHER BEST MANAGEMENT PRACTICE (BMP). CONSULT LOCAL GUIDELINES OR YOUR STORMCEPTOR AREA MARKETING MANAGER PRIOR TO DISPOSING THE SEPARATOR CONTENTS.

INFILTRATION BASIN:
THE INFILTRATION BASIN SHALL BE INSPECTED AFTER EVERY MAJOR STORM EVENT FOR THE FIRST THREE MONTHS AFTER CONSTRUCTION, AND INSPECTED TWICE A YEAR THEREAFTER. PREVENTATIVE MAINTENANCE SHALL BE DONE TWICE A YEAR ON THE INFILTRATION BASIN.
- PREVENT THE MAINTENANCE INCLUDES, BUT IS NOT LIMITED TO, MOWING THE BUFFER AREA, SIDE SLOPES, AND BASIN BOTTOM IF A GRASSED FLOOR, RAKE IF STONE BOTTOM, REMOVE TRASH AND DEBRIS, REMOVE GRASS CLIPPINGS AND ACCUMULATED ORGANIC MATTER.
- SIDE SLOPES OF THE CHANNEL SHALL BE INSPECTED FOR EROSION.
- ALL ERODED AREAS SHALL RECEIVE 6" OF LOAM AND BE RESEDED PER ORIGINAL DESIGN PLAN. AREAS OF CONTINUED EROSION SHALL BE STABILIZED WITH 3" MINUS RIPRAP.
- REMOVE ALL SEDIMENT FROM THE CHANNEL ONCE THE SEDIMENT REACHES 10% OF CHANNEL VOLUME OR 3-INCH DEPTH.
- THERE IS PONDING DUE TO CLOGGING, IMMEDIATELY ADDRESS THE REASONS FOR THE PONDING.
SEDIMENT FOREBAY:
THE SEDIMENT FOREBAY SHALL BE INSPECTED AFTER EVERY MAJOR STORM EVENT FOR THE FIRST THREE MONTHS AFTER CONSTRUCTION. THE SEDIMENT FOREBAY SHALL BE INSPECTED MONTHLY THEREAFTER.
SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT FOREBAY UPON DISCOVERY OF 3 INCHES OF SEDIMENT ACCUMULATION.
CROOKED OR BARREN SPOTS SHALL BE RECOVERED WITH STONE IMMEDIATELY AFTER INSPECTION TO PREVENT EROSION AND ACCUMULATION OF SEDIMENT.
SEDIMENT SHALL BE REMOVED FROM THE FOREBAY AS NEEDED, AT LEAST FOUR TIMES EVERY YEAR. THIS PROCEDURE SHALL NOT TAKE PLACE UNTIL THE FLOOR OF THE FOREBAY IS THOROUGHLY DRY.

POROUS PAVEMENT:
POROUS PAVEMENT SHALL BE POWER WASHED TO DISLODGE TRAPPED PARTICLES AND THEY VACUUM SHED MONTHLY. WINTER SANDING IS PROHIBITED. THE SURFACE SHALL BE INSPECTED FOR DEGRADATION ANNUALLY. THE SURFACE SHALL BE MONITORED AFTER EVERY MAJOR STORM TO ENSURE PROPER DRAINAGE.
TRENCH DRAINS:
TRENCH DRAINS SHALL BE INSPECTED AND CLEANED QUARTERLY.
RAIN GARDEN AND BIOTENTION AREA:
THE GARDEN SHALL BE INSPECTED AFTER EVERY MAJOR STORM EVENT FOR THE FIRST THREE MONTHS AFTER CONSTRUCTION, AND INSPECTED AS STATED BELOW THEREAFTER. BIOTENTION AREAS REQUIRE CAREFUL ATTENTION WHILE PLANTS ARE BEING ESTABLISHED AND SEASONAL LANDSCAPING MAINTENANCE THEREAFTER.
- SEASONAL LANDSCAPING MAINTENANCE INCLUDES, BUT IS NOT LIMITED TO:
- INSPECTING AND REMOVING TRASH MONTHLY
- INSPECTING SOIL AND REPAIRING ERODED AREAS MONTHLY
- MULCHING ANNUALLY IN THE SPRING
- REMOVING DEAD VEGETATION ANNUALLY IN THE SPRING OR FALL
- REPLACING DEAD VEGETATION ANNUALLY IN THE SPRING OR FALL
- PRUNING ANNUALLY IN THE SPRING OR FALL
- REPLACING ENTIRE MEDIA AND ALL VEGETATION AS NEEDED IN THE LATE SPRING OR EARLY SUMMER
- RE-MULCH VOID AREAS AS NEEDED
- SIDE SLOPES OF THE CHANNEL SHALL BE INSPECTED FOR EROSION.
ALL ERODED AREAS FOUND SHALL RECEIVE 6" OF LOAM AND BE RESEDED PER ORIGINAL DESIGN PLAN. AREAS OF CONTINUED EROSION SHALL BE STABILIZED WITH 3" MINUS RIPRAP.
IF THERE IS PONDING DUE TO CLOGGING, IMMEDIATELY ADDRESS THE REASONS FOR THE PONDING.
BECAUSE THE SOIL MEDIA FILTERS CONTAMINANTS FROM THE RUNOFF THE CATCH EXCHANGE SOIL MEDIA WILL EVENTUALLY BE EXHAUSTED. THIS IS NECESSARY TO REPLACE THE SOIL MEDIA TO PREVENT CONTAMINANTS FROM MIGRATING TO THE GROUNDWATER, AS NECESSARY, USING SMALL SHRUBS AND PLANTS INSTEAD OF LARGER TREES WILL MAKE IT EASIER TO REPLACE THE MEDIA WITH CLEAN MATERIAL WHEN NEEDED.

EMERGENCY CONTACTS:
IN THE EVENT OF A HAZARDOUS MATERIALS SPILL ON THE SITE THE FOLLOWING PARTIES SHALL BE CONTACTED: FIRE DEPARTMENT, PH: 978-264-9645
RECORDS:
THE OWNER SHALL MAINTAIN AN INSPECTION LOG OF ALL ELEMENTS OF THE STORM WATER MANAGEMENT PLAN. THE OWNER SHALL MAINTAIN A MAINTENANCE LOG DOCUMENTING THE INSPECTION AND MAINTENANCE OF THE DRAINAGE STRUCTURES UNDER HIS CONTROL. A COPY OF THE EROSION CONTROL AND STORM WATER MAINTENANCE PLAN AND INSPECTION LOGS SHALL BE KEPT ON-SITE AT ALL TIMES.

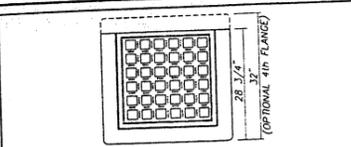


WAVE SITE PLAN ACTON, MASSACHUSETTS
DETAIL SHEET 1
FOR: ROSENFELD
SCALE: 1"=20'
JULY 31, 2009
REV: DECEMBER 21, 2009

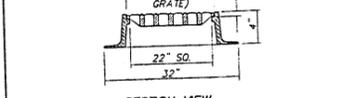
STAMSKI AND MCNARY, INC.
80 HARRIS STREET ACTON, MASSACHUSETTS
(978) 263-8585
ENGINEERING - PLANNING - SURVEYING

0 10 20 40 60 80 FT

(3320SP-WAV-D.DWG) SHEET 7 OF 8 SM-3320



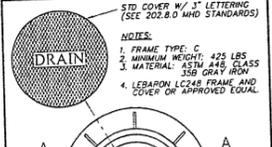
TO CONFORM TO MASS HIGHWAY STANDARDS (SEE DETAIL 201.6.0)



SECTION VIEW
FRAME: LEBARON LF244-2
GRATE: LEBARON L245017

SINGLE CATCH BASIN
FULLY MACHINED AND INTERCHANGEABLE FRAMES AND COVERS. HIGH QUALITY MATERIALS AND WORKMANSHIP. COAL TAR EPOXY PAINTED. NO ROCK COVERS. H-20 LOADING RATE. 3 FLANGE FRAMES TO BE USED WITH CURB INLET.

CATCH BASIN FRAME AND GRATE
NOT TO SCALE



NOTES:
1. FRAME TYPE: C
2. MINIMUM HEIGHT: 425 LBS
3. MATERIAL: ASTM A48, CLASS 35B GRAY IRON
4. LEBARON L2448 FRAME AND COVER OR APPROVED EQUAL

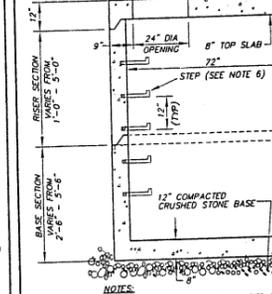


SECTION A-A
MANHOLE FRAME AND COVER
NOT TO SCALE

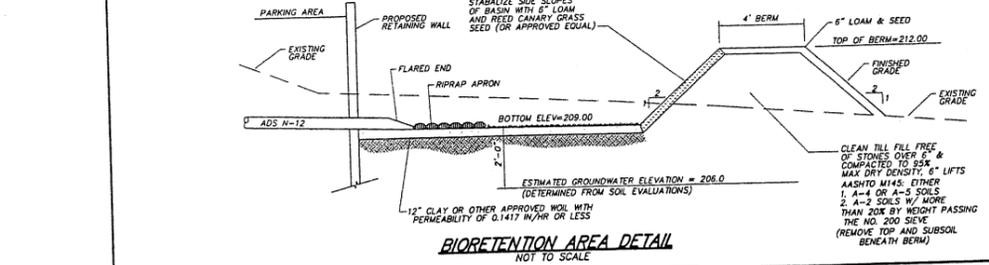
LEBARON L2448 FRAME AND COVER OR APPROVED EQUAL (SEE DETAIL).
ADJUST TO GRADE WITH CONCRETE COLLAR OR BRICK (2 COURSE MAX).
FRAME TO BE SET IN FULL BED OF MORTAR.
WATER & GAS TIGHT JOINTS TO BE SEALED WITH RUBBER PLANT AND MORTAR (TYP). (REFER TO GENERAL NOTE 7).
PROVIDE NON-SHRINK GROUT AT ALL PIPE CONNECTIONS.
MIN. 0.12 SQ. IN. STEEL PER VERTICAL FOOT. PLACED ACCORDING TO AASHTO DESIGNATION M199.
12" COMPACTED CRUSHED STONE BASE.
PROVIDE NON-SHRINK MORTAR AND GROUT AT ALL PIPE CONNECTIONS. (SEE NOTE 3).

PRECAST CONCRETE CATCH BASIN DETAIL
NOT TO SCALE

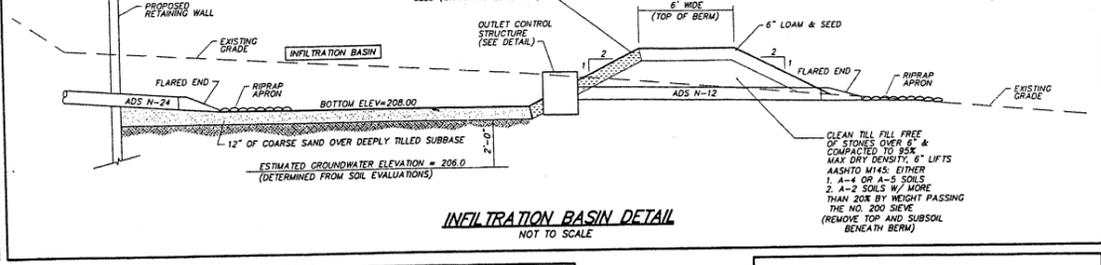
PRECAST CONCRETE MANHOLE DETAIL (DMH-3)
NOT TO SCALE



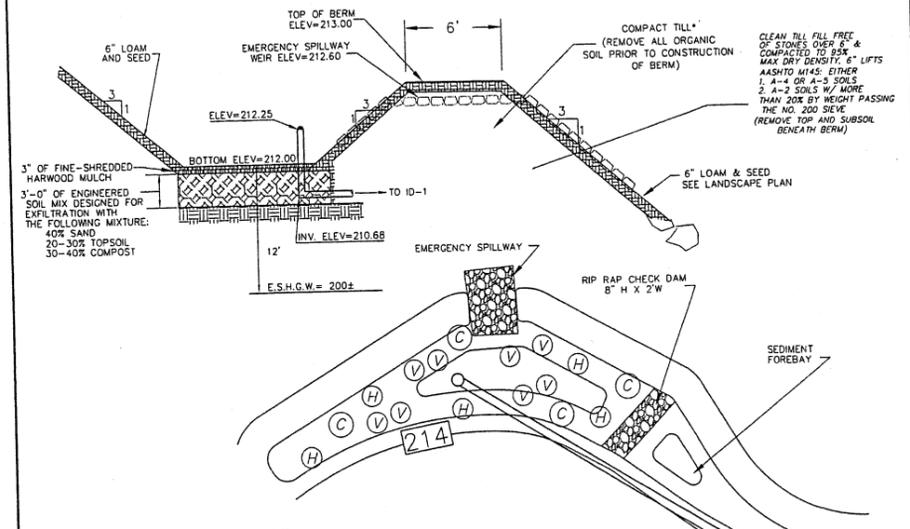
NOTES:
1. DETAILS NOT INDICATED ABOVE ARE TO BE SIMILAR TO THOSE SHOWN ON 201.2.0 AND 201.3.0 MASS HIGHWAY STANDARDS.
2. FOR DESCRIPTION, MATERIALS AND CONSTRUCTION METHOD, SEE MASS HIGHWAY SPECIFICATIONS.
3. STRUCTURE AS MANUFACTURED BY SHEA CONCRETE (978) 858-2645 OR APPROVED EQUAL.
4. CONCRETE: 4,000 PSI (MIN) AT 28 DAYS.
5. REINFORCED STEEL CONFORMS TO LATEST A.S.T.M. A185 SPEC. 0.18 SQ. IN. LINEAL FT. AND 0.18 SQ. IN. (BOTH WAYS) BASE BOTTOM.
6. H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C476 SPEC. FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS.
7. BUTYL RESIN JOINT CONFORMS TO LATEST ASTM C443 SPEC.
8. STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEPS SHALL CONFORM TO LATEST ASTM C443 SPEC. STEPS SHALL CONFORM TO LATEST ASTM C443 SPEC.



BIORETENTION AREA DETAIL
NOT TO SCALE

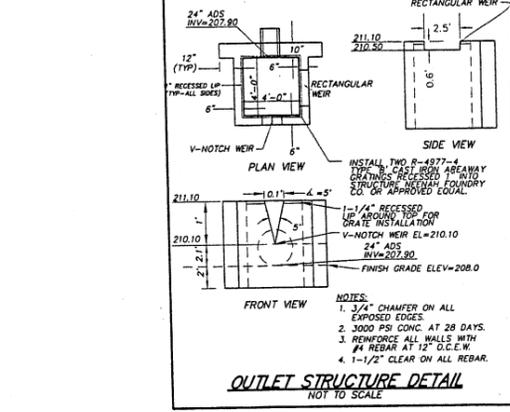


INFILTRATION BASIN DETAIL
NOT TO SCALE

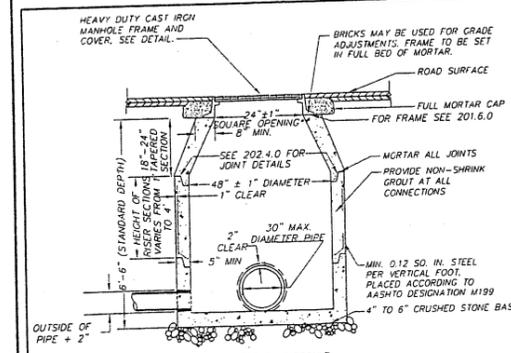


PLANT LIST
SYMBOL/BOTANICAL NAME COMMON NAME NO. SIZE
H/HAMAMELIS VIRGINIANA WITCH HAZEL 5 2'-3' HT
C/COMMON PERIWINKLE COMMON PERIWINKLE 8 4'-6' HT
C/CORNUS SERICEA REDOSIER DOGWOOD 4 10'-12' HT

RAIN GARDEN DETAIL
NOT TO SCALE



OUTLET STRUCTURE DETAIL
NOT TO SCALE

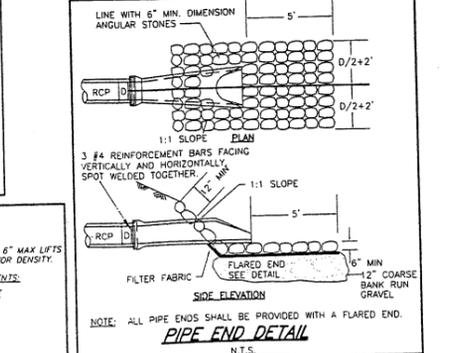


PRECAST CONCRETE MANHOLE DETAIL
NOT TO SCALE

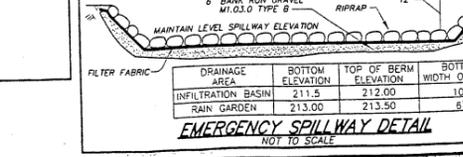
NOTES:
1. MANHOLE TO CONFORM TO MASS D.P.W. STANDARD 202.4.0.
2. FACE OF PIPE FLUSH OR NOT TO PROJECT MORE THAN 4" FROM FACE OF WALL ALONG CENTERLINE OF PIPE.
3. FOR DESCRIPTION, MATERIALS AND CONSTRUCTION METHOD, SEE SPECIFICATIONS.

ADS END SECTION DIMENSIONS

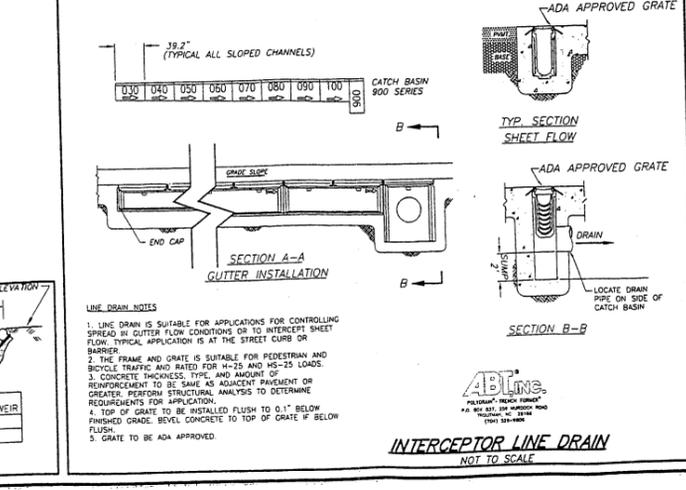
PIPE DIAMETER	PART NO.	DIMENSION (inches)				
		A(±)	B MAX	H(±)	L(1/2±)	W(±)
12" and 15"	1210 NP	6.5	10	6.5	25	29
18"	1810 NP	7.5	15	6.5	32	35
24"	2410 NP	7.5	18	6.5	36	45
30"	3610 NP	10.5	NA	7.0	53	68



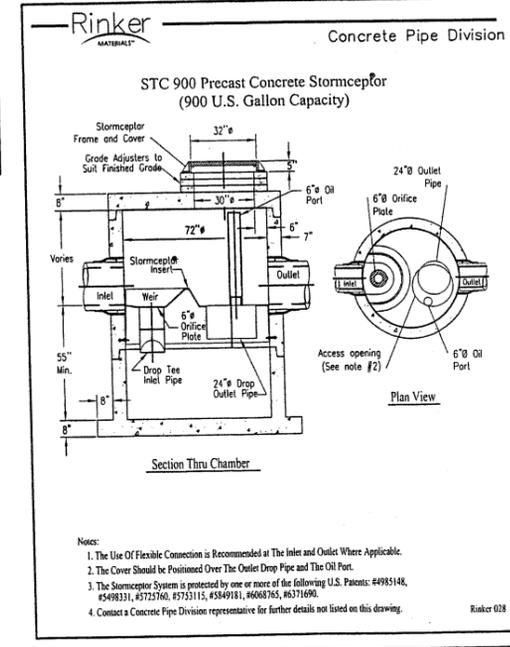
PIPE END DETAIL
NOT TO SCALE



EMERGENCY SPILLWAY DETAIL
NOT TO SCALE



INTERCEPTOR LINE DRAIN
NOT TO SCALE



Rinker Concrete Pipe Division
STC 900 Precast Concrete Stormceptor (900 U.S. Gallon Capacity)

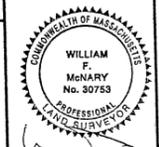
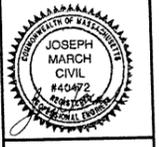
Notes:
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
2. The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.
3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5733115, #5849181, #6068765, #6371690.
4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

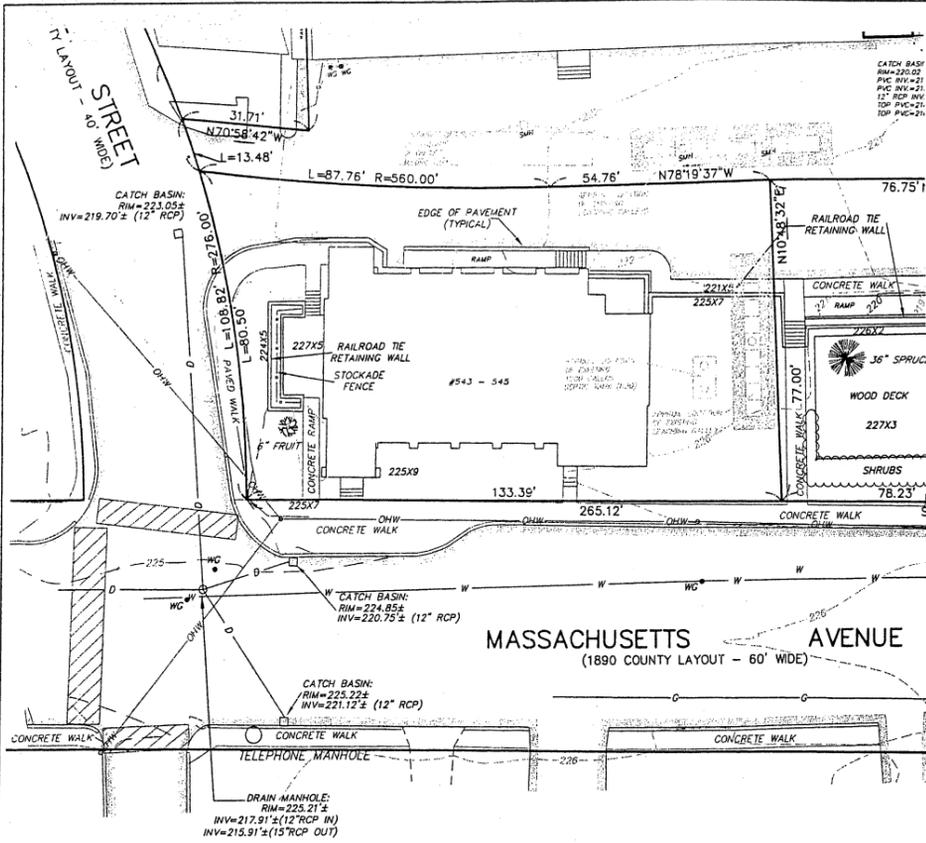
WAVE SITE PLAN
ACTON, MASSACHUSETTS
DETAIL SHEET 2
FOR: ROSENFELD
SCALE: 1"=20' JULY 31, 2009
REV.: DECEMBER 21, 2009

STAMSKI AND MCNARY, INC.
80 HARRIS STREET ACTON, MASSACHUSETTS
(978) 263-8585
ENGINEERING - PLANNING - SURVEYING

0 10 20 40 60 80 FT

(3320SP-WAV-D.WG) SHEET 8 OF 8 SM-3320





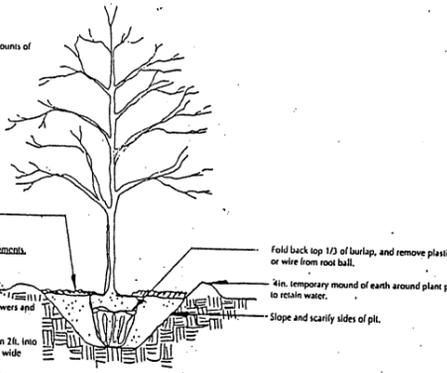
Tree Pit
Width of pit shall be three times width of rootball.
Place root ball on undisturbed soil.
Slope sides of pit and scarify.
Top of ball shall be at same grade as grown in nursery.

Planting Mix & Watering:
Backfill shall be slightly improved material from tree pit.
Break up clods and compacted soil and add minimal amounts of vermiculite and organic material if soil is poor.
Add soil gradually and tamp lightly when backfilling.
Water halfway and allow to drain.
Water thoroughly after backfill complete.

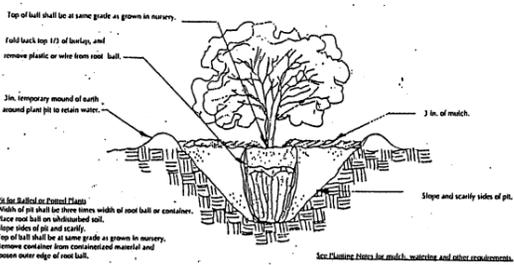
Mulch:
Place 2in. to 4in. mulch around each tree,
3/4in. dia. circle, minimum.
Do not place any mulch against tree trunk.

See Planting Notes for mulch, watering and other requirements.

Staking:
Generally, large trees do not need staking or tree wrap.
However, contractors may stake trees to protect from mowers and to provide anchorage, especially if wind is a problem.
If stakes are necessary, use 3 stakes, 6/16" dia. long, driven 2ft. into ground and 1ft. from trunk of tree. Guy material shall be wide fabric band.
Stakes should be fastened to allow some trunk movement.
Stakes & guy should be removed within 1 year of planting.



Deciduous Tree Planting
Not to Scale



Shrub Planting
Not to Scale

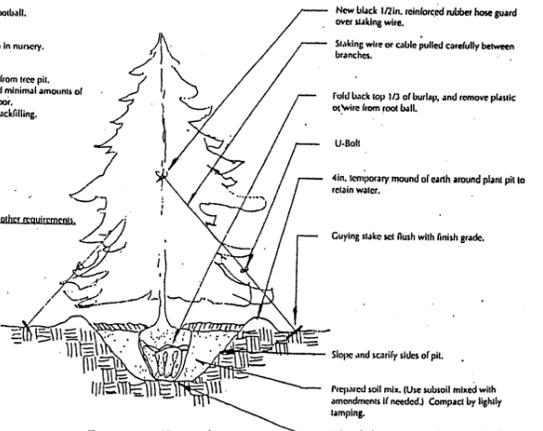
Note: Plant field dug evergreens at original north-south orientation and growing depth.

Tree Pit
Width of pit shall be three times width of rootball.
Place rootball on undisturbed soil.
Slope sides of pit and scarify.
Top of ball shall be at same grade as grown in nursery.

Planting Mix & Watering:
Backfill shall be slightly improved material from tree pit.
Break up clods and compacted soil and add minimal amounts of vermiculite and organic material if soil is poor.
Add soil gradually and tamp lightly when backfilling.
Water halfway and allow to drain.
Water thoroughly after backfill complete.

Mulch:
Place 2in. to 4in. mulch around each tree,
3/4in. dia. circle, minimum.
Do not place any mulch against tree trunk.

See Planting Notes for mulch, watering and other requirements.



Evergreen Tree Planting
Not to Scale

Plant List

Symbol/Botanical Name	Common Name	No.	Size	Approx. height (ft) & width (ft) @ maturity
Deciduous Trees				
A1/Amelanchier lueae	Shadblow (Hullströmshemp)	9	7-8'Ht	20-25'Ht x 20'w
B1/Betula nigra 'Heritage'	Heritage River Birch (Clump)	3	7-8'Ht	50-70'Ht x 25-30'w
C1/Cedrus lutea	Yellowwood	3	2-2.5'C	30-50'Ht x 35-45'w; Multi-stem if available
C1/Cledisia tri. 'Halka'	Halka Honeylocust	4	2-2.5'C	35-40'Ht x 35'w; Matching
L1/Liriodendron tulipifera	Tulip tree	1	2-2.5'C	70-90'Ht x 35-50'w
P1/Prunus sargentii 'Columaria'	Columaria Sargentii Cherry	1	2-2.5'C	30-35'Ht x 10-15'
P1/Prunus subhirtella 'Autumnalis'	Autumn Higan Cherry	1	2-2.5'C	20-40'Ht x 15-25'w
P1/Prunus californiana 'Aristocrat'	Aristocrat Flowering Pear	1	2-2.5'C	30-35'Ht x 20-25'w
U1/Ulmus Americana 'New Harmony'	New Harmony American Elm	4	2-2.5'C	50-60'Ht x 40-5'w; Matching
Evergreen Trees				
IV1/Juniperus virginiana	Eastern Red Cedar	7	5-6'Ht	40-50'Ht x 8-20'w; Single trunk
Shrubs				
B1/Buddleia davidii	Butterfly Bush	5	#3 pot	5-8'Ht x 5-8'w; 3 purple, 1 pink, 1 white
C1/Cornus alba 'Ivory Halo'	Ivory Halo Redtwig Dogwood	8	18-24"Ht	3'Ht x 3-4'w
F1/Forsythia 'Lynwood Gold'	Lynwood Gold Forsythia	8	3-4'Ht	6'Ht x 6'w
H1/Hammamelis virginiana	Common (native) Witchhazel	3	#3 pot	10-25'Ht x 10-20'w
I1/Ilex glabra	inkberry	42	18-24"Ht	6-8'Ht x 8'w; Full plants: evergreen, B&B only
IV1/Ilex verticillata 'Winter Red'	Winter Red Winterberry	5	3-4'Ht	6-10'Ht x 6-10'w
IV1/Ilex verticillata 'Late Male'	Late Male Winterberry	1	#2 pot	6-10'Ht x 6-10'w
R1/Rhododendron maximum	Rosebar Rhododendron	3	3-3.5'Ht	10-12'Ht x 5-10'w
R1/Rhus aromatica	Fragrant Sumac	50	#2 pot	4-6'Ht x 8-10'w
R1/Rosa 'Blushing Knockout'	Blushing Knockout Rose	6	#3 pot	3'Ht x 3'w
S1/Spiraea japonica 'Shirobana'	Shirobana Spirea	5	#3 pot	2-3'Ht x 3-4'w
S1/Syringa meyeri 'Palibin'	Dwarf Korean Lilac	6	#3 pot	4-5'Ht x 5-6'w
V1/Vaccinium corymbosum	Highbush Blueberry	9	#3 pot	5-6'Ht x 3-4'w
V1/Viburnum cassinoides	Withered Viburnum	3	#2 pot	6-8'Ht x 6-8'w
Crowns/roves				
ARC/Arctostaphylos uva-ursi	Bearberry	1	pot	
IC1/Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	1	pot	
RT1/Rhus aromatica 'Crow Low'	Crow Low Sumac	2	pot	2'Ht x 6'w
V1/Vincetoxicum minor	Vinca	1	pot	

General Notes

- All site information represented on this plan is illustrative, and must be verified by the Contractor. Written specifications shall take precedence over representations on drawings.
- It is contractor's responsibility to become apprised of existing conditions, underground utilities, and overhead utilities. Coordination with all relevant companies or agencies, including permitting & Dig Safe, affected by this construction is contractor's responsibility. The Contractor is required to obtain any necessary permits required from local authorities for all work in this contract.
- Contractor shall be responsible for on-site safety of construction crew, and particularly of safety of pedestrians during period of construction project.
- Extreme care shall be taken not to disturb existing plant materials, except any specifically noted to be transplanted or removed. Any plant injured or destroyed shall be replaced with a plant of equal or greater size and species at the Contractor's expense.
- All unused materials, which are moveable, shall be removed from site daily, or stored in such a way as to preclude loss, vandalism, and for safety.
- All debris shall be removed, and all walks made free of obstructions, and site left in a neat, clean condition at the close of each workday.

Planting Notes

- The Contractor shall locate and verify all utilities prior to starting work. Hay bales shall be placed per Town regulations and shall remain in place throughout construction phase and final approvals.
- The Contractor shall supply all plant materials in quantities sufficient to complete the planting shown on all Drawings. Plant counts are for convenience only. Contractor shall use sufficient plant materials to fulfill design intent, but in no case shall contractor use fewer plants than listed.
- All material shall conform to the guidelines established by the "American Standard for Nursery Stock", published by the American Association of Nurserymen.
- Contractor shall test soil in areas to be planted and shall amend the soil as needed. All hard packed soil shall be scarified and amended as needed to promote healthy plant growth. The Contractor shall re-grade and blend new earthwork smoothly with existing contours. Fine grading must be accepted by the Owner or Owner's representative before planting begins.
- All plants shall bear the same relationship to finished grade as original grade before digging. Plants to be transported shall be dug carefully, with adequate rootballs and pruned according to ANA standard practice.
- All plants shall be balled in burlap or containerized, unless specified otherwise. No root bound container grown stock will be accepted. All plastic root wrapping and metal wire baskets shall be carefully removed at the time of planting, except that wire that is directly under the rootballs.
- All plant materials are subject to the approval of the Landscape Architect at the nursery and at the site. No unapproved substitutions will be accepted. All trees shall have a single leader unless specified otherwise.
- Location of all trees and shrubs shall be staked for the approval of the project landscape architect. Staking shall be completed prior to arrival of Landscape Architect and prior to commencement of planting. Set plants and stakes plumb. The Contractor is responsible for providing planting soil for backfilling of all plants. Submit written content analysis to Owner/Rep. for approval.
- Flood plants thoroughly once immediately after planting and twice during the first twenty-four hour period after planting. The Contractor shall maintain the plants for a minimum of 90 days following installation, or longer if approved by Owner. Before the end of the 90-day period, the Contractor shall provide a written maintenance outline to the Owners and the Contractor shall be available to answer questions or concerns at that time.
- Mulch: Contractor shall place 2" - 3" of fine shredded, aged 2 years, dark brown pine bark mulch throughout the shrub bed areas and around the base of each new tree (30" diameter mulch bed, approximately). Submit sample of mulch for approval.
- All trees and shrubs to be sprayed with anti-desiccant within twenty-four hours after planting. All broadleaf evergreen and coniferous plants shall be sprayed with an anti-desiccant the first week of November the first winter following planting.
- All plants shall be guaranteed for a minimum of 1 year from final acceptance of planting by the Owner or Landscape Architect. Plants to be replaced shall be as determined by the Landscape Architect and shall include any sickly, weak, dead, or root-bound material. The contractor shall replace such materials at his/her own expense in a timely manner, with plant material as selected/approved by the Landscape Architect.

SITE PLAN
WAVE
ACTON, MASSACHUSETTS

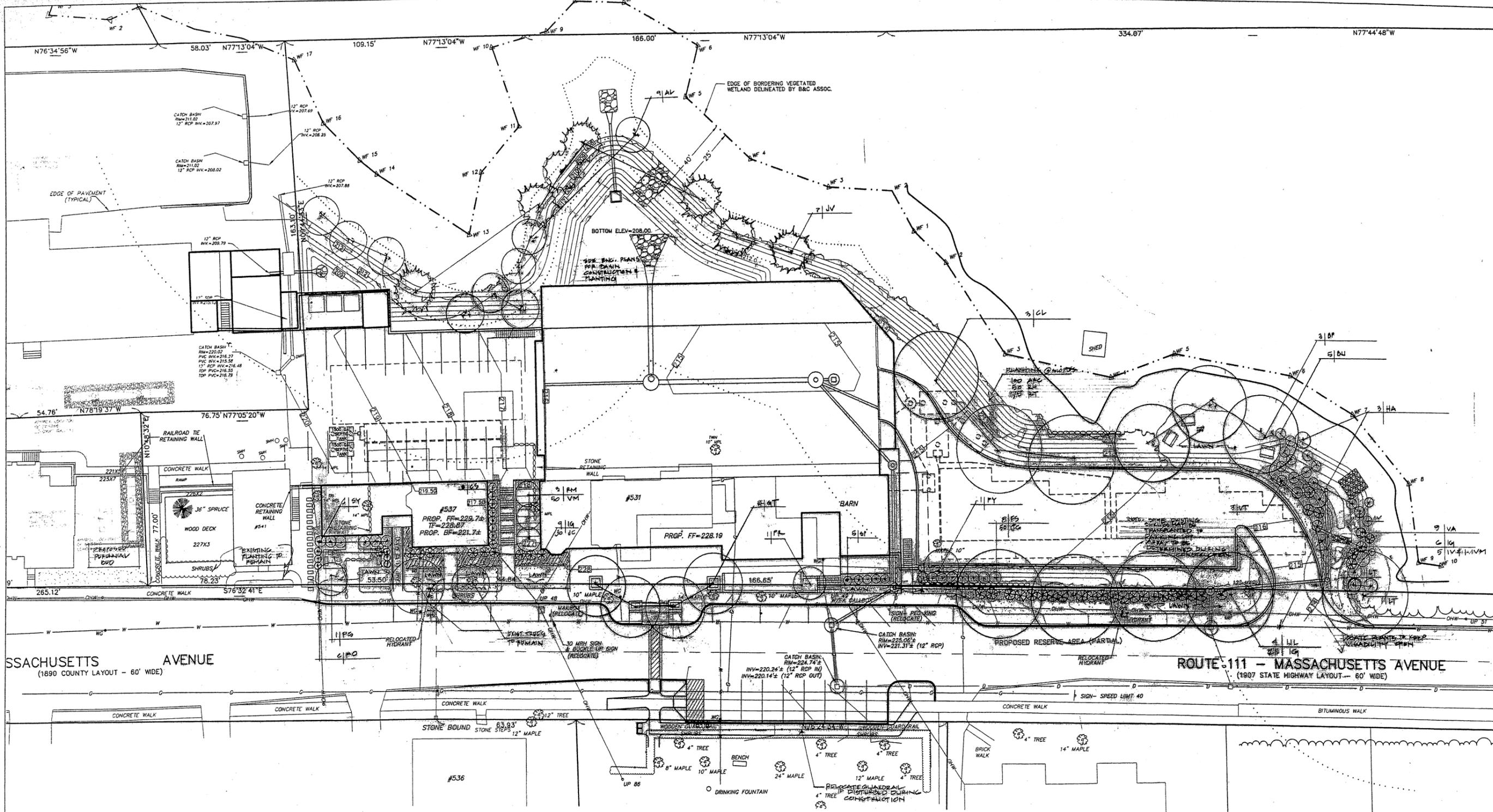
STAMSKI AND McNARY, INC.
80 HARRIS STREET - ACTON, MASSACHUSETTS
ENGINEERING - PLANNING - SURVEYING

KIM AHERN LANDSCAPE ARCHITECTS
40 FOSTER STREET - LITTLETON, MASSACHUSETTS
PHONE: (978) 486-0040

LANDSCAPE PLAN
SCALE: 1" = 20' DATE: July 31, 2009

0 10 20 40 60 80 FT.

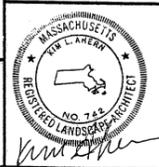
SM-3320 SHEET 2 OF 2 3320LANDSCAPE A.DWG



MASSACHUSETTS AVENUE
(1890 COUNTY LAYOUT - 60' WIDE)

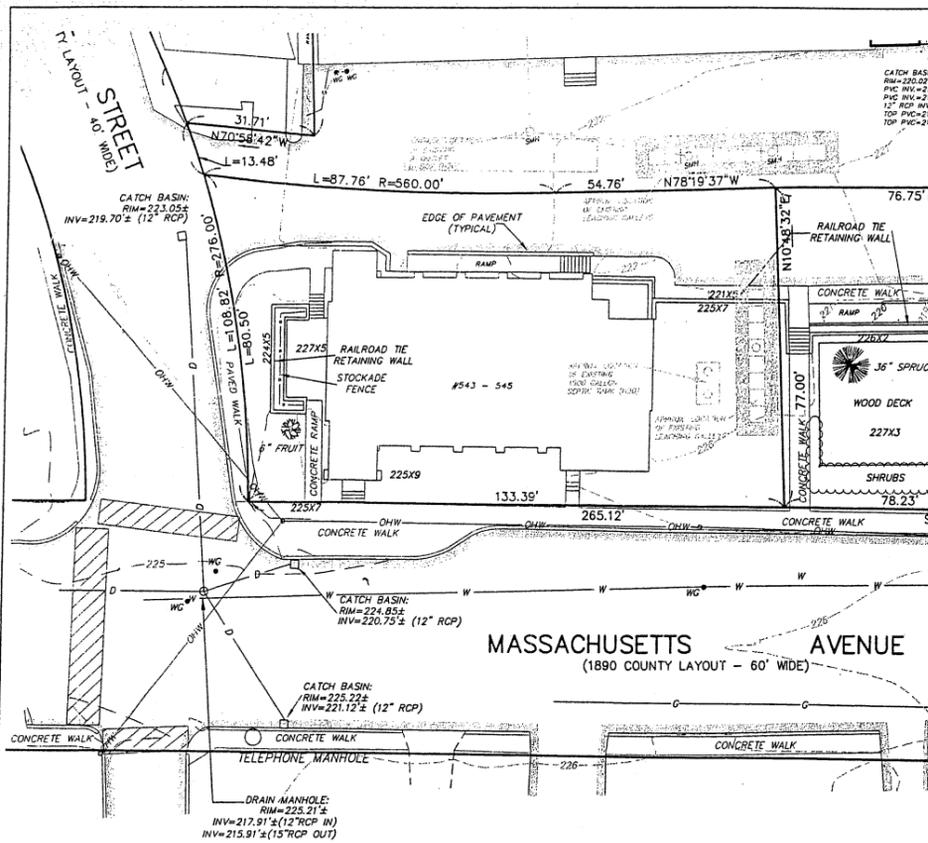
ROUTE 111 - MASSACHUSETTS AVENUE
(1907 STATE HIGHWAY LAYOUT - 60' WIDE)

SITE PLAN
WAVE
ACTON, MASSACHUSETTS
STAMSKI AND MCNARY, INC.
 80 HARRIS STREET - ACTON, MASSACHUSETTS
 ENGINEERING - PLANNING - SURVEYING
KIM AHERN LANDSCAPE ARCHITECTS
 40 POSTER STREET - LITTLETON, MASSACHUSETTS
 PHONE: (978) 486-0040
LANDSCAPE PLAN
 SCALE: 1" = 20' DATE: JULY 31, 2009



0 10 20 40 60 80 FT.
 SM-3320 SHEET 1 OF 2 3320LANDSCAPE A.DWG

NOTE:
 See Landscape Plan Sheet 2 of 2 for Landscape & General Notes, Planting Details and Plant List.

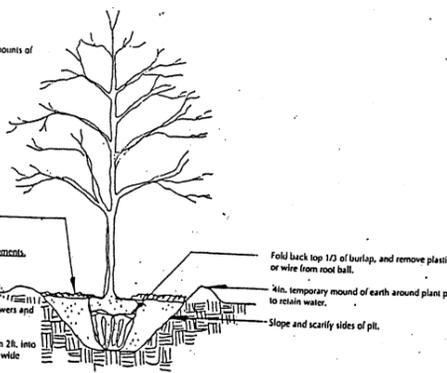


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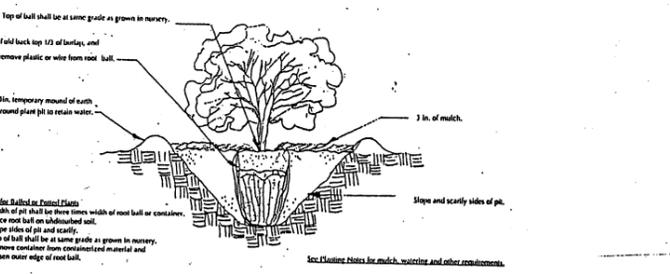
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 3in. dia. circle, minimum.
 Do not place any mulch against tree trunk.
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Deciduous Tree Planting
 Not to Scale



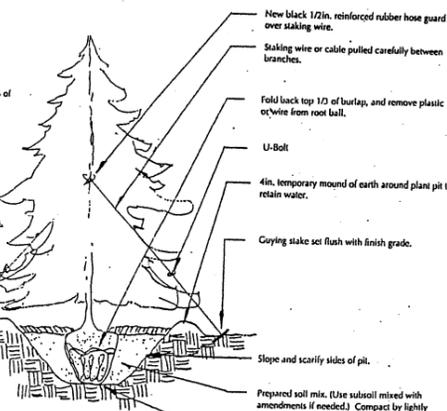
Shrub Planting
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Note: Plant field dug evergreens at original north-south orientation and growing depth.

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Evergreen Tree Planting
 Not to Scale

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Plant List

Symbol/Botanical Name	Common Name	No.	Size	Approx. height (ft.) & width (w.) @ maturity
Deciduous Trees				
A/Amelanchier laevis	Shadblow (Mulleinseed)	9	7-8'H	20-25'H x 20'w
B/Betula nigra 'Heritage'	Heritage River Birch (Clump)	3	7-8'H	50-70'H x 25-30'w
C/Cedrus latifolia	Yellowwood	3	2-2.5'C	30-50'H x 35-45'w; Multi-stem if available
G/Gleditsia tri. 'Halka'	Halka Honeylocust	4	2-2.5'C	35-40'H x 35'w; Matching
L/Liriodendron tulipifera	Tuliptree	1	2-2.5'C	70-90'H x 35-50'w
P/Pyrus sargentii 'Columbianus'	Columbian Sargent Cherry	1	2-2.5'C	30-35'H x 10-15'
P/Pyrus sibirica 'Autumnalis'	Autumn Hugen Cherry	1	2-2.5'C	20-40'H x 15-25'w
P/Pyrus calleryana 'Aristocrat'	Aristocrat Flowering Pear	1	2-2.5'C	30-35'H x 20-25'w
U/Ulmus americana 'New Harmony'	New Harmony American Elm	4	2-2.5'C	50-60'H x 40-5'w; Matching
Evergreen Trees				
V/Verniparus virginiana	Eastern Red Cedar	7	5-6'H	40-50'H x 8-20'w; Single trunk
Shrubs				
B/Buddleia davidii	Butterfly Bush	5	#3 pot	5-8'H x 5-8'w; 3 purple, 1 pink, 1 white
C/Cornus alba 'Ivory Halo'	Ivory Halo Redtwig Dogwood	8	18-24"H	3'H x 3-4'w
F/Forsythia 'Lynnwood Gold'	Lynnwood Gold Forsythia	8	3-4'H	6'H x 6'w
H/Hammamelis virginiana	Common Witch Hazel	3	1 Gal	10-25'H x 10-20'w
I/Ilex glabra	Holly	42	18-24" Ht	6-8'H x 8'W/Full plants; evergreen, B&B only
I/Ilex verticillata 'Winter Red'	Winter Red Winterberry	5	3-4'H	6-10'H x 6-10'W
I/Ilex verticillata 'Late Male'	Late Male Winterberry	1	2 Gal	6-10'H x 6-10'W
R/Rhododendron maximum	Rosebay Rhododendron	3	3-3.5'H	10-12'H x 5-10'w
R/Rhus aromatica	Fragrant Sumac	50	#2 pot	4-6'H x 8-10'w
R/Rosa 'Blushing Knockout'	Blushing Knockout Rose	6	#3 pot	3'H x 3'w
S/Spiraea japonica 'Shirobiri'	Shirobiri Spirea	5	#3 pot	2-3'H x 3-4'w
S/Syringa meyeri 'Palibin'	Dwarf Korean Lilac	6	#3 pot	4-5'H x 5-6'w
V/Vaccinium corymbosum	Highbush Blueberry	9	#3 pot	5-6'H x 3-4'w
V/Viburnum cassinoides	Winter Viburnum	3	#2 pot	6-8'H x 6-8'w
Groundcover				
A/Arctostaphylos uva-ursi	Bearberry	1	pot	
C/Chimaphila ciliolata 'Blue Pacific'	Blue Pacific Juniper	1	pot	
R/Rhus aromatica 'Crown Low'	Crown Low Sumac	2	pot	2'H x 6'w
V/Vinca minor	Vinca	1	pot	

SITE PLAN
WAVE
ACTON, MASSACHUSETTS

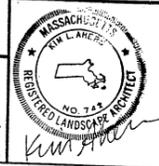
STAMSKI AND McNARY, INC.
 80 HARRIS STREET - ACTON, MASSACHUSETTS
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KIM AHERN LANDSCAPE ARCHITECTS
 40 FOSTER STREET - LITTLETON, MASSACHUSETTS
 PHONE: (978) 486-0040

LANDSCAPE PLAN
 SCALE: 1" = 20' DATE: JULY 31, 2009

0 10 20 40 60 80 FT.

SM-3320 SHEET 2 OF 2 3320LANDSCAPE A.DWG





West Acton Village Ecology

Drawing List

Plans

Project Plans

Roof / Site Plan
 Street Level Plan
 Upper Level Plan
 Parking Level Plan

Enlarged Building Plans

A-1 541 Gray House Plans
 A-2 537 Yellow House Plans
 A-3 531-525 Street Level Plan
 A-4 531-525 Upper Level Plan
 A-5 531-525 Parking Level Plan
 B-1 Relocated Barn Plans (Located on Lot B)

Elevations

Project Elevations

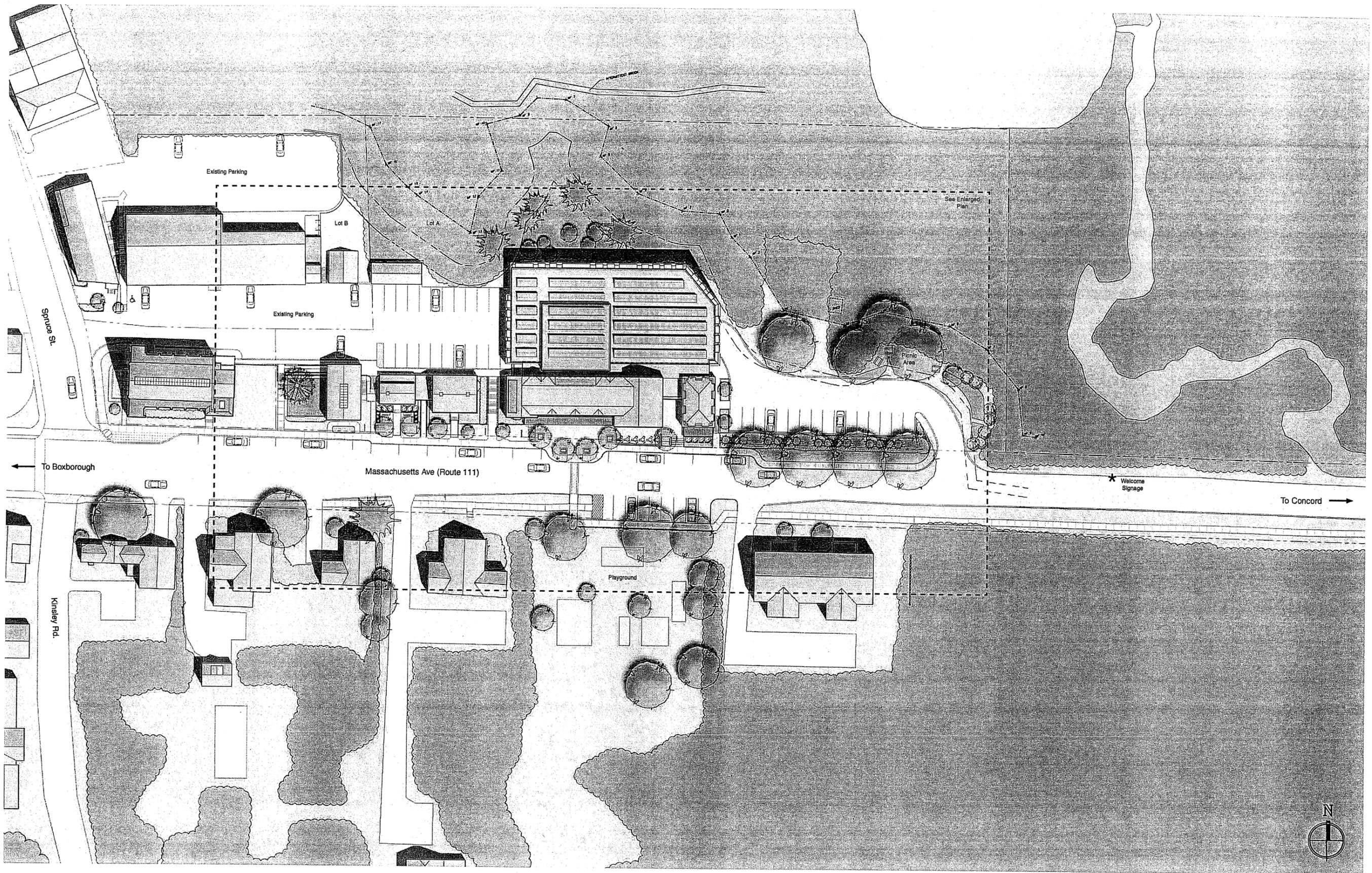
Streetscape Elevations

Enlarged Building Elevations

A-6 541 (Gray House) Elevations
 A-7 541 (Gray House) - 537 (Yellow House) South Elevation
 A-8 537 (Yellow House) East & West Elevations
 A-9 537 (Yellow House) - 541 (Gray House) North Elevation
 A-10 531 (Brown House) - 525 (Blue House) South Elevation
 A-11 531 (Brown House) - 525 (Blue House) East Elevation
 A-12 531 (Brown House) - 525 (Blue House) North Elevation
 A-13 531 (Brown House) - 525 (Blue House) West Elevation
 A-14 Garage Elevations
 B-2 Relocated Barn Elevations (Located on Lot B)

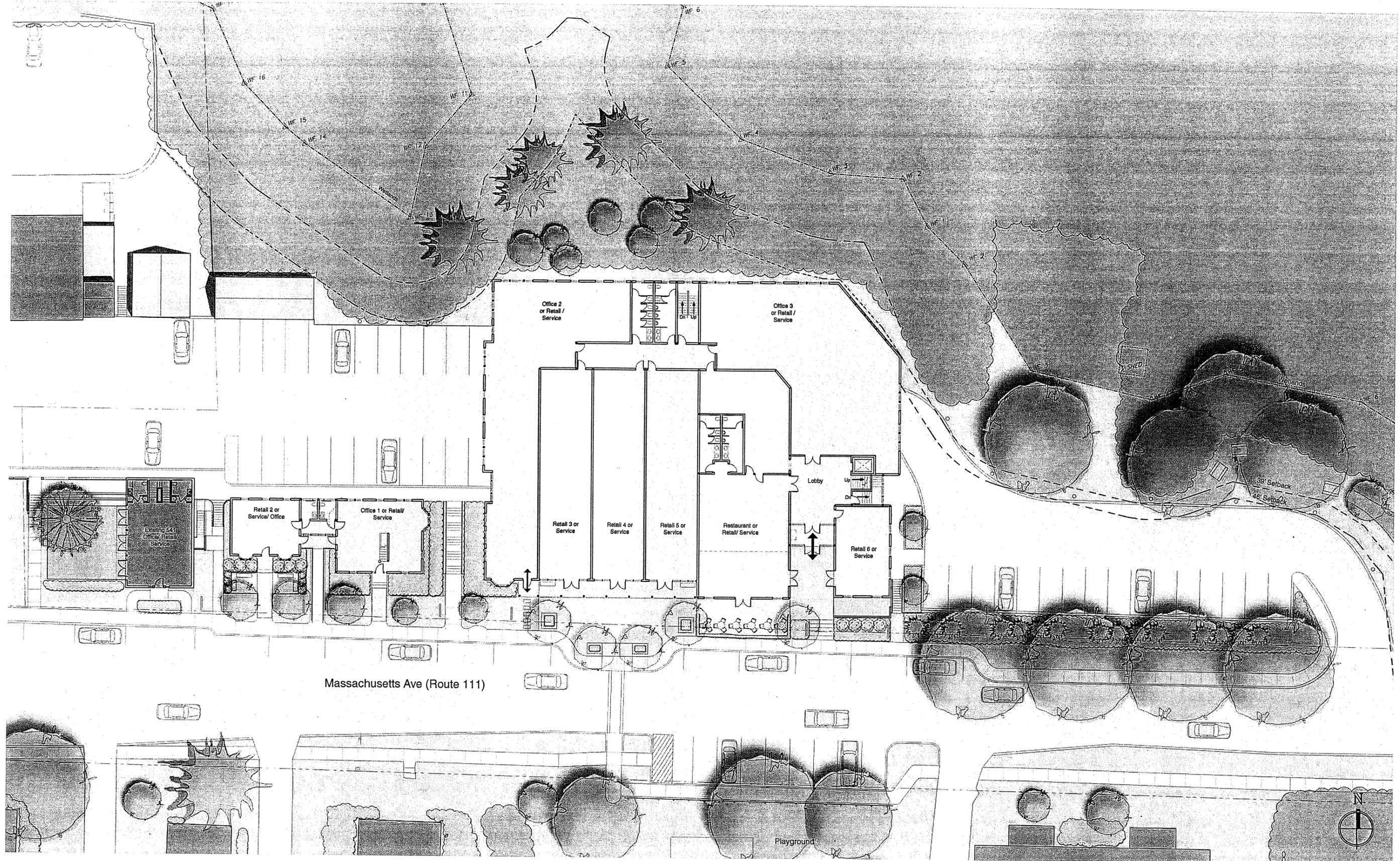
Renderings

View Looking East
 View Looking West

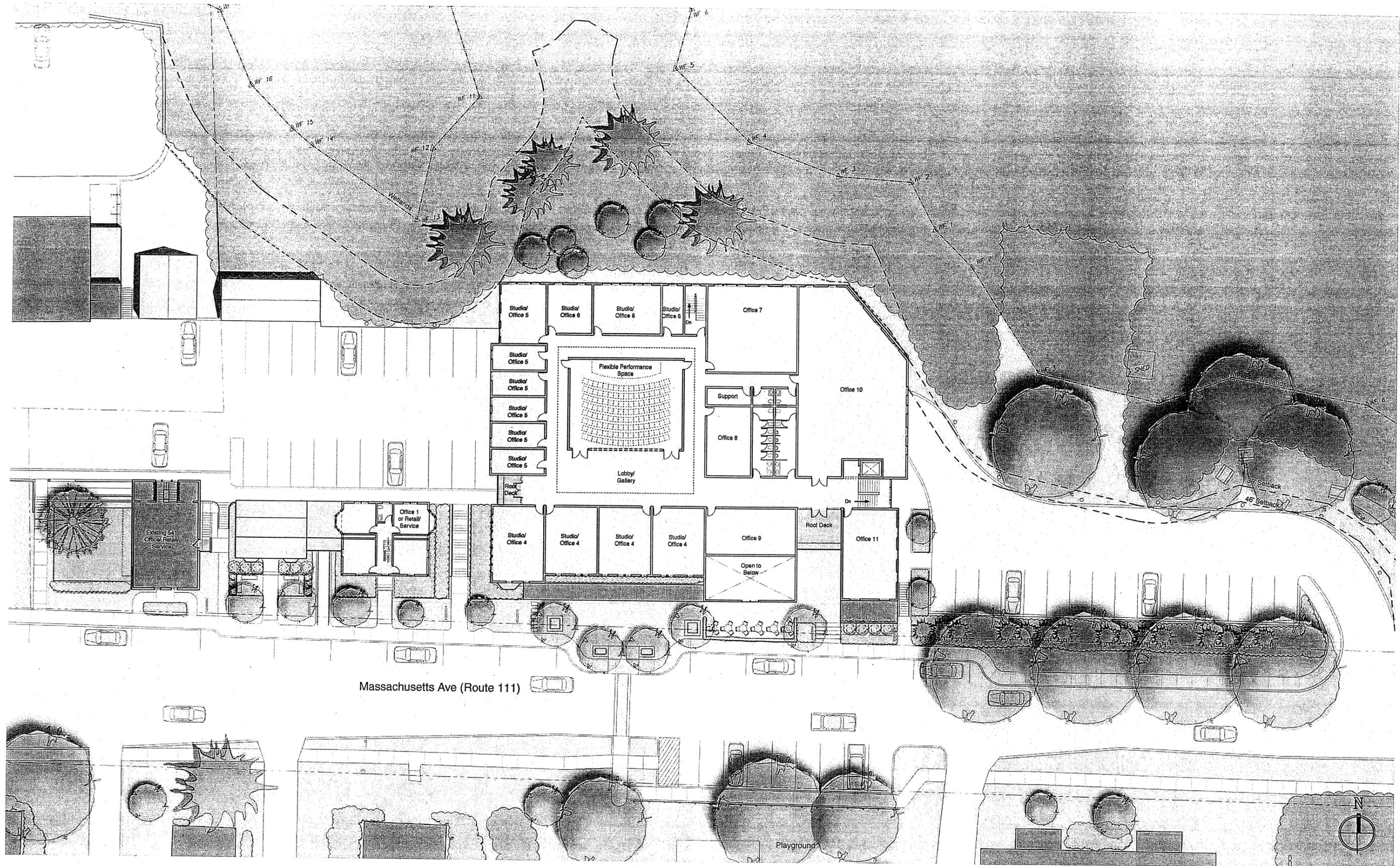


Site Plan Not to Scale

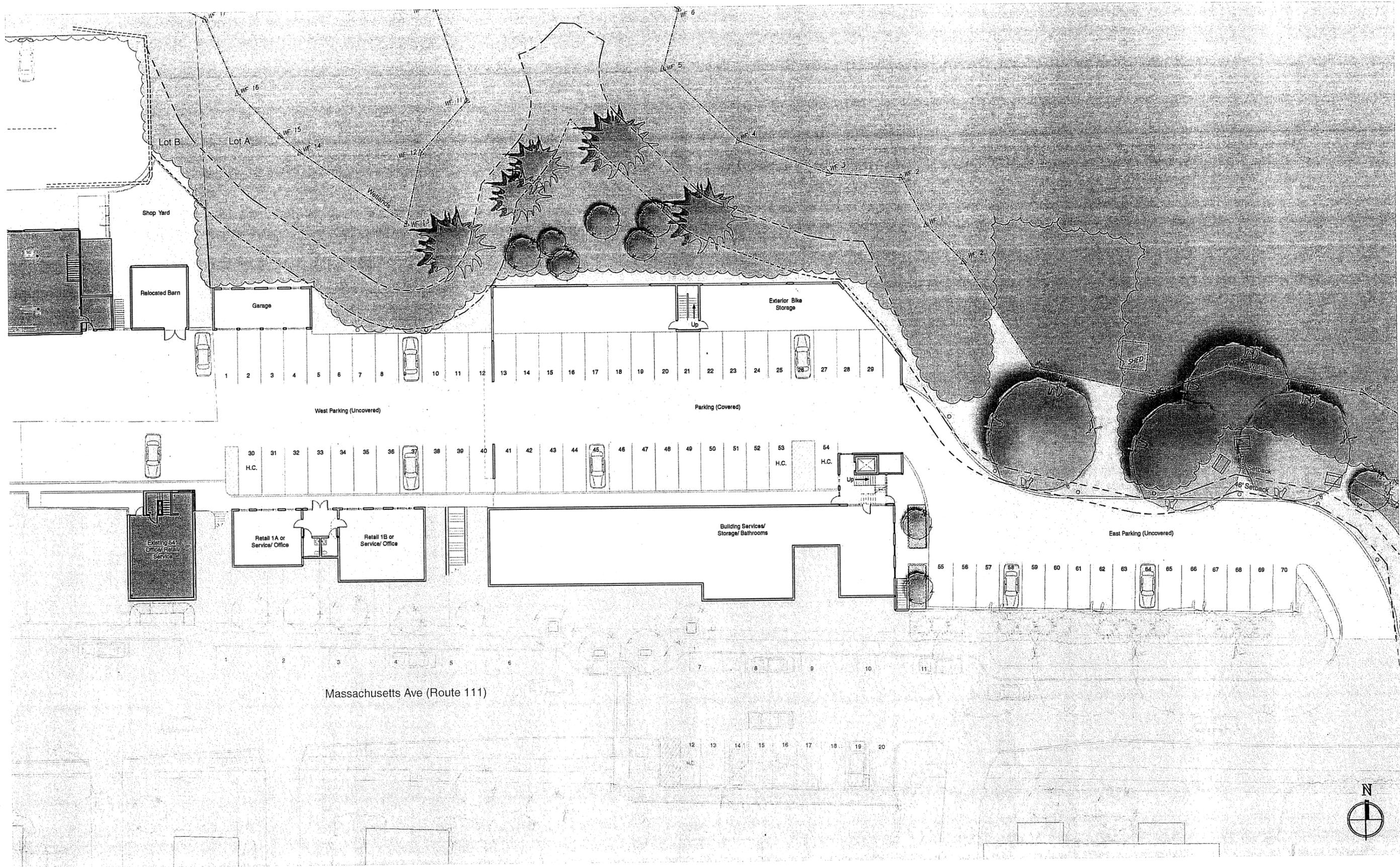
West Aster Village Ecology Center (WAVC)



Street Level Not to Scale

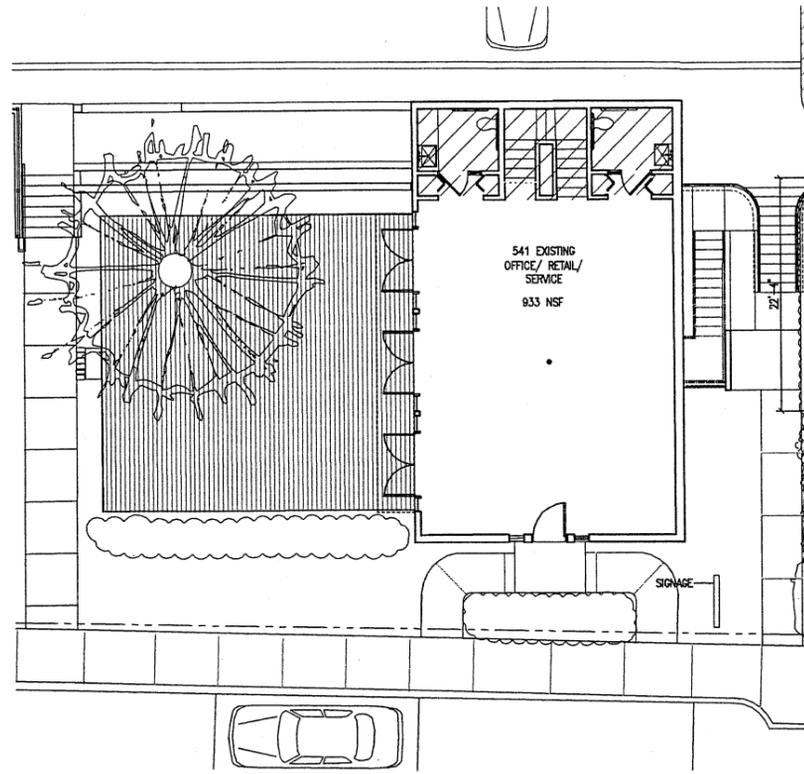


Upper Level Not to Scale

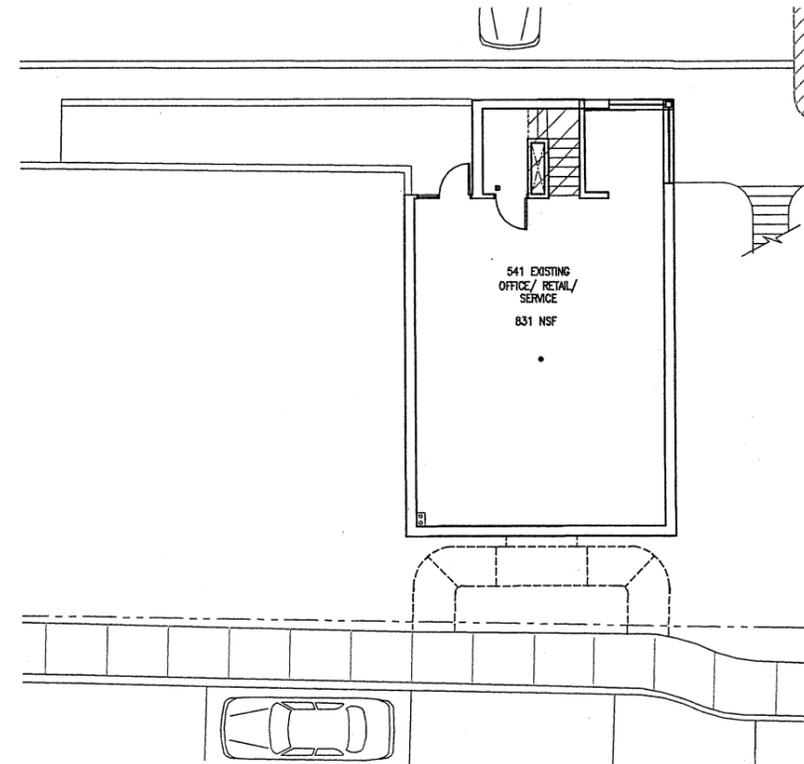


Parking Level Not to Scale

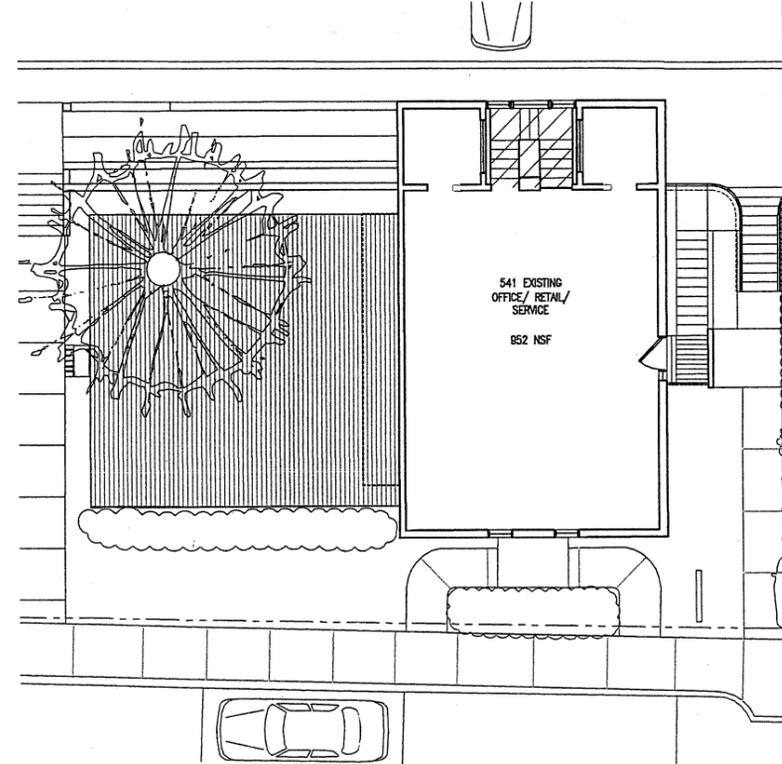
West Aster Village Eastside (WAVE)



STREET LEVEL



PARKING LEVEL



UPPER LEVEL

NOTE: HATCHED AREA INDICATES AREA EXCLUDED FROM NET SQUARE FEET

West Acton Village Ecology (WAVE)
 541-525 Massachusetts Avenue
 West Acton, Ma

The Office of Michael Rosenfeld, Inc., Architects
 543 Massachusetts Avenue, West Acton, MA 01720

Rev. No. Date: Description:

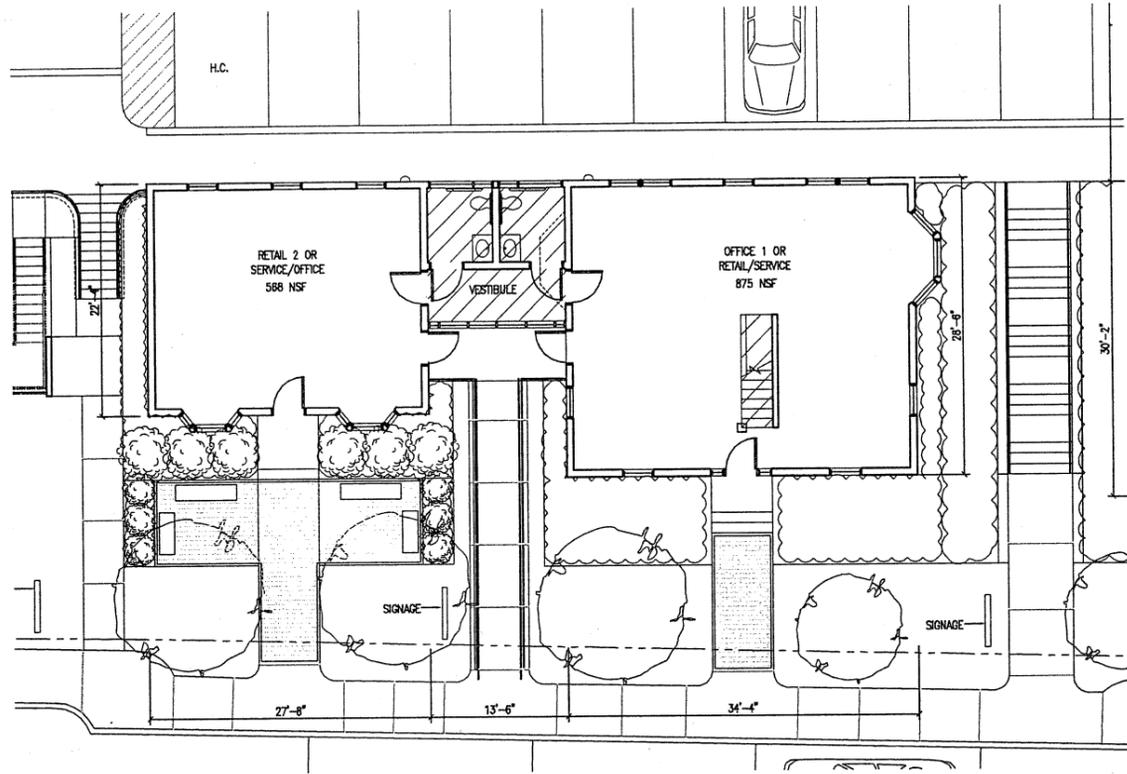
Title: **Lot A - 541 - Gray House Plans**

Job No. **0521**

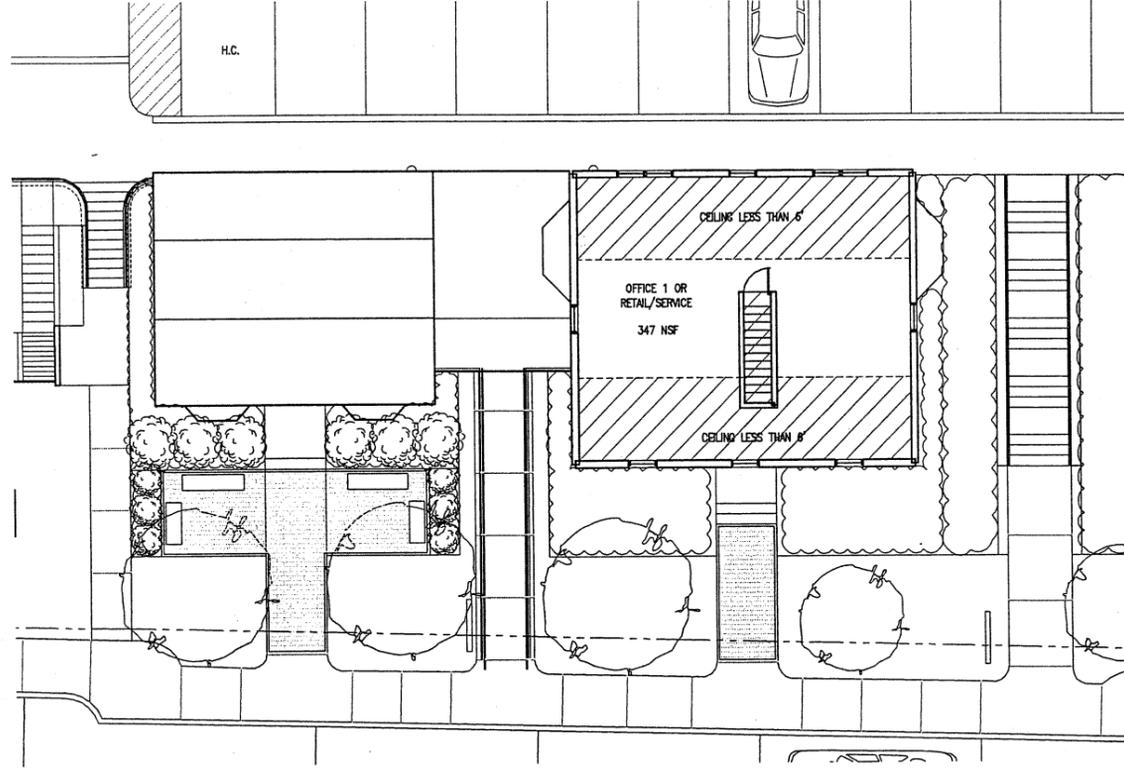
Drawing No.:

A-1

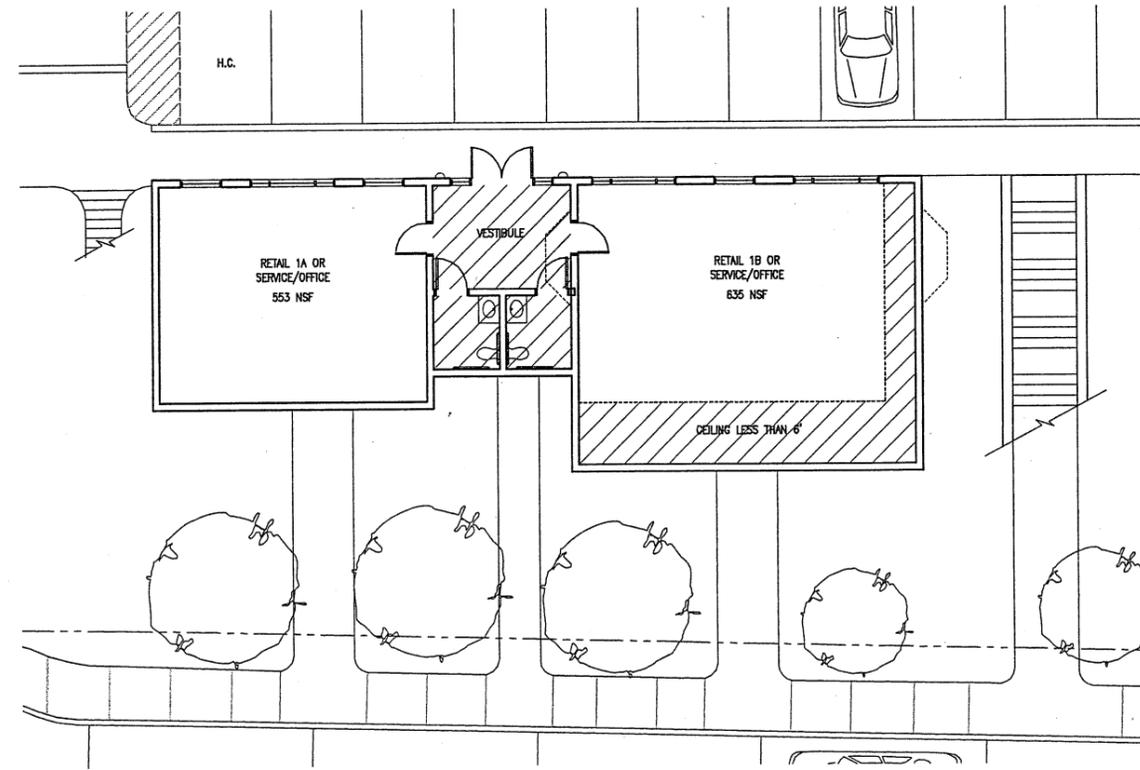
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 Drawn:
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 OMR, Inc. Checked:



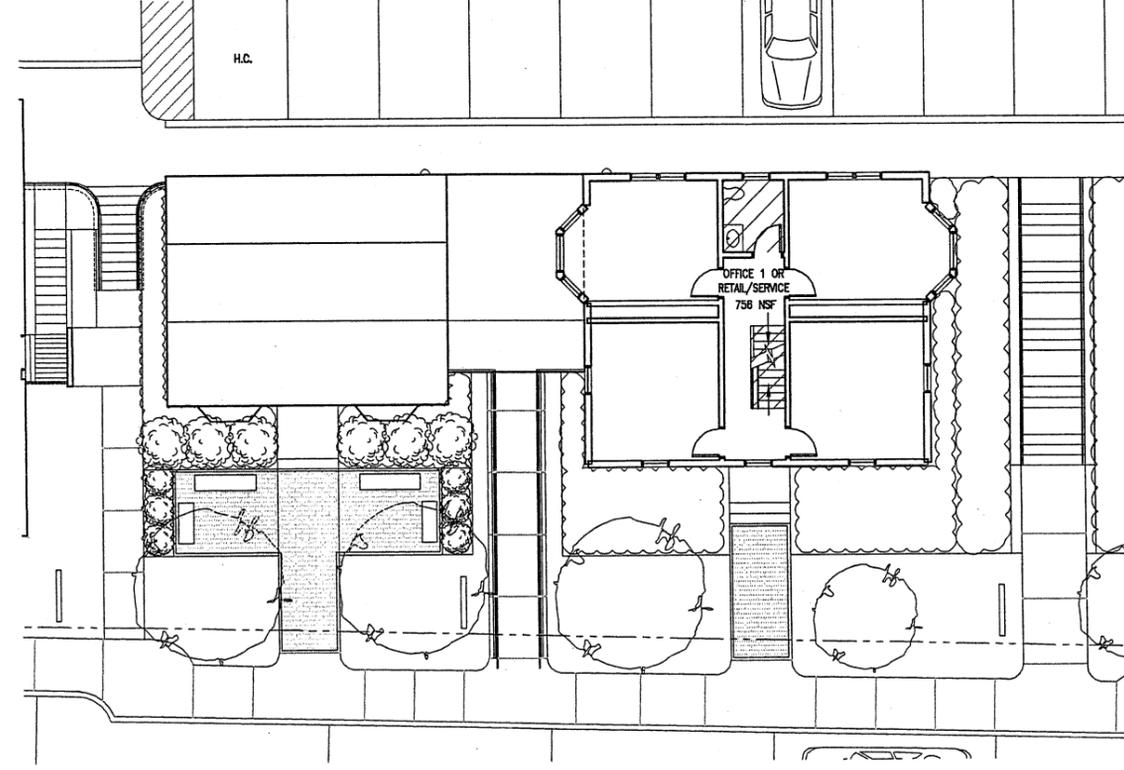
STREET LEVEL



ATTIC LEVEL



PARKING LEVEL



UPPER LEVEL

NOTE: HATCHED AREA INDICATES AREA EXCLUDED FROM NET SQUARE FEET

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Rev. No. Date: Description:

Title: Lot A - 537 - Yellow House Plans

Job No. 0521

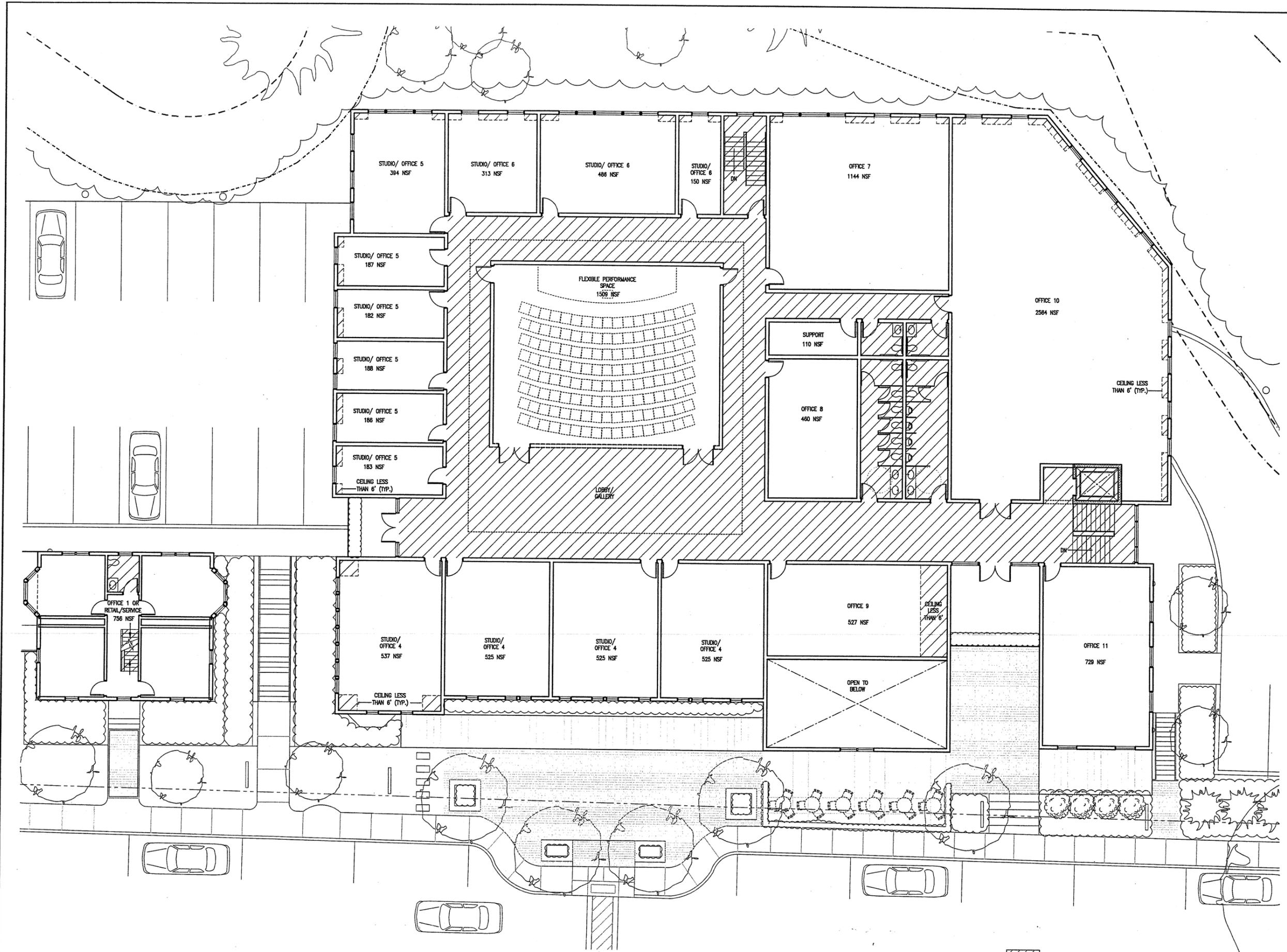
Drawing No.:

Date: Date
 OMR, Inc.

Scale: Not to Scale

Drawn: Checked:

A-2



NOTE: HATCHED AREA INDICATES AREA EXCLUDED FROM NET SQUARE FEET

West Acton Village Ecology (WAVE)
 541-525 Massachusetts Avenue
 West Acton, Ma

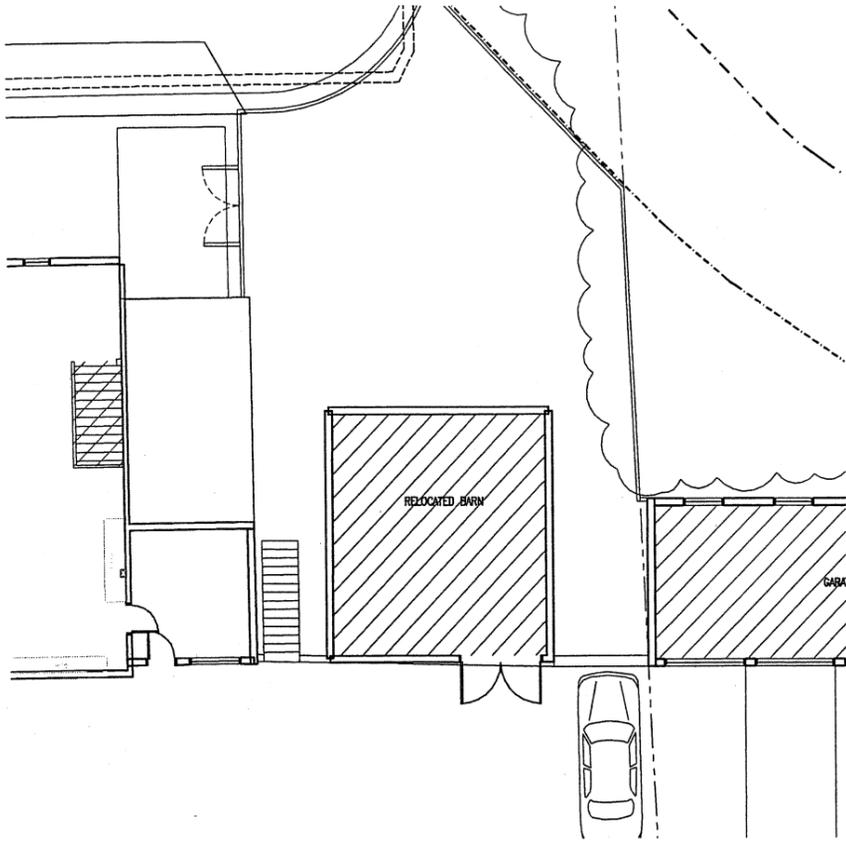
The Office of Michael Rosenfeld, Inc., Architects
 543 Massachusetts Avenue, West Acton, MA 01720

Rev. No.	Date	Description

Title: Lot A - 531-525 Upper Level Plan
 Date: Date OMR, Inc.
 Scale: Not to Scale
 Drawn:
 Checked:
 Date:
 Scale:
 Drawn:
 Checked:

Job No. 0521

Drawing No.:



LEVEL 1



BASEMENT LEVEL

NOTE: HATCHED AREA INDICATES AREA EXCLUDED FROM NET SQUARE FEET

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West Acton Village Ecology (WAVE)
 541-525 Massachusetts Avenue
 West Acton, Ma

Rev. No.	Date	Description

Title: Lot B - Relocated Barn
 Date: Date OMR, Inc.
 Scale: Not to Scale
 Drawn: []
 Checked: []

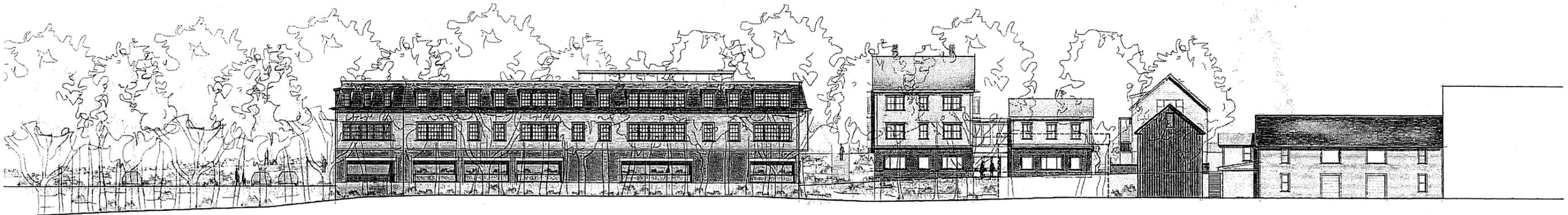
Job No. 0521

Drawing No.:

B-1



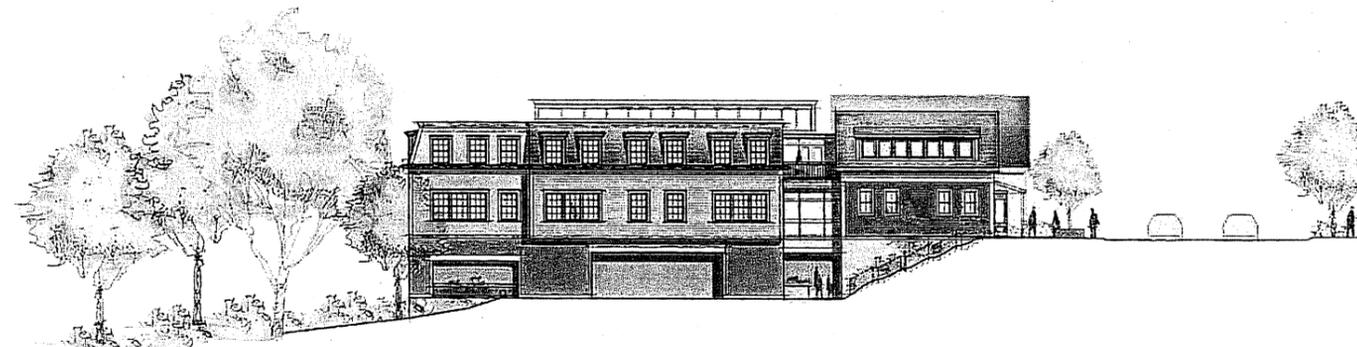
South Elevation



North Elevation



East Elevation



West Elevation

Elevations Not to Scale

West Acton Village Ecology (WAVE)



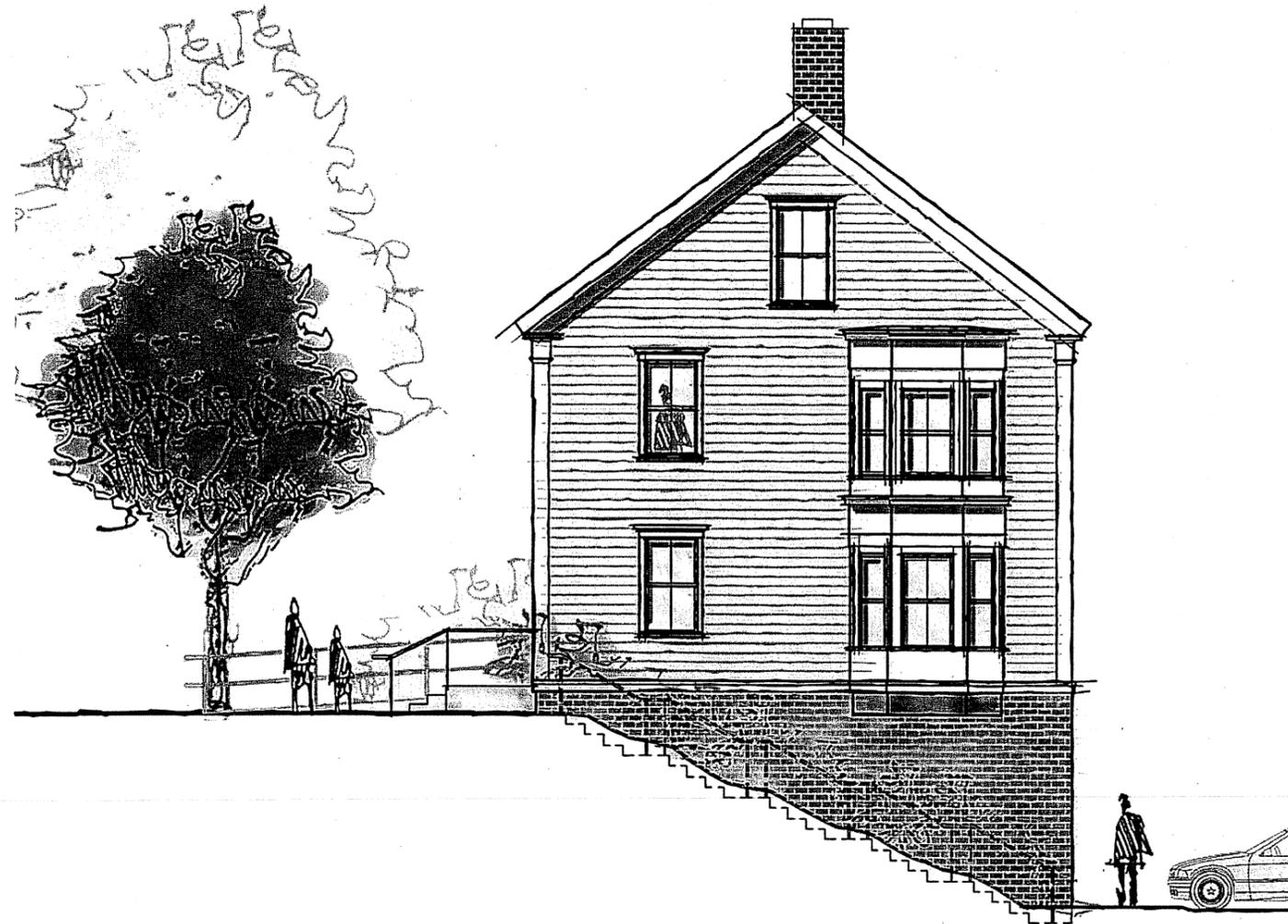
South Elevation

A-7 541(Gray House) - 537 (Yellow House) Not to Scale

West Astor Village Ecology (WAVE)



West Elevation



East Elevation



North Elevation

A-9 537 (Yellow House) - 541 (Gray House) Not to Scale

West Astor Village Eastern (WAVE)



South Elevation

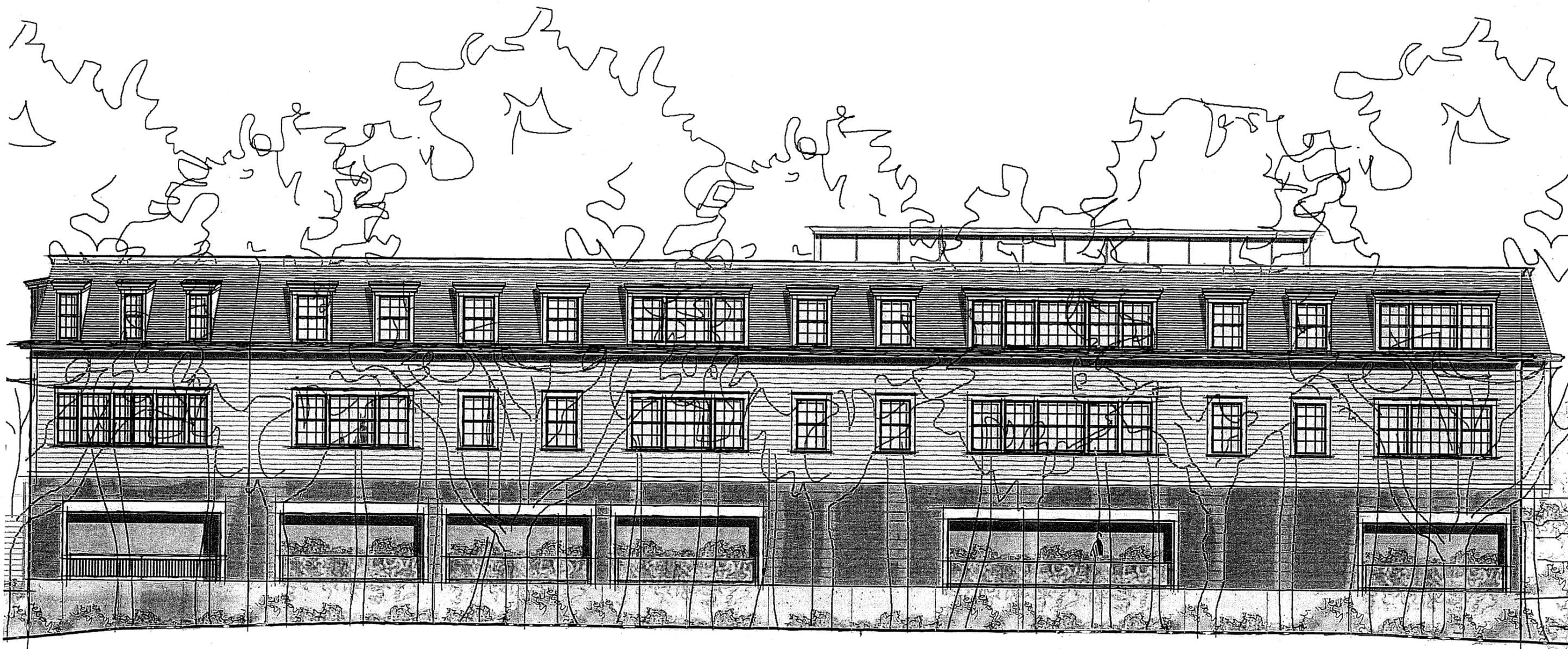
A-10 531(Brown House) - 525 (Blue House) Not to Scale

West Acton Village Ecology (WAVE)

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East Elevation

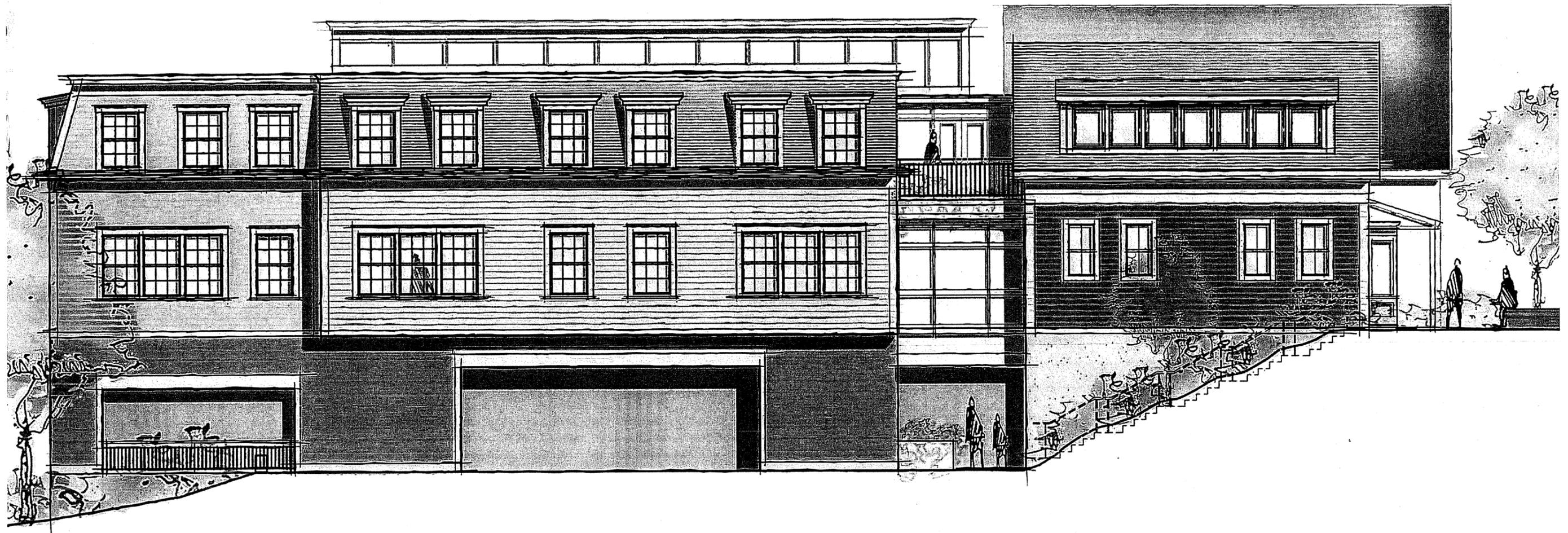


North Elevation

A-12 531(Brown House) - 525 (Blue House) Not to Scale

West Acton Village Ecology (WAVE)

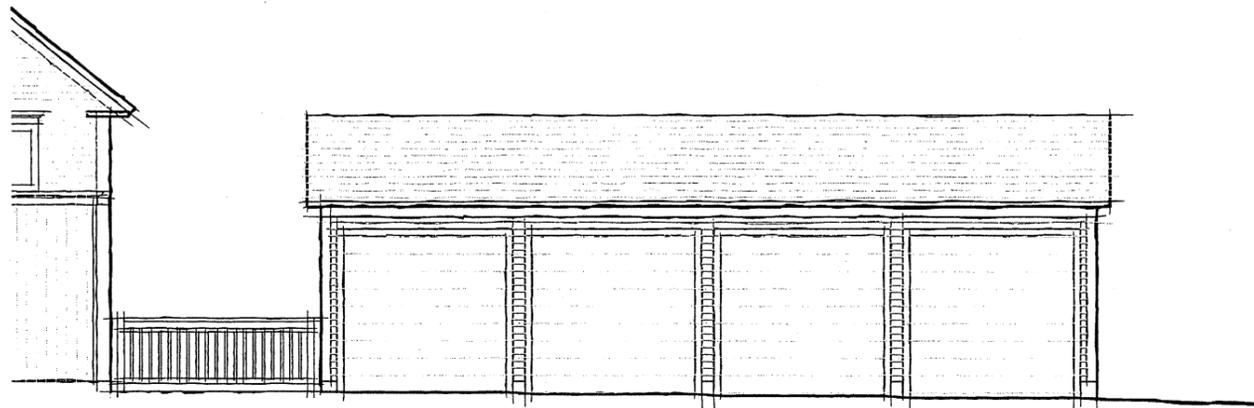
The Office of Michael Rosenfeld, Inc., Architects



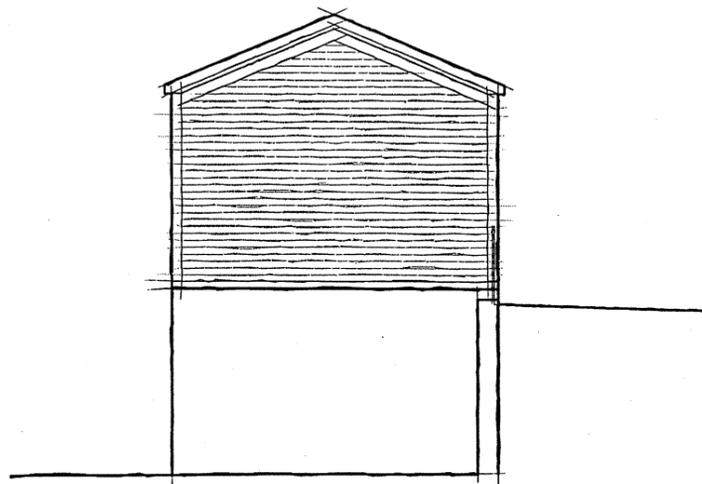
West Elevation

A-13 531(Brown House) - 525 (Blue House) Not to Scale

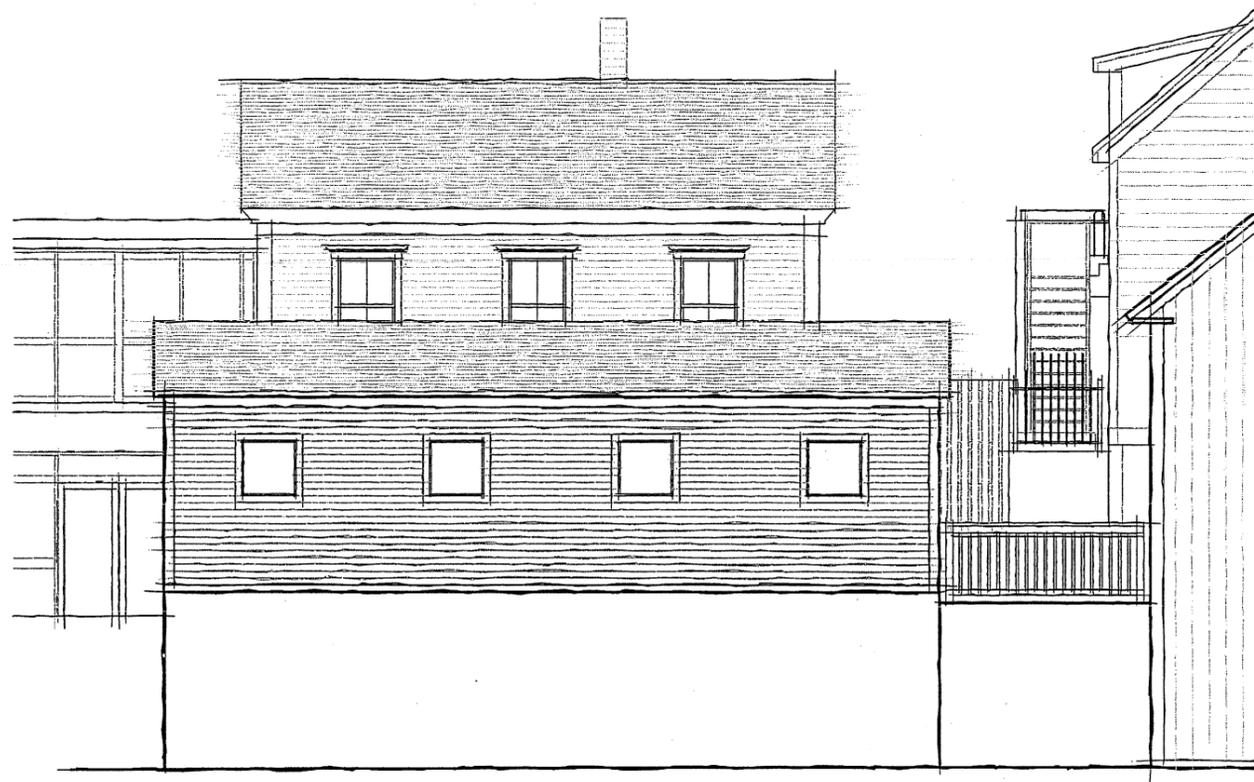
West Astor Village Ecology (WAVE)



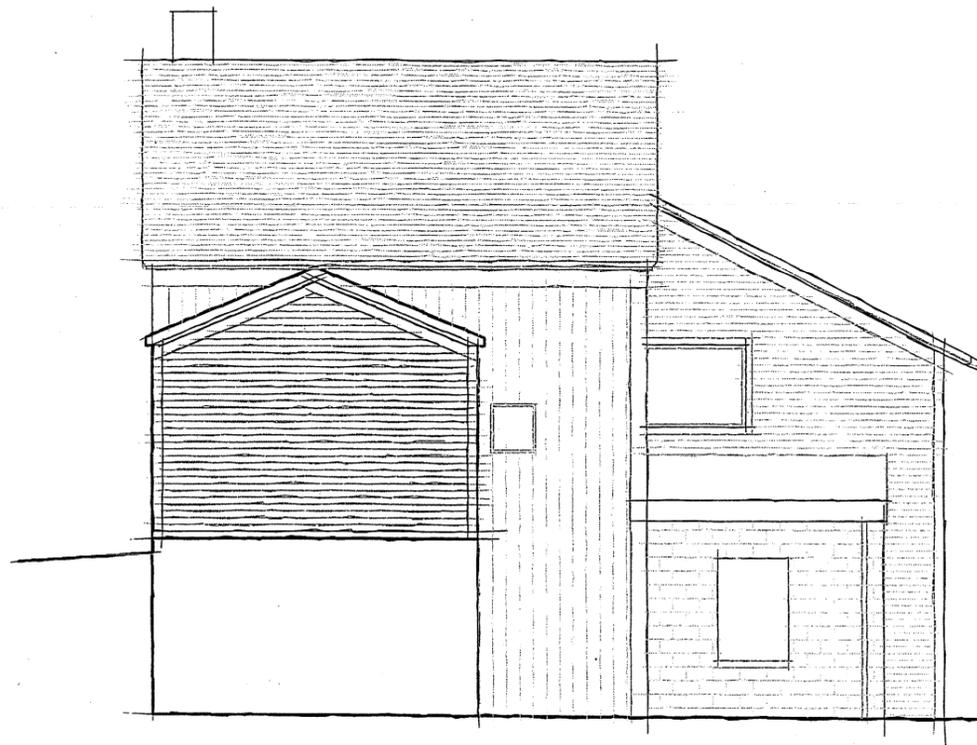
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

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West Acton, Ma

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Rev. No. | Date: | Description:

Title: Lot A - Garage Elevations

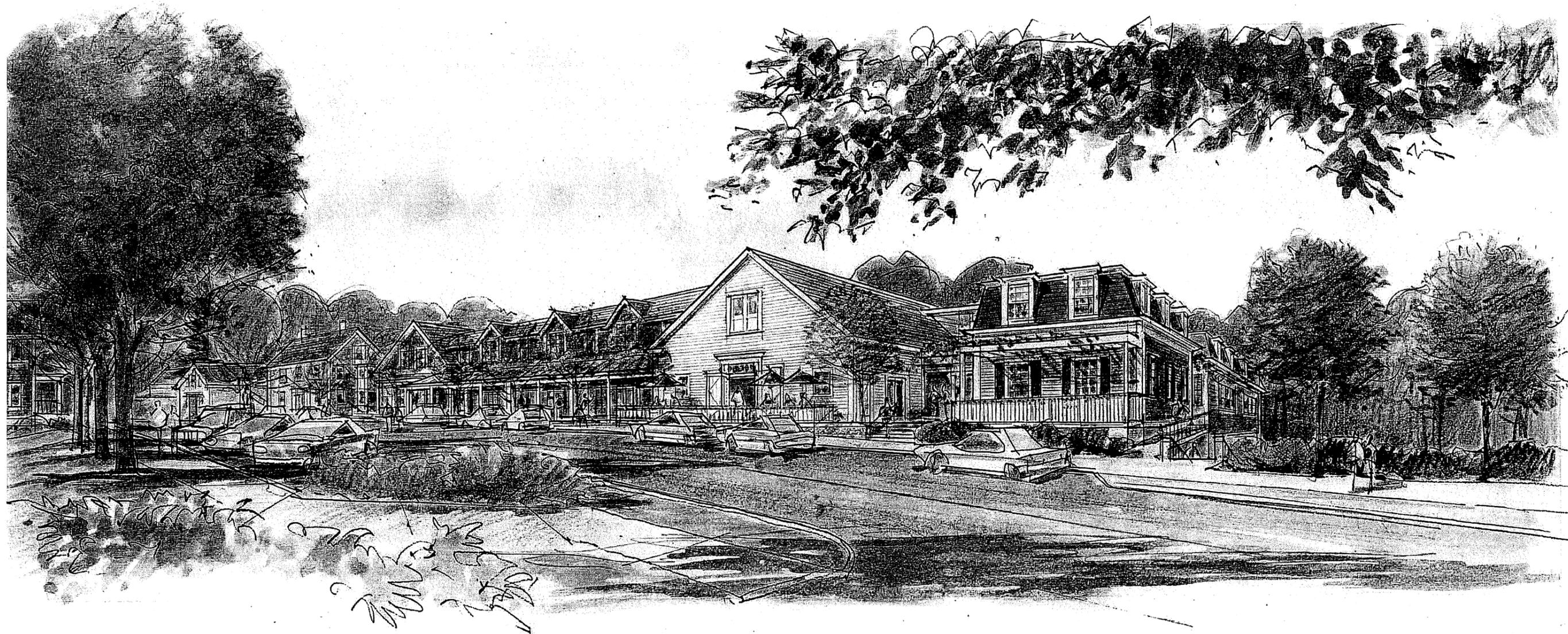
Job No. 0521

Drawing No.:

Date: Date
Scale: Not to Scale
Drawn:
Checked:
OMP, Inc.



View Looking East



View Looking West