

# SITE PLAN SET

## Affordable Housing Development

99 Parker Street  
Acton, Massachusetts

August 6, 2009 - Notice of Intent Submittal  
March 4, 2010 - Comprehensive Permit Submittal

### APPLICANT

PARKER STREET LLC  
P.O. BOX 992  
ACTON, MASSACHUSETTS

LAND SURVEYING,  
CIVIL ENGINEERING &  
LANDSCAPE ARCHITECTURE



69 MILK STREET, SUITE 302      152 CONANT STREET  
WESTBOROUGH, MASSACHUSETTS 01580      BEVERLY, MASSACHUSETTS 01915  
TELEPHONE: (508) 871-7030      TELEPHONE: (978) 299-0447

#### RECORD OWNER:

JEANNE POTTER  
99 PARKER STREET  
ACTON, MA  
DEED BOOK 24587, PAGE 369 \*  
\* DENOTES DOCUMENTS ON RECORD AT  
SOUTH MIDDLESEX REGISTRY OF DEEDS

#### REFERENCES:

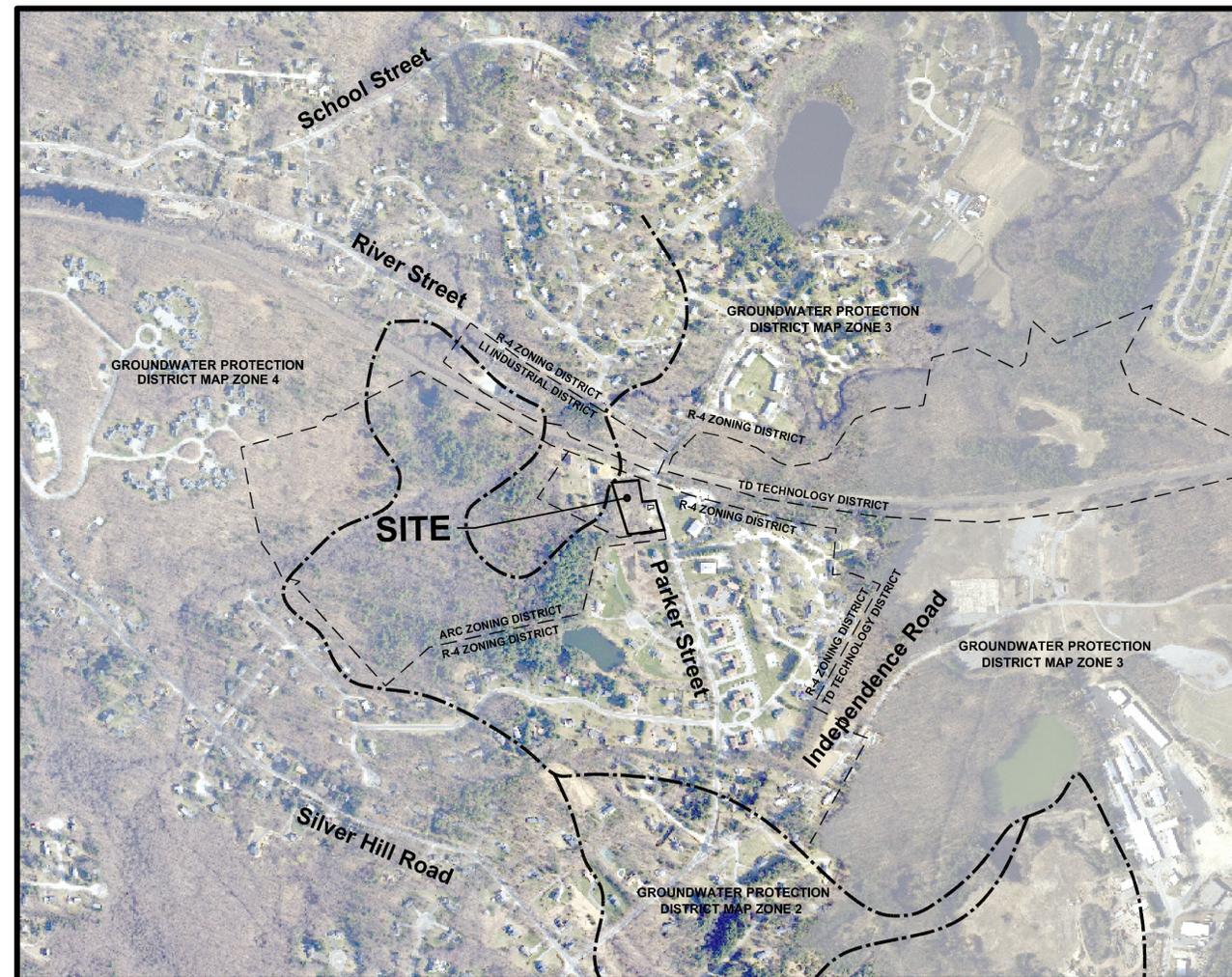
DEED BOOK 24587, PAGE 369 \*  
DEED BOOK 4352, PAGE 311 \*  
PLAN NO. 421 OF 1980 \*  
LAND COURT CASE 6683 B \*  
LAND COURT CASE 6683 R \*  
LAND COURT CASE 6683 X \*

#### NOTES:

1. GENERAL PROJECT LAYOUT IN ACCORDANCE WITH TOWN OF ACTON COMPREHENSIVE PERMIT RULES & REGULATIONS SECTION 3.14.1.2 SHOWN ON SHEET 2 OF 11, MASTER PLAN.
2. GROUNDWATER PROTECTION DISTRICTS TAKEN FROM THE TOWNWIDE MAP ENTITLED "AQUIFER PROTECTION" AND DATED JANUARY 1989 PROVIDED BY THE TOWN OF ACTON.
3. ZONING DISTRICTS TAKEN FROM THE TOWN OF ACTON ZONING MAP AMENDED THROUGH APRIL 2006 PROVIDED BY THE TOWN OF ACTON.

REQUESTED EXCEPTION FROM SECTION 3.14: SITE PLAN, FROM THE RULES AND REGULATIONS FOR COMPREHENSIVE PERMITS, BOARD OF APPEALS, TOWN OF ACTON ADOPTED MAY 17, 2004:

SECTION 3.14.4.4. MAXIMUM GROUNDWATER ELEVATION CONTOURS NOT SHOWN. ALTERNATIVELY ENGINEER CONDUCTED SUBSURFACE SOIL INVESTIGATIONS TO DETERMINE APPROXIMATE GROUNDWATER ELEVATIONS FOR STORMWATER PURPOSES.



NORTH



**LOCUS MAP**

SCALE: 1" = 500'

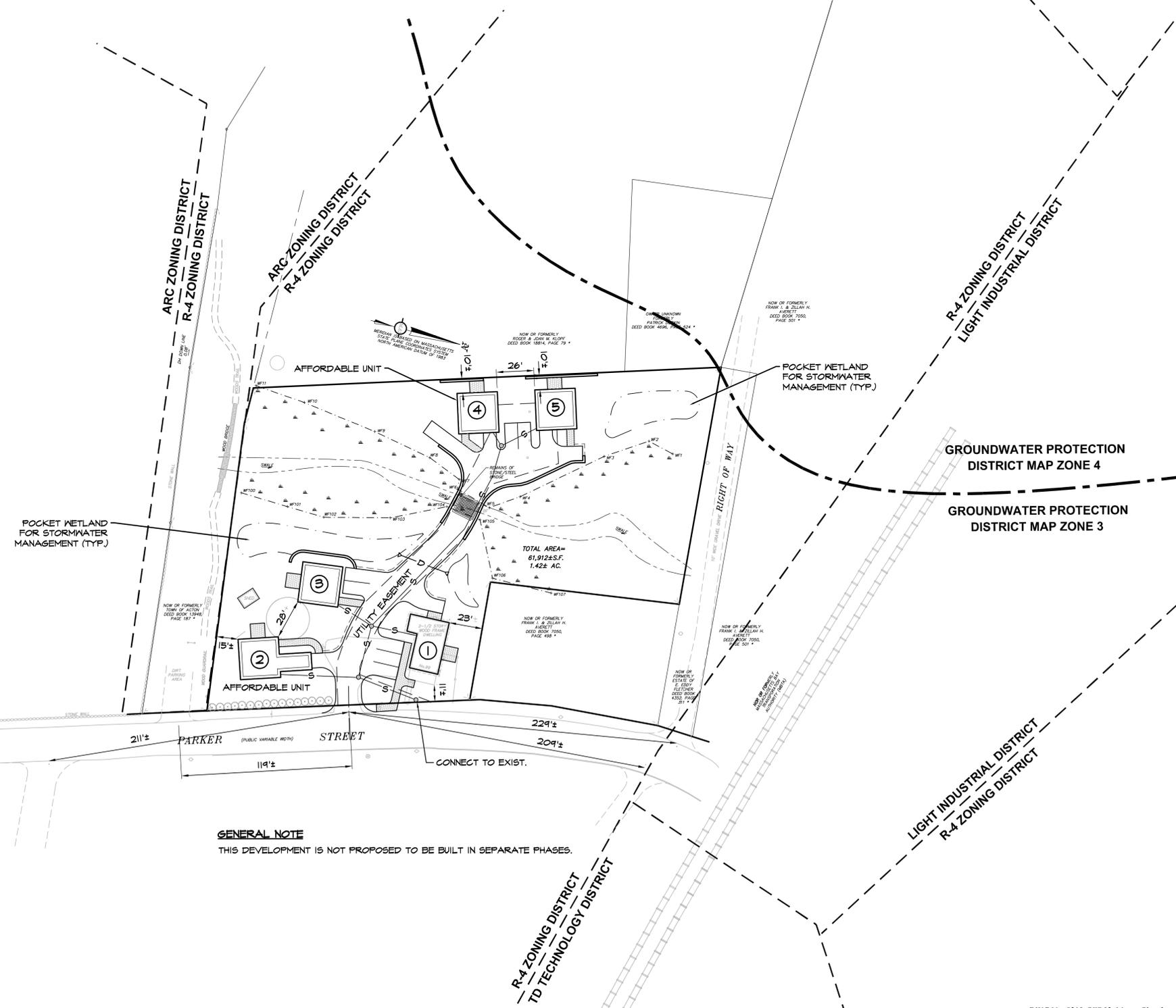
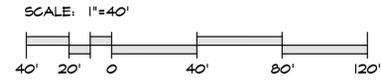
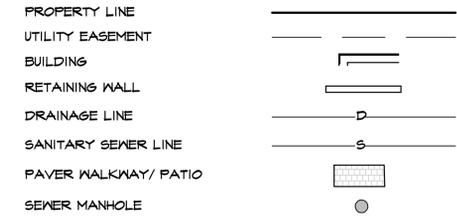
### DRAWING INDEX:

1. TITLE/LOCUS MAP
2. MASTER PLAN
3. RECORDABLE PLAN
4. NATURAL FEATURES & EXISTING CONDITIONS PLAN
5. LAYOUT & MATERIALS PLAN (SITE DEVELOPMENT PLAN 1)
6. GRADING, DRAINAGE & UTILITIES PLAN (SITE DEVELOPMENT PLAN 2)
7. PLAN & PROFILE
8. LANDSCAPE PLAN
9. EROSION & SEDIMENT CONTROL PLAN
10. CONSTRUCTION DETAILS PLAN 1
11. CONSTRUCTION DETAILS PLAN 2

**ZONING SUMMARY**

ZONING DISTRICT: RESIDENCE 4 (R-4)		
GROUNDWATER PROTECTION DISTRICT: ZONE 3		
DIMENSIONAL REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT SIZE (S.F.)	40,000	61,923±
MINIMUM LOT FRONTAGE (FT.)	175'	103.76±
MINIMUM LOT WIDTH (FT.)	50'	103'
MINIMUM FRONT YARD (FT.)	45'	11± (EXIST.)
MINIMUM SIDE AND REAR YARD (FT.)	20'	10±
MAXIMUM BUILDING HEIGHT (FT.)	36'	36'
UNIT DENSITY	-	3.52 UNITS/ AC.
FLOOR AREA RATIO (1,766± (x2 BASEMENT) + 1443± (x2) + 1,600± (EX) / 40,300± (NET FLOOR AREA / DEV. SITE AREA)	-	19.4% (8,062± SF)
BUILDING COVERAGE	-	4,220± SF
TOTAL COVERAGE (BUILDINGS + DRIVES + WALKS)	-	12,940± SF
OFF-STREET PARKING		
SINGLE-FAMILY (2 SPACES/ UNIT @ 5 UNITS)	10	11

**PROPOSED CONDITIONS LEGEND**

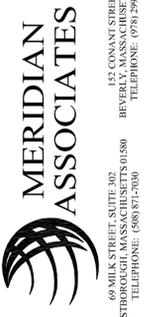


**GENERAL NOTE**  
THIS DEVELOPMENT IS NOT PROPOSED TO BE BUILT IN SEPARATE PHASES.

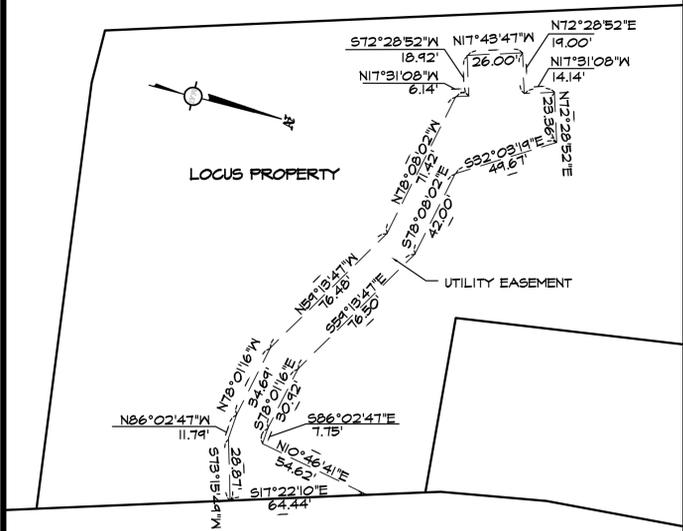
NO.	DATE	DESCRIPTION	BY	CHKD.
1	3/04/10	COMP. PERMIT SUBMITTAL	JM	MB



Master Plan  
Affordable Housing Development  
99 Parker Street  
Acton, Massachusetts  
Prepared For:  
Parker Street, LLC



DATE:  
March 4, 2010  
SCALE:  
1" = 40'  
PROJECT No.  
8319  
SHEET No.  
2 OF 11



**PROPOSED UTILITY EASEMENT DETAIL**  
SCALE: 1"= 40'

**APPLICANT**

PARKER STREET LLC  
P.O. BOX 492  
ACTON, MASSACHUSETTS

**RECORD OWNER:**

JEANNE POTTER  
99 PARKER STREET  
ACTON, MASSACHUSETTS  
-DEED BOOK 24587, PAGE 364 \*

**REFERENCES:**

- DEED BOOK 4852, PAGE 311 \*
- PLAN NO. 421 OF 1980 \*
- LAND COURT CASE 6683 B \*
- LAND COURT CASE 6683 R \*
- LAND COURT CASE 6683 X \*
- PLAN ENTITLED, "PLAN OF LAND IN ACTON, MASS SHOWING EXISTING PROPERTY LINES", NOVEMBER 5, 1980 BY ACTON SURVEY & ENGINEERING, INC. ON FILE AT THE ACTON BUILDING DEPARTMENT.

\* DENOTES DOCUMENTS ON RECORD AT SOUTH MIDDLESEX REGISTRY OF DEEDS.

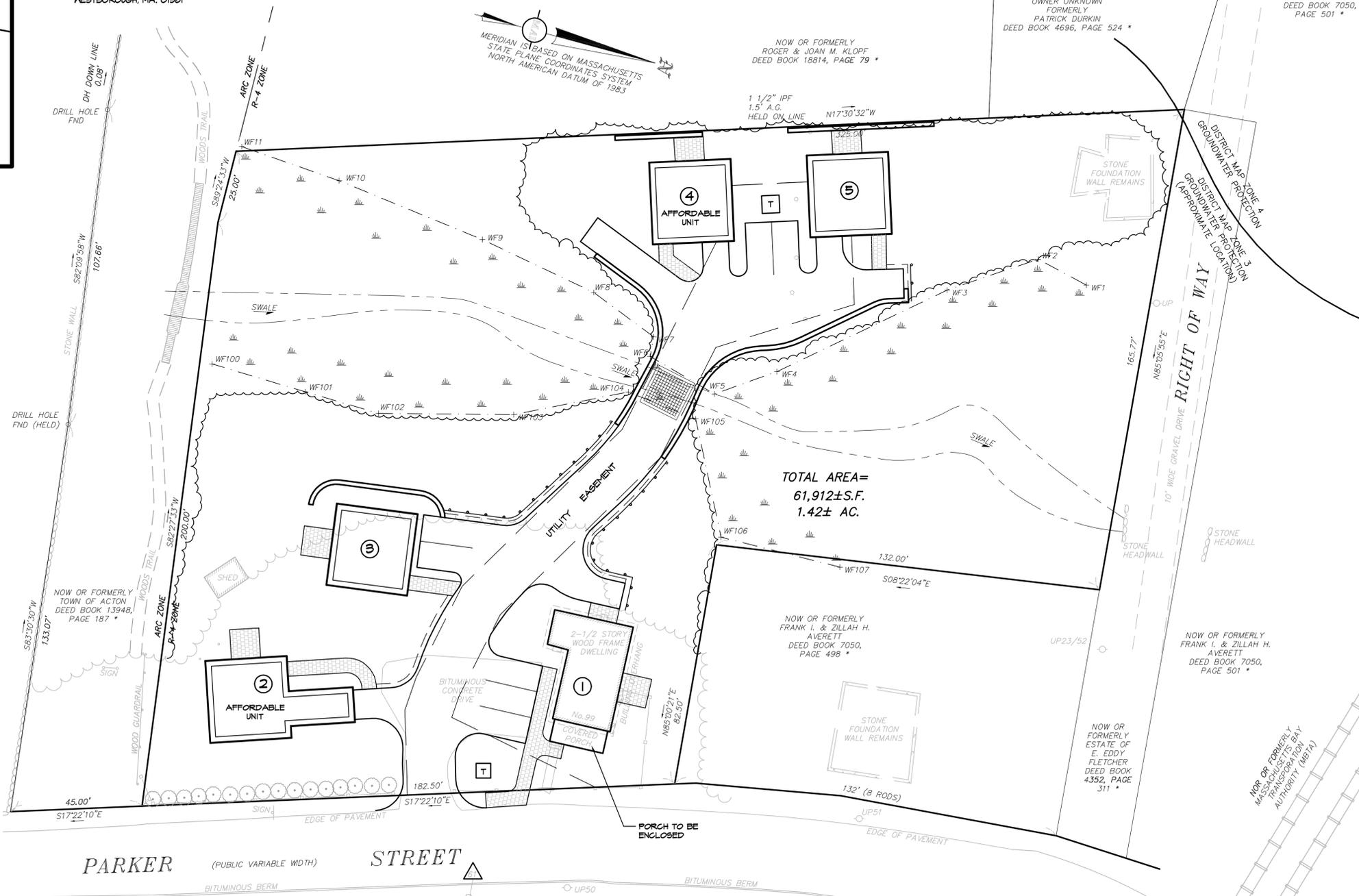
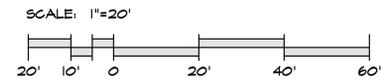
**LAND SURVEYOR, CIVIL ENGINEER AND LANDSCAPE ARCHITECT:**

MERIDIAN ASSOCIATES, INC.  
64 MILK STREET, SUITE 302  
NESTBOROUGH, MA. 01981

**NOTES:**

1. THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE GROUND BY MERIDIAN ASSOCIATES, INC. BETWEEN FEBRUARY 23 AND MARCH 19, 2009.
2. THE LOCUS PROPERTY DEPICTED IS LOCATED IN ZONE R-4 (RESIDENCE 4) AND GROUNDWATER PROTECTION DISTRICT ZONE 3.
3. THE LOCUS PROPERTY IS DEPICTED AS LOT 8 ON TOWN OF ACTON ASSESSOR'S MAP I-3.
4. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
5. THE WETLAND FLAGS DEPICTED WERE DEMARCATED BY MASON & ASSOCIATES ON 10/18/08.
6. BASED ON THE TOWN OF ACTON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 250176-0006C DATED JANUARY 6, 1988, THE SITE IS LOCATED IN A ZONE "X" - AREAS LOCATED OUTSIDE THE 500-YEAR FLOOD PLAIN.

**PROPOSED CONDITIONS LEGEND**



TOTAL AREA=  
61,912±S.F.  
1.42± AC.

APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED.  
THIS PLAN IS SUBJECT TO A COMPREHENSIVE PERMIT GRANTED BY THE ACTON ZONING BOARD OF APPEALS WITH CONDITIONS AND LIMITATIONS DATED.

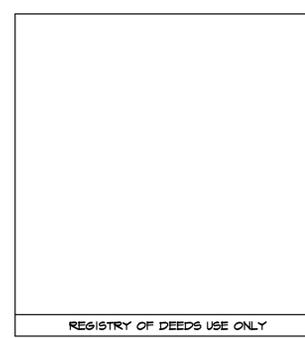
DATE \_\_\_\_\_  
FOR MERIDIAN ASSOCIATES, INC. \_\_\_\_\_ DATE \_\_\_\_\_

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THE PROPERTY LINES DEPICTED ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF STREETS AND WAYS DEPICTED ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIPS OR FOR NEW STREETS AND WAYS ARE DEPICTED.  
( MASS. GEN. LAWS, CHAP. 41, SECT. 81-X )

FOR MERIDIAN ASSOCIATES, INC. \_\_\_\_\_ DATE \_\_\_\_\_

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

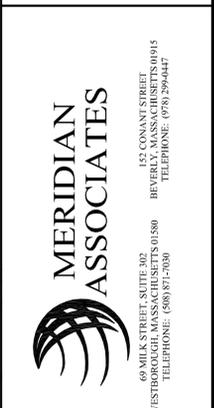
FOR MERIDIAN ASSOCIATES, INC. \_\_\_\_\_ DATE \_\_\_\_\_



NO.	DATE	DESCRIPTION	BY	CHKD
1	3/04/10	ADDED TO SET	JM	MEB



Recordable Plan  
Affordable Housing Development  
99 Parker Street  
Acton, Massachusetts  
Prepared For:  
Parker Street, LLC



DATE: March 4, 2010  
SCALE: 1"= 20'  
PROJECT No. 8319  
SHEET No. 3 OF 11

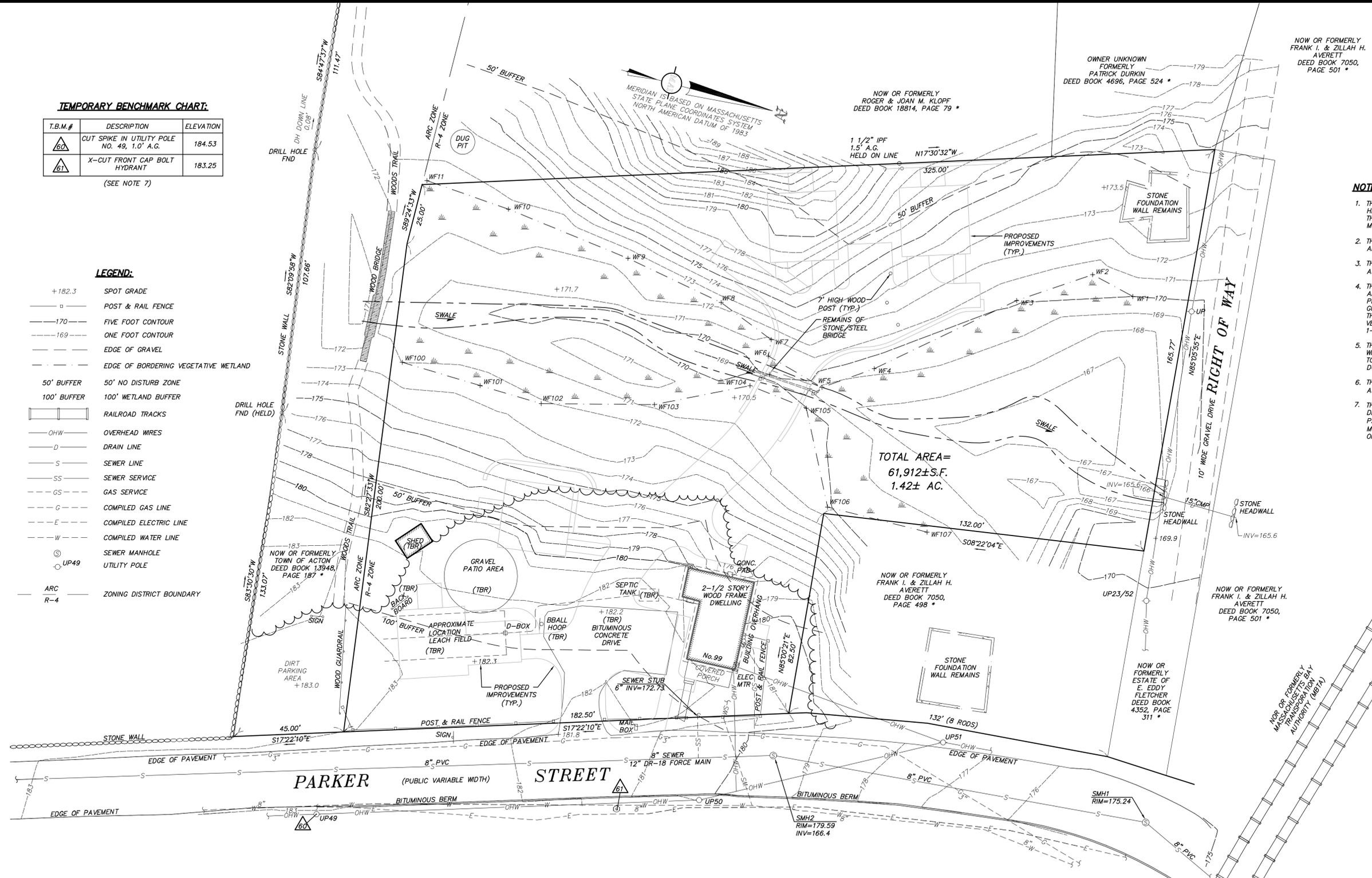
**TEMPORARY BENCHMARK CHART:**

T.B.M.#	DESCRIPTION	ELEVATION
60	CUT SPIKE IN UTILITY POLE NO. 49, 1.0' A.G.	184.53
61	X-CUT FRONT CAP BOLT HYDRANT	183.25

(SEE NOTE 7)

**LEGEND:**

- +182.3 SPOT GRADE
- POST & RAIL FENCE
- 170— FIVE FOOT CONTOUR
- 169— ONE FOOT CONTOUR
- EDGE OF GRAVEL
- EDGE OF BORDERING VEGETATIVE WETLAND
- 50' BUFFER 50' NO DISTURB ZONE
- 100' BUFFER 100' WETLAND BUFFER
- RAILROAD TRACKS
- OHW — OVERHEAD WIRES
- D — DRAIN LINE
- S — SEWER LINE
- SS — SEWER SERVICE
- GS — GAS SERVICE
- G — COMPILED GAS LINE
- E — COMPILED ELECTRIC LINE
- W — COMPILED WATER LINE
- ⊙ UP49 SEWER MANHOLE
- UTILITY POLE
- ARC ZONING DISTRICT BOUNDARY



NOW OR FORMERLY ROGER & JOAN M. KLOPF DEED BOOK 18814, PAGE 79 \*

OWNER UNKNOWN FORMERLY PATRICK DURKIN DEED BOOK 4696, PAGE 524 \*

NOW OR FORMERLY FRANK I. & ZILLAH H. AVERETT DEED BOOK 7050, PAGE 501 \*

TOTAL AREA= 61,912±S.F. 1.42± AC.

NOW OR FORMERLY FRANK I. & ZILLAH H. AVERETT DEED BOOK 7050, PAGE 498 \*

NOW OR FORMERLY FRANK I. & ZILLAH H. AVERETT DEED BOOK 7050, PAGE 501 \*

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- THE LOCUS PROPERTY DEPICTED IS LOCATED IN ZONE R-4 (RESIDENCE 4) AND GROUNDWATER PROTECTION DISTRICT ZONE 3.
- THE LOCUS PROPERTY IS DEPICTED AS LOT 8 ON TOWN OF ACTON ASSESSOR'S MAP 1-3.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILED PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- THE WETLAND FLAGS DEPICTED WERE DEMARCATED BY MASON & ASSOCIATES ON 10/8/08.
- THE ELEVATIONS DEPICTED HEREON WERE BASED ON THE SEWER DATUM AS DEPICTED ON RECORD SEWER DRAWINGS BY WOODARD & CURRAN FOR PARKER STREET DATED MARCH, 1999, REVISED JAN '02. STARTING BENCH MARK: RECORD INVERT (OUT) OF SEWER MANHOLE #38 (SMH #2 HEREON) ON SAID PLANS, SHEET C-9, ELEVATION=166.37.

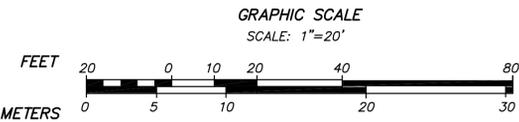
**RECORD OWNER:**

JEANNE POTTER  
99 PARKER STREET  
ACTON, MASSACHUSETTS  
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**REFERENCES:**

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- \* DENOTES DOCUMENTS ON RECORD AT SOUTH MIDDLESEX REGISTRY OF DEEDS.

**PARKER STREET**  
(PUBLIC VARIABLE WIDTH)



ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATON NOR SUBSURFACE VERIFICATION.

**REVISIONS**

NO.	DATE	DESCRIPTION	BY	CHK'D
1	3/4/10	COMP. PERMIT SUBMITTAL	JPG	KED

DWG. No. 8319\_REC02  
BK. #478, PG. #53

**NATURAL FEATURES AND EXISTING CONDITIONS PLAN**  
LOCATED IN  
**ACTON, MASSACHUSETTS**  
(MIDDLESEX COUNTY)

PREPARED FOR  
**PARKER STREET, LLC**  
SCALE: 1"=20' DATE: MARCH 24, 2009

**MERIDIAN ASSOCIATES**

152 CONANT STREET BEVERLY, MASSACHUSETTS 01915  
TELEPHONE: (978) 299-0447  
WWW.MERIDIANASSOC.COM

SHEET No. 4 OF 11

PROJECT No. 8319

**LAYOUT & MATERIALS NOTES**

ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED. ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OR TOWN AND THE MASSACHUSETTS HIGHWAY DEPARTMENT.

ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, WHICHEVER IS MORE STRINGENT.

THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:  
 DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING.  
 DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.  
 DIMENSIONS ARE TO THE CENTER OF PAVEMENT MARKINGS.  
 ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAIL CONTIGUOUS TO THE BUILDING INCLUDING ENTRANCES, DOORWAY PADS, ETC.

ALIGN WALKWAYS CENTERED ON BUILDING EXIT DOORS UNLESS OTHERWISE NOTED.

SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.

NO SITE LIGHTS ARE PROPOSED.

WHERE REQUIRED BY BUILDING CODE, PROVIDE RAILING WHERE EXPOSED RETAINING WALL HEIGHT EQUALS 4' FEET OR GREATER.

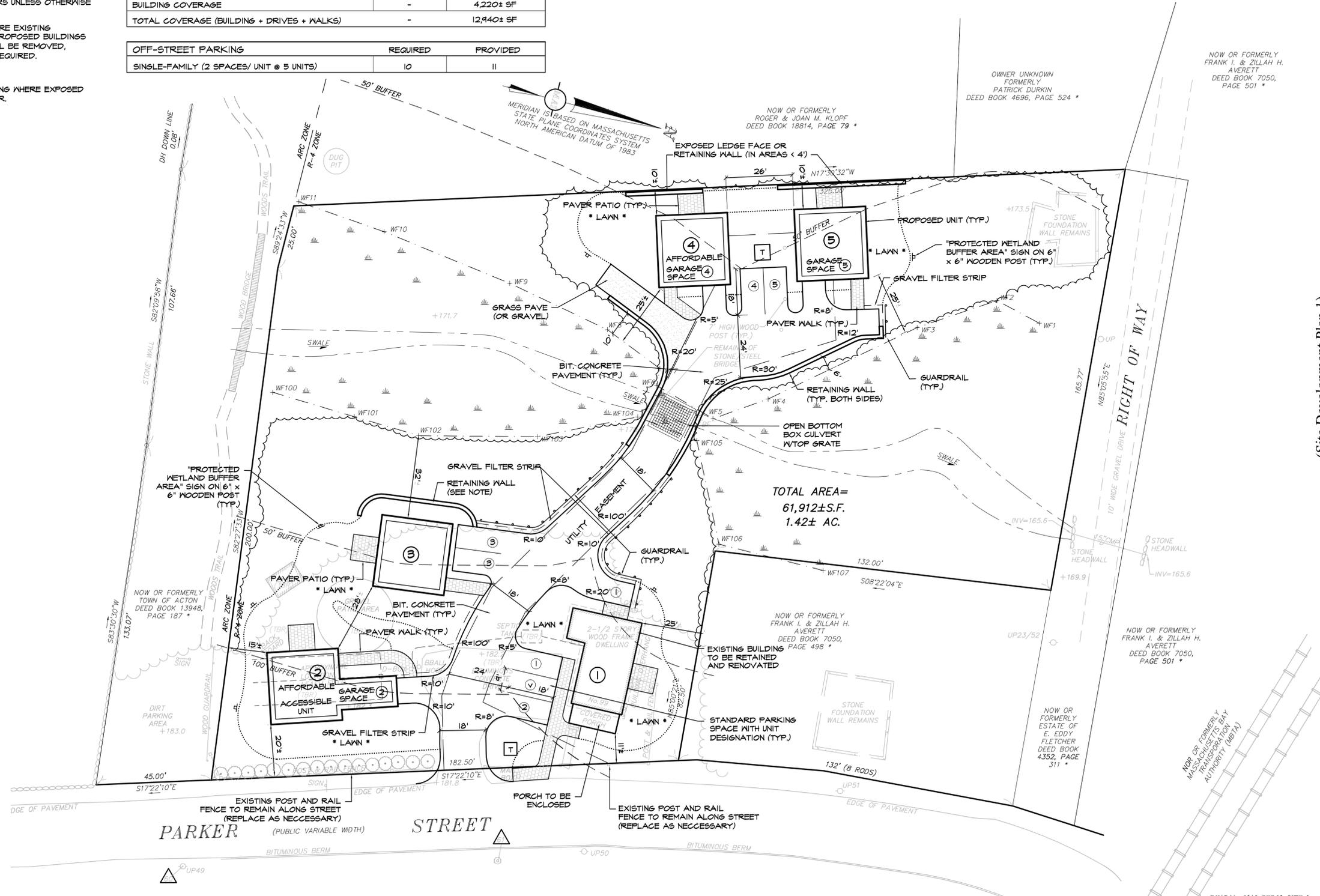
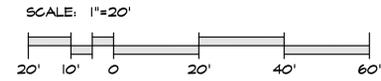
**ZONING SUMMARY**

ZONING DISTRICT: RESIDENCE 4 (R-4) GROUNDWATER PROTECTION DISTRICT: ZONE 3		
DIMENSIONAL REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT SIZE (S.F.)	40,000	61,923±
MINIMUM LOT FRONTAGE (FT.)	175'	183.76±
MINIMUM LOT WIDTH (FT.)	50'	103'
MINIMUM FRONT YARD (FT.)	45'	11± (EXIST.)
MINIMUM SIDE AND REAR YARD (FT.)	20'	10±
MAXIMUM BUILDING HEIGHT (FT.)	36'	36'
UNIT DENSITY	-	3.52 UNITS/ AC.
FLOOR AREA RATIO (1,166± (x2 BASEMENT) + 1443± (x2) + 1600± (EX) / 40,500±) (NET FLOOR AREA / DEV. SITE AREA)	-	19.4% (3,062± SF)
BUILDING COVERAGE	-	4,220± SF
TOTAL COVERAGE (BUILDING + DRIVES + WALKS)	-	12,940± SF

OFF-STREET PARKING	REQUIRED	PROVIDED
SINGLE-FAMILY (2 SPACES/ UNIT @ 5 UNITS)	10	11

**PROPOSED CONDITIONS LEGEND**

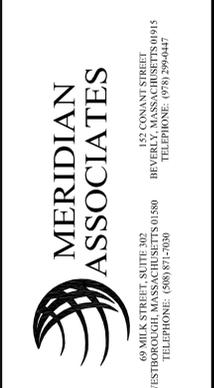
- PROPERTY LINE
- BUILDING
- RETAINING WALL
- CURB RADIUS R=3'
- PAVER WALKWAY/ PATIO
- UNIT ASSIGNED PARKING SPACE
- VISITOR PARKING SPACE



NO.	DATE	DESCRIPTION	BY	CHKD
1	3/7/04	10	JPG	MEB



(Site Development Plan 1)  
 Layout & Materials Plan  
 Affordable Housing Development  
 99 Parker Street  
 Acton, Massachusetts  
 Prepared For:  
 Parker Street, LLC



DATE:  
August 6, 2009  
 SCALE:  
1" = 20'  
 PROJECT No.  
8319  
 SHEET No.  
5 OF 11





CONCEPTUAL PLANT SCHEDULE

TREES					
QTY.	SYM.	LATIN NAME	COMMON NAME	INSTALL HT.	MAT. SPREAD
2	AR	ACER RUBRUM 'AUTUMN GLORY'	AUTUMN GLORY RED MAPLE	10' HT. (1.5' C)	30'±
1	BN	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	6-7' CLUMP	40'±
3	CC	CERCIS CANADENSIS	EASTERN REDBUD	4-5' HT	20'±
1	CP	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	6-7' HT	20'±
1	JV	JUNIFERUS VIRGINIANA	EASTERN RED CEDAR	4-5' HT	30'±
3	PS	PINUS STROBUS	EASTERN WHITE PINE	5-6' HT	50'±
5	TC	TSUGA CANADENSIS	EASTERN HEMLOCK	5-6' HT	30'±
14	TN	THUJA NIGRA	DARK GREEN ARBORVITAE	5-6' HT	15'±

SHRUBS, PERENNIALS AND GROUNDCOVERS

QTY.	SYM.	LATIN NAME	COMMON NAME	INSTALL HT.	MAT. SPREAD
6	AV	AZALEA VISCOSUM	SWAMP AZALEA	18"-24" HT	8'±
4	CS	CORNUS SERICEA	RED TWIG DOGWOOD	2'-3' HT	6'±
12	EP	ECHINACEA PURPEA	PURPLE CONEFLOWER	1 GAL. (8" HT.)	12'±
42	HS	HEMEROCALLIS SPP.	DAYLILY	1 GAL. (8" HT.)	12'±
13	IG	ILEX GLABRA	INKBERRY	18"-24" HT	4'±
10	IV	ILEX VERTICILLATA	WINTERBERRY	18"-24" HT	6'±
6	MP	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	3-4' HT	8'±
10	RN	RHODODENDRON 'NOVA ZEMBLA'	RHODODENDRON	2'-3' HT	8'±
12	RP	RHODODENDRON 'J.M'	RHODODENDRON	2'-3' HT	8'±
12	RF	RUDBECKIA FULGIDA	BLACK EYED SUSAN	1 GAL. (8" HT.)	12'±
4	SB	SPIRAEA x BIMALDA	A. WATERER SPIRAEA	18"-24" HT	4'±
20	OC	OSMUNDA CINNAMONEA	CINNAMON FERN	1 GAL. (8" HT.)	12'±
48	OS	ONOCLEA SENSIBILIS	SENSITIVE FERN	1 GAL. (8" HT.)	12'±
12	VA	VACCINIUM ANGSTUFIOLIUM	LOWBUSH BLUEBERRY	18"-24" HT	12'±
14	VD	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	3-4' HT	8'±

LANDSCAPE & LIGHTING NOTES

ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.

ALL PLANTING BEDS TO BE FILLED WITH SOIL AND CROWNED ABOVE ADJACENT LAWN OR IMPROVED AREAS.

ALL PLANTING BEDS TO BE MULCHED WITH AGED HARDWOOD BARK MULCH TO A DEPTH OF THREE (3) INCHES. PROVIDE FIVE (5) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB PLANTINGS AS DEPICTED ON PLAN.

PLANT MATERIALS SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS THEY BORE TO GRADE IN THE NURSERY.

ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL WRITTEN ACCEPTANCE FROM THE OWNER OR HIS REPRESENTATIVE.

LOAM AND SEED ALL DISTURBED AREAS UPON COMPLETION OF FINAL GRADING. LAWN AREAS THAT DO NOT SHOW A PROMPT 'CATCH' SHALL BE RESEED AT THE SAME RATE AND IN THE SAME MANNER AS BEFORE, UNTIL AN ACCEPTABLE GROWTH OF GRASS IS ESTABLISHED OVER THE ENTIRE AREA.

PLANTING MIX SHALL CONSIST OF 3 PARTS LOAM (TOPSOIL), 1 PART SAND, 1 PART ORGANIC FEAT MOSS. INCORPORATE COMPONENTS, FERTILIZE AND LIME AS REQUIRED TO SATISFY SPECIFIED PARAMETERS.

SPACE PLANTS AT SCALED DISTANCES SHOWN ON DRAWINGS UNLESS OTHERWISE INDICATED. ANY PROPOSED SUBSTITUTION OF PLANT MATERIAL SHALL ONLY BE MADE AFTER PRIOR APPROVAL OF LANDSCAPE ARCHITECT.

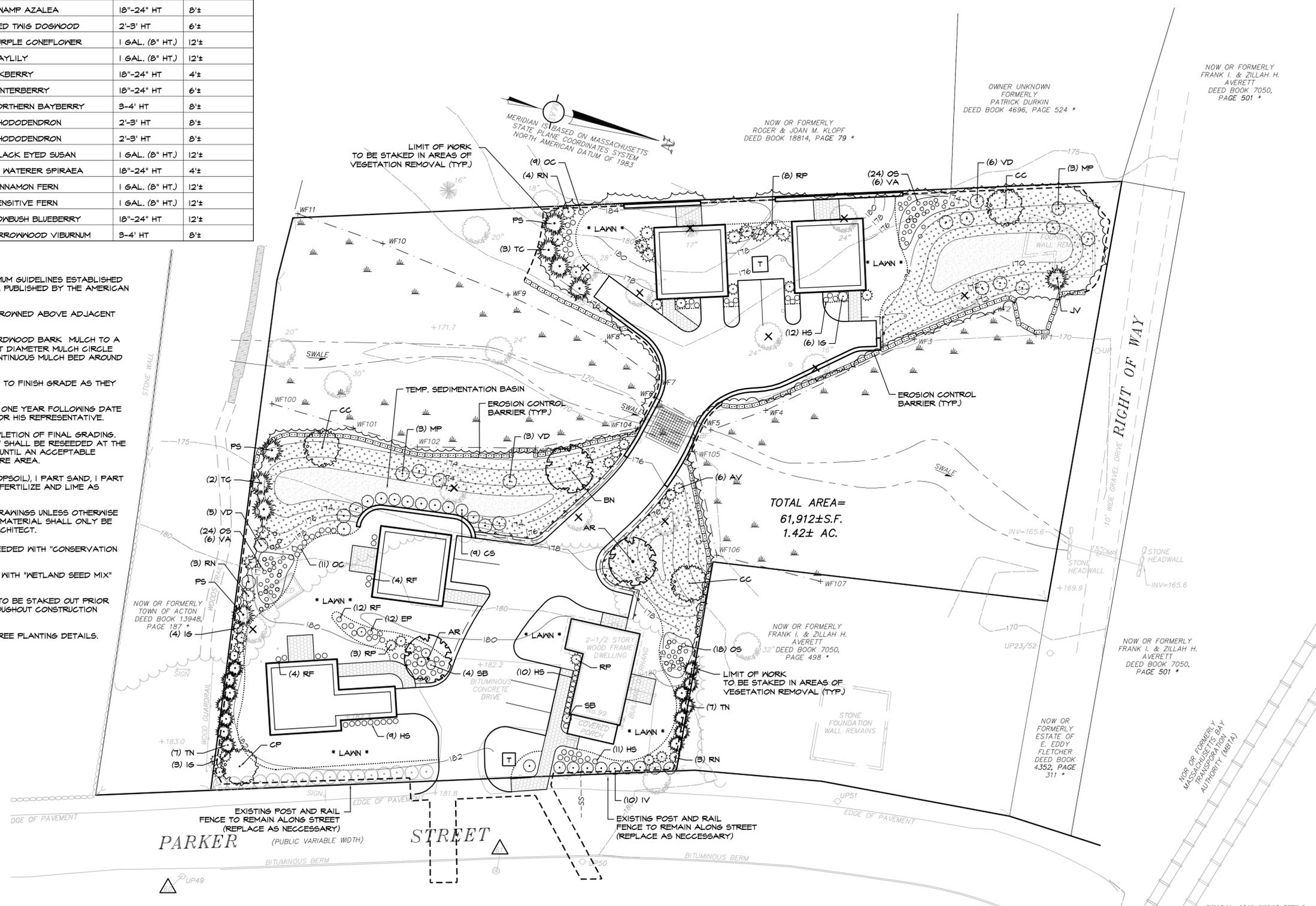
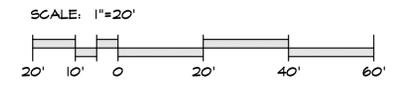
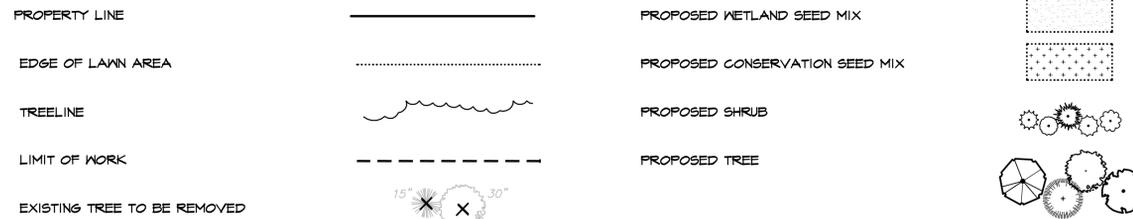
AREAS LABELED CONSERVATION SEED MIX TO BE SEEDDED WITH "CONSERVATION SEED MIX" FROM AMHERST WETLAND PLANTS, INC.

AREAS LABELED WETLAND SEED MIX TO BE SEEDDED WITH "WETLAND SEED MIX" FROM NEW ENGLAND WETLAND PLANTS, INC.

THE LIMIT OF WORK LINE IN AREAS OF CLEARING IS TO BE STAKED OUT PRIOR TO CONSTRUCTION ACTIVITIES AND MAINTAINED THROUGHOUT CONSTRUCTION ACTIVITIES.

REFER TO CONSTRUCTION DETAILS 1 (10 OF 11) FOR TREE PLANTING DETAILS.

PROPOSED CONDITIONS LEGEND

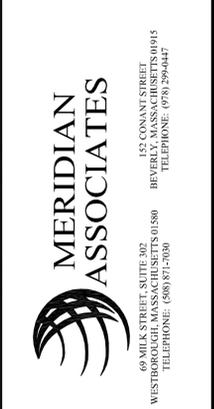


TOTAL AREA = 61,912±S.F. 1.42± AC.

NO.	DATE	DESCRIPTION	BY	CHKD
1	3/7/04/10	COMP. PERMIT SUBMITTAL	JPG	MEB



Landscape Plan  
Affordable Housing Development  
99 Parker Street  
Acton, Massachusetts  
Prepared For:  
Parker Street, LLC



DATE:  
August 6, 2009  
SCALE:  
1" = 20'  
PROJECT No.  
8319  
SHEET No.  
8 OF 11

**EROSION CONTROL AND STABILIZATION PROGRAM**

THE CONTRACTOR SHALL IMPLEMENT THE CONSTRUCTION POLLUTION PREVENTION PLAN FOR THE PROJECT INCLUDING INSTALLATION AND MAINTENANCE OF ALL CONTROL MEASURES OUTLINED IN THE SWPPP INCLUDING EROSION CONTROL BARRIERS, ANTI-TRACKING PADS AND OTHER EROSION AND SEDIMENTATION CONTROLS, STORMWATER MANAGEMENT CONTROLS, SOLID WASTE CONTROLS AND SPILL PREVENTION CONTROLS.

THE LOCATION OF EROSION CONTROL BARRIERS AND SEDIMENTATION AND POLLUTION CONTROL SYSTEMS SHOWN ON DRAWINGS ARE INTENDED TO BE MINIMUM REQUIREMENTS AND A GUIDE FOR THE PLACEMENT OF THESE BARRIERS. OTHER MEASURES MAY BE WARRANTED BASED UPON EXPERIENCE AT THE SITE. WHEN NO SEDIMENTATION CONTROL SYSTEM IS SHOWN ON THE DRAWING, THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH A SYSTEM TO PREVENT SILTATION OR POLLUTION OF ADJACENT PROPERTY, WETLANDS OR BUFFER ZONES. THE SYSTEMS SHOWN SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PLACING ADDITIONAL BARRIERS OR REPLACING BARRIERS AS REQUIRED BY SITE CONDITIONS. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT AND ADDITIONS TO THESE SYSTEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AS CONSTRUCTION PROGRESSES AND SEASONAL CONDITIONS DICTATE, MORE SILTATION CONTROL FACILITIES MAY BE REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS NEW CONDITIONS THAT MAY BE CREATED.

ALL SLOPES WITH SURFACE GRADES EQUAL TO OR STEEPER THAN 3:1 SHALL BE STABILIZED WITH JUTE MATTING.

REQUIRED SEDIMENTATION CONTROL FACILITIES MUST BE CONSTRUCTED, CLEARLY VISIBLE, AND IN OPERATION PRIOR TO REMOVAL OF STUMPS AND/OR OTHER CONSTRUCTION. UNLESS OTHERWISE NOTED, SUCH FACILITIES SHALL REPRESENT THE LIMIT OF WORK. NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME DURING THE CONSTRUCTION PERIOD.

TEMPORARY DIVERSION DITCHES, PERMANENT DITCHES, CHANNELS, EMBANKMENTS AND ANY DENuded SURFACE WHICH WILL BE EXPOSED FOR A PERIOD OF 14 DAYS SHALL BE CONSIDERED CRITICAL STABILIZATION AREAS. THESE AREAS SHALL BE MULCHED WITH STRAW. MULCH SHALL BE SPREAD UNIFORMLY IN A CONTINUOUS BLANKET OF SUFFICIENT THICKNESS TO COMPLETELY HIDE THE SOIL FROM VIEW.

SEDIMENT CONTROL MEASURES SHALL BE PROVIDED AROUND ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES AS DETAILED ON THE DRAWINGS OR AS REQUIRED TO PREVENT SEDIMENTATION.

EROSION CONTROL BARRIERS AND SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL SILTATION CONTROLS. THE CONTRACTOR SHALL NOT REMOVE ANY SILTATION CONTROLS UNTIL AUTHORIZED (IN WRITING) BY THE OWNER OR HIS REPRESENTATIVE.

THE CONTRACTOR SHALL HAVE, AT THE START OF SOIL DISTURBANCE AN ADEQUATE RESERVE OF EROSION CONTROL BARRIERS IN GOOD CONDITION, AND SUFFICIENT STAKES FOR STAKING THIS.

DENuded SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASONS.

ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 SHALL BE SEEDED OR PROTECTED BY THAT DATE.

LOAMING AND SEEDING OR MULCHING OF NON-PAVEMENT AREAS SHALL TAKE PLACE AS SOON AS PRACTICABLE.

ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK AND STABILIZED TO PREVENT EROSION.

STABILIZED CONSTRUCTION ACCESS PADS SHALL BE INSTALLED AT ALL CONSTRUCTION DRIVEWAYS ON TO THE PUBLIC WAYS TO PREVENT THE TRACKING OF SEDIMENT OFF-SITE.

ANY SEDIMENTATION OR EROSION DAMAGE CAUSED AS A RESULT OF THIS PROJECT TO ANY WETLAND RESOURCE AREAS OR IDENTIFIED WETLAND BUFFER ZONES BEYOND THE LIMIT OF WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND RESTORE AT NO COST TO THE OWNER. IF SEDIMENT REACHES THESE AREAS, THE OWNER SHALL BE CONTACTED IMMEDIATELY BY THE CONTRACTOR. A PLAN FOR ABATEMENT OF THE PROBLEM AND RESTORATION SHALL BE PREPARED BY THE CONTRACTOR AS SOON AS POSSIBLE.

EROSION CONTROL BARRIER SHALL BE INSTALLED AS INDICATED ON THE PLANS AND AS REQUESTED BY THE OWNER OR HIS REPRESENTATIVE TO ADDRESS FIELD CONDITIONS.

USE MEANS NECESSARY TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC, TO NEIGHBORS, AND TO OTHER WORK BEING PERFORMED ON OR NEAR THE SITE.

POCKET WETLANDS (PW) SHALL BE USED AS TEMPORARY SEDIMENT TRAPS UNTIL PW'S ARE READY TO BE PLANTED. AT THAT TIME, REMOVE ACCUMULATION OF SEDIMENT AND DISPOSE OFF-SITE ACCORDING TO LOCAL, STATE AND FEDERAL REGULATIONS.

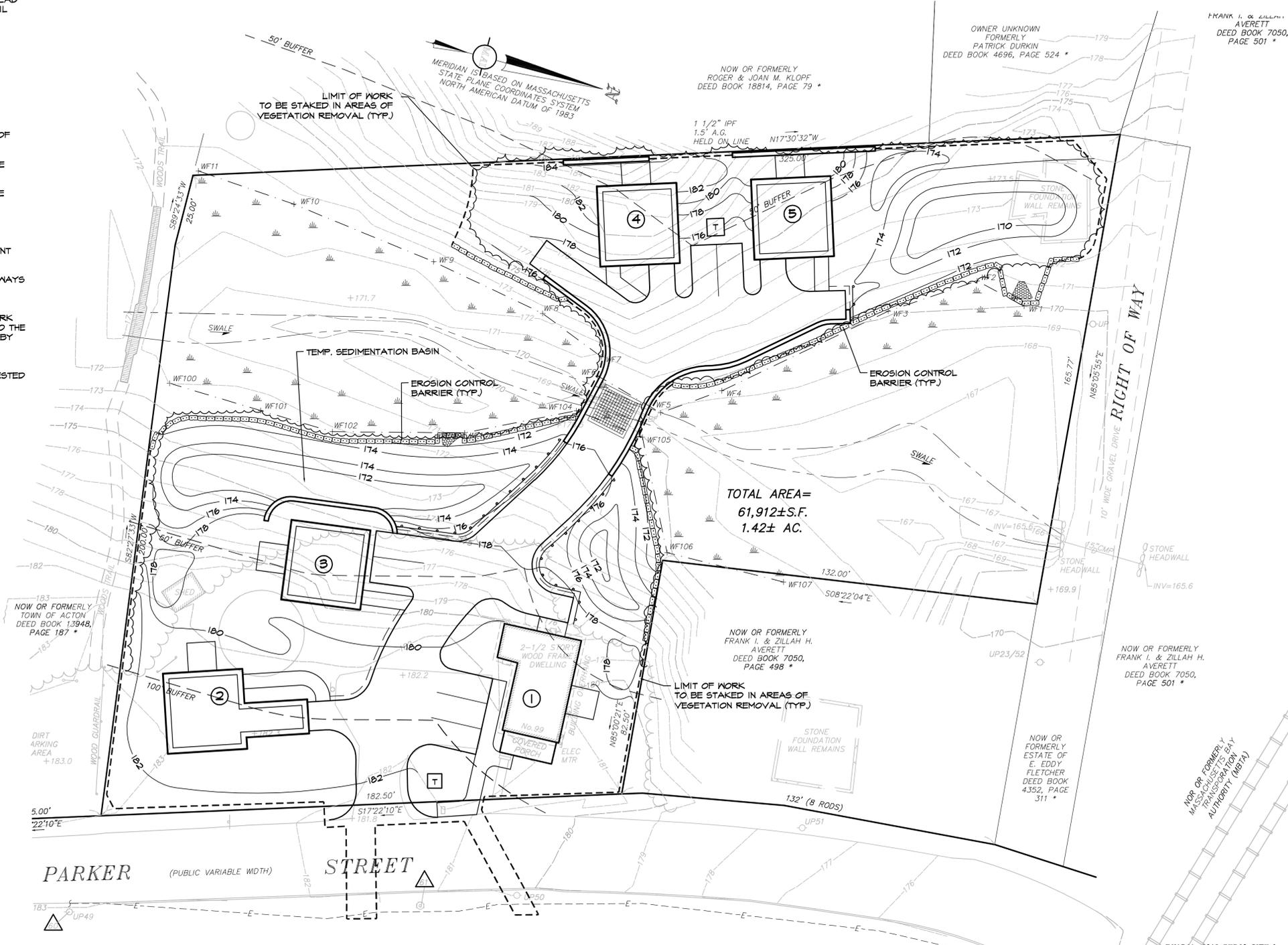
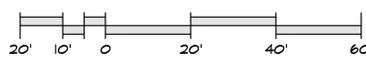
THE LIMIT OF WORK LINE IN AREAS OF CLEARING IS TO BE STAKED OUT PRIOR TO CONSTRUCTION ACTIVITIES AND MAINTAINED THROUGHOUT CONSTRUCTION ACTIVITIES.

REFER TO CONSTRUCTION DETAILS I (SHEET 10 OF 11) FOR EROSION AND SEDIMENT CONTROL DETAIL INFORMATION.

**PROPOSED CONDITIONS LEGEND:**

- PROPOSED SPOT ELEVATION + 262.60
- EROSION CONTROL BARRIER [Symbol]
- CONTOUR - 265 -
- TREELINE [Symbol]
- LIMIT OF WORK [Symbol]

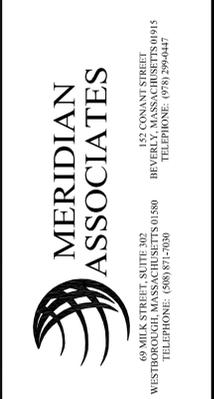
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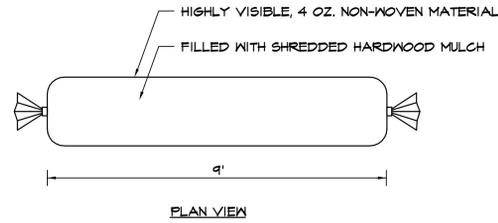
NO.	DATE	DESCRIPTION	BY	CHKD
1	3/7/04/10	ADDED TO SET	JPG	MEB



**Erosion & Sediment Control Plan**  
**Affordable Housing Development**  
 99 Parker Street  
 Acton, Massachusetts  
 Prepared For:  
**Parker Street, LLC**

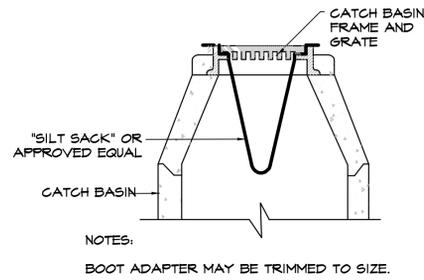


DATE:  
March 4, 2010  
 SCALE:  
1"= 20'  
 PROJECT No.  
8319  
 SHEET No.  
9 OF 11

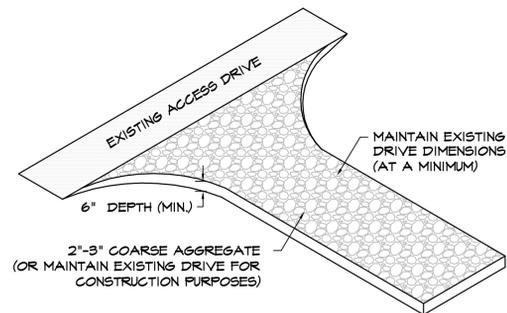


NOTE:  
THE SILT SOCK IS NOT SUITABLE FOR AREAS WHERE LARGE AMOUNTS OF CONCENTRATED RUNOFF ARE LIKELY.

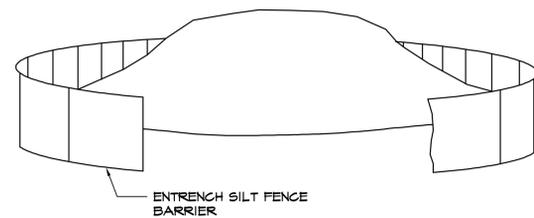
**EROSION CONTROL BARRIER**  
(NOT TO SCALE)



**FILTER BAG**  
(NOT TO SCALE)

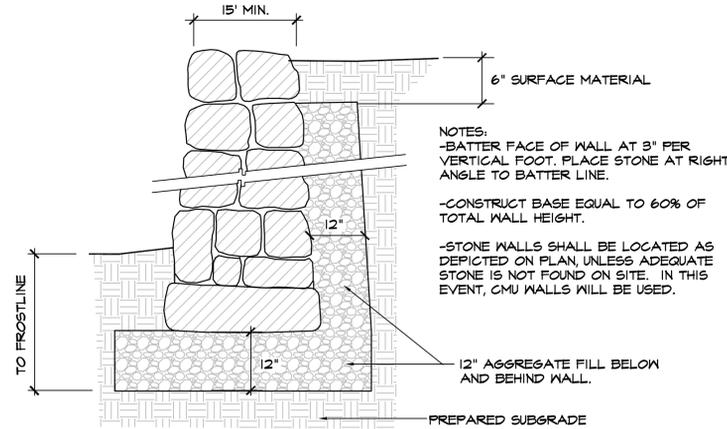


**CONSTRUCTION ENTRANCE/EXIT PAD**  
(NOT TO SCALE)



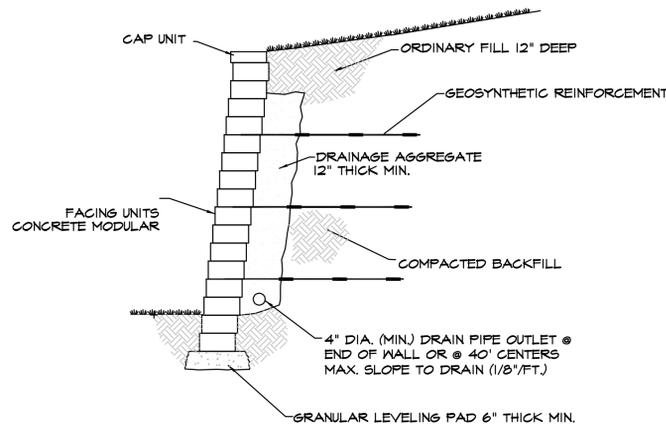
NOTE:  
LOCATE STOCKPILE IN A DRY AND STABLE AREA OUTSIDE OF 100' WETLAND BUFFER ZONE.  
STABILIZE STOCKPILE WITH ANNUAL RYEGRASS, MULCH OR EROSION CONTROL BLANKETS.

**SOIL STOCKPILE**  
(NOT TO SCALE)



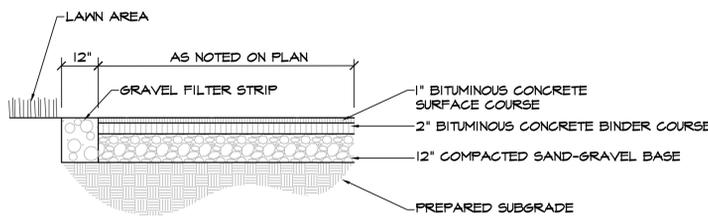
NOTES:  
WHERE REQUIRED BY CODE, INSTALL RAILING WHERE EXPOSED WALL HEIGHT 4 FEET OR HIGHER.

**SCHEMATIC NEW ENGLAND FIELDSTONE RETAINING WALL**  
(NOT TO SCALE)

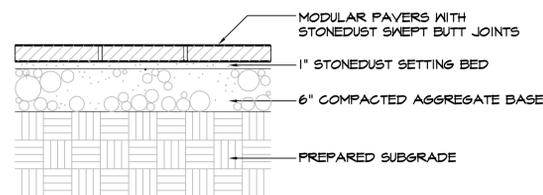


NOTES:  
INSTALL IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.  
WHERE REQUIRED BY CODE, INSTALL RAILING WHERE EXPOSED WALL HEIGHT 4 FEET OR HIGHER.

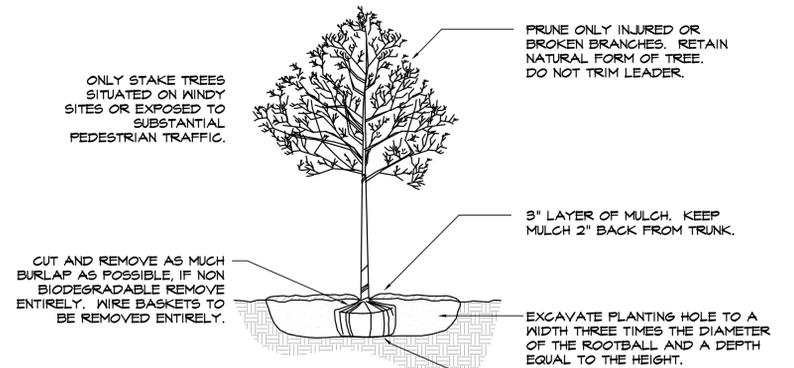
**SCHEMATIC CONCRETE MASONRY UNIT (CMU) RETAINING WALL**  
(NOT TO SCALE)



**BITUMINOUS CONCRETE PAVEMENT SECTION**  
(NOT TO SCALE)

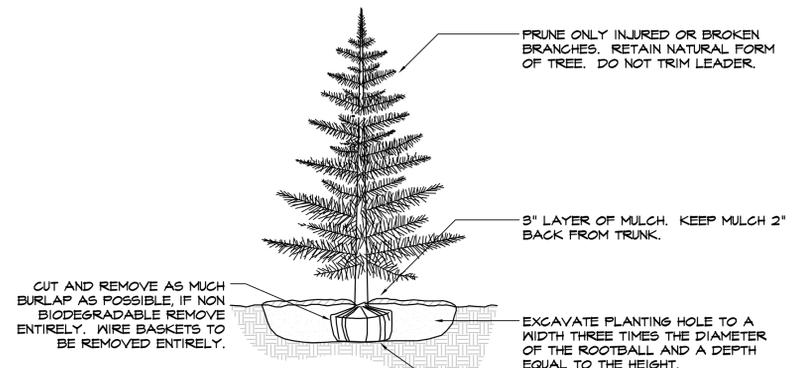


**PAVER WALKWAY SECTION**  
(NOT TO SCALE)



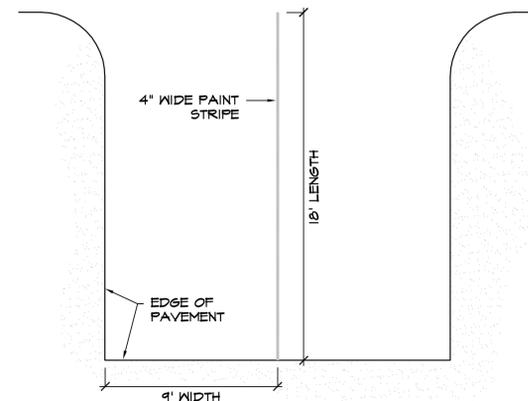
ONLY STAKE TREES SITUATED ON WINDY SITES OR EXPOSED TO SUBSTANTIAL PEDESTRIAN TRAFFIC.  
CUT AND REMOVE AS MUCH BURLAP AS POSSIBLE, IF NON BIODEGRADABLE REMOVE ENTIRELY. WIRE BASKETS TO BE REMOVED ENTIRELY.  
NOTES:  
BACKFILL PLANTING HOLE WITH PLANTING MIX AS SPECIFIED.  
BACKFILL HALF THE SOIL AND WATER TO SETTLE OUT AIR POCKETS, COMPLETE BACKFILLING AND REPEAT WATERING.  
IF ROOTS ARE CIRCLING THE ROOTBALL EXTERIOR, CUT ROOTS VERTICALLY IN SEVERAL PLACES PRIOR TO PLANTING.

**TREE PLANTING**  
(NOT TO SCALE)



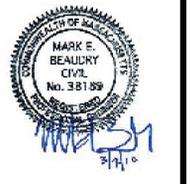
CUT AND REMOVE AS MUCH BURLAP AS POSSIBLE, IF NON BIODEGRADABLE REMOVE ENTIRELY. WIRE BASKETS TO BE REMOVED ENTIRELY.  
NOTES:  
BACKFILL PLANTING HOLE WITH PLANTING MIX AS SPECIFIED.  
BACKFILL HALF THE SOIL AND WATER TO SETTLE OUT AIR POCKETS, COMPLETE BACKFILLING AND REPEAT WATERING.  
IF ROOTS ARE CIRCLING THE ROOTBALL EXTERIOR, CUT ROOTS VERTICALLY IN SEVERAL PLACES PRIOR TO PLANTING.

**EVERGREEN TREE PLANTING**  
NOT TO SCALE

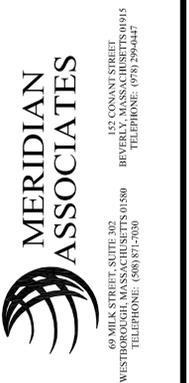


**PARKING SPACE LAYOUT**  
NOT TO SCALE

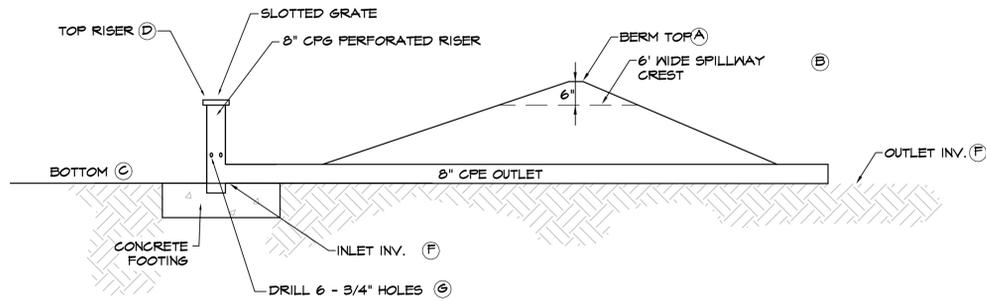
NO.	DATE	DESCRIPTION	BY	CHKD
1	3/7/04/10	COMP. PERMIT SUBMITTAL	JPG	MEB



Construction Details 1  
Affordable Housing Development  
99 Parker Street  
Acton, Massachusetts  
Prepared For:  
Parker Street, LLC



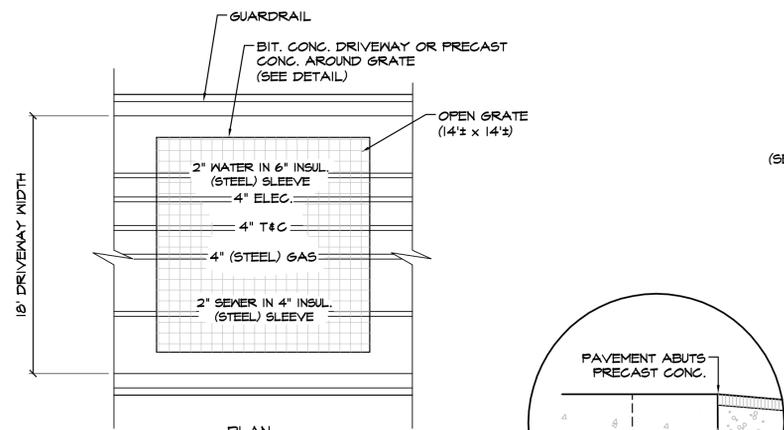
DATE:  
August 6, 2009  
SCALE:  
1" = 20'  
PROJECT No.  
8319  
SHEET No.  
10 OF 11



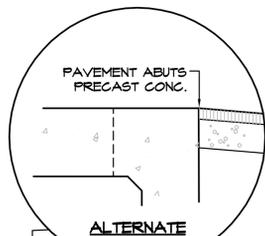
**OUTLET CONTROL RISER (OCR)**  
(NOT TO SCALE)

POCKET WETLAND	(A)	(B)	(C)	(D)	(E)	(F)	(G)
PW1	174.50	174.00	172.00	173.80	172.00	171.80	172.50
PW2	172.50	172.00	170.50	171.80	170.50	170.20	171.00

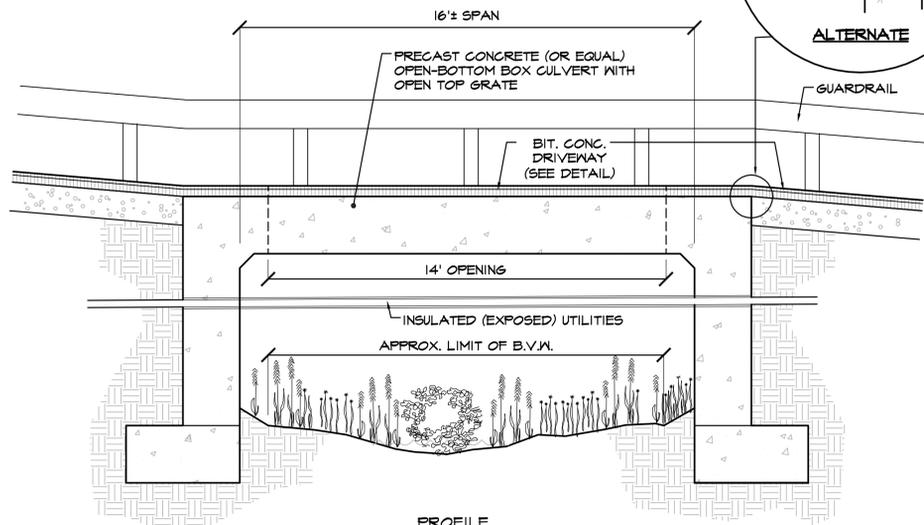
**SCHEDULE**



**PLAN**



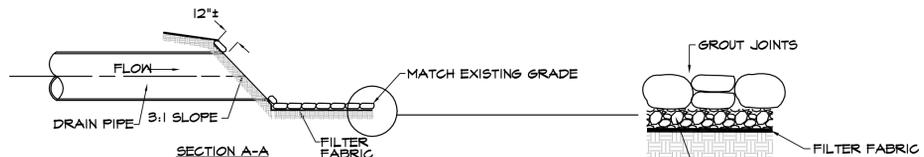
**ALTERNATE**



**PROFILE**

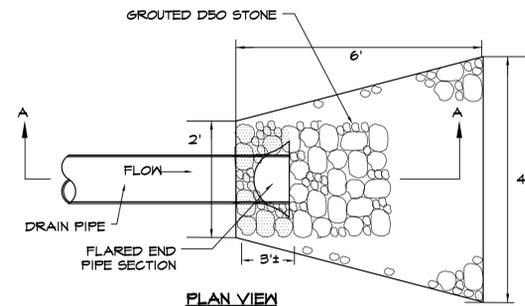
\*NOTE:  
PROVIDE INSULATION ON WATER AND SEWER AT CROSSING AND WHERE COVER IS LESS THAN 5' WATER AND 4' SEWER

**SCHEMATIC OF OPEN BOTTOM BOX CULVERT**  
(NOT TO SCALE)

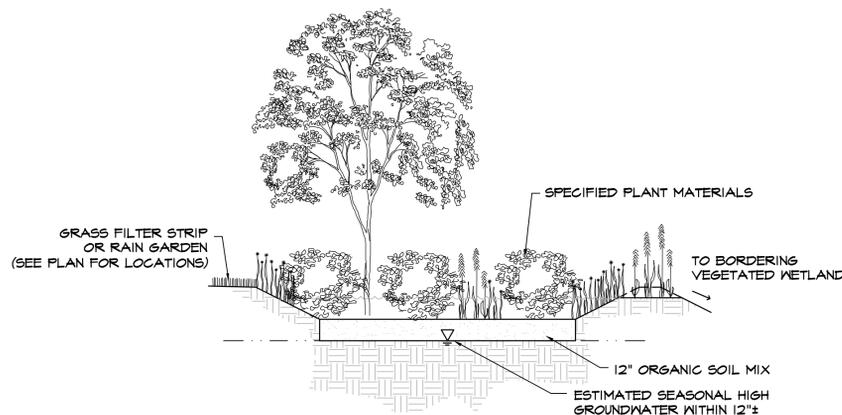


NOTE: ALL RIP-RAP STONE SHALL BE HAND-CHINKED AND SHALL COMPLY WITH MASSACHUSETTS HIGHWAY DEPARTMENT STANDARDS.

**STONE RIPRAP APRON**  
(NOT TO SCALE)



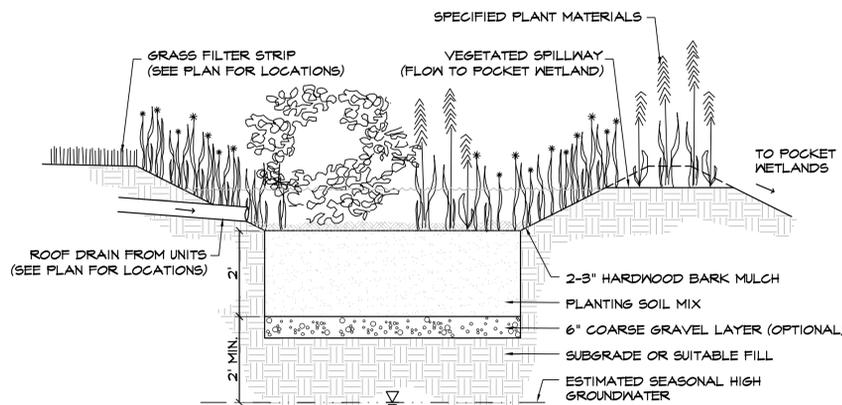
**PLAN VIEW**



NOTES:

SEE PLANS FOR LOCATIONS AND SIZES OF POCKET WETLANDS AND OUTLETS (OCRS).  
THE PLANTING MIX SHOULD BE A MIXTURE OF SAND, COMPOST AND SOIL. SPECIFICALLY, 50% TOPSOIL AND 50% COMPOST. MIX MUST BE UNIFORM, FREE OF STONES, STUMPS, ROOTS OR SIMILAR OBJECTS LARGER THAN 2 INCHES.

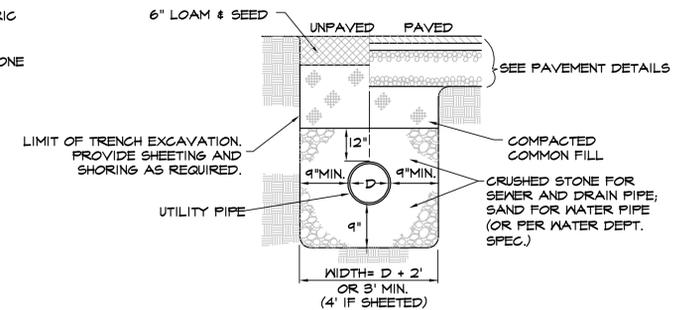
**SCHEMATIC OF POCKET WETLAND SYSTEM**  
(NOT TO SCALE)



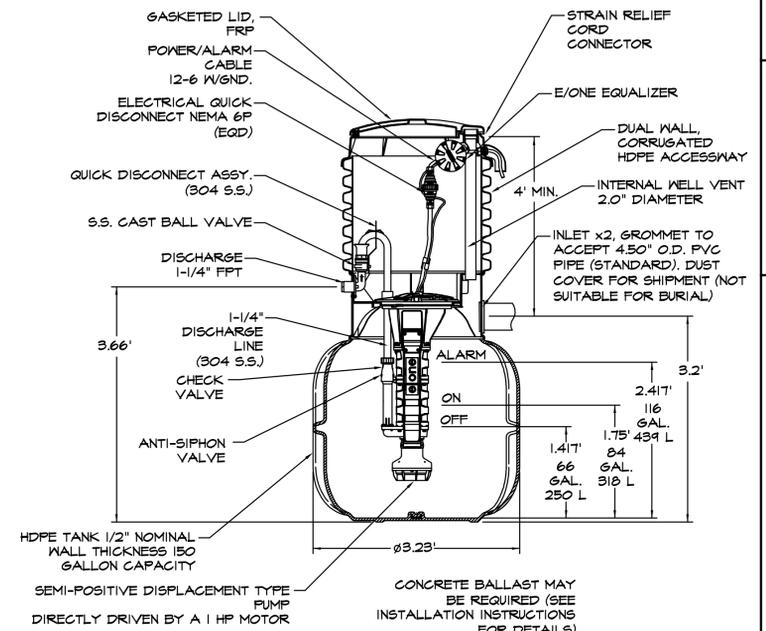
NOTES:

SEE PLANS FOR LOCATIONS AND SIZES OF RAINGARDENS AND PLANT MATERIALS.  
THE PLANTING MIX SHOULD BE A MIXTURE OF SAND, COMPOST AND SOIL. SPECIFICALLY, 40% SAND, 20-30% TOPSOIL, AND 30-40% COMPOST. THE CLAY CONTENT SHOULD NOT EXCEED 15%. MIX MUST BE UNIFORM, FREE OF STONES, STUMPS, ROOTS OR SIMILAR OBJECTS LARGER THAN 2 INCHES.

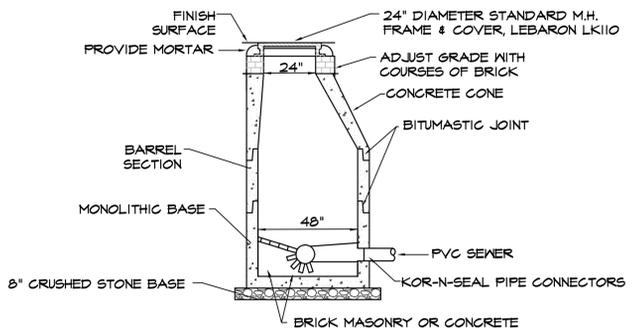
**SCHEMATIC OF RAINGARDEN SYSTEM**  
(NOT TO SCALE)



**TYPICAL TRENCH SECTION**  
(NOT TO SCALE)



**E-ONE PUMP CHAMBER MODEL DH151/DR151**  
(NOT TO SCALE)



NOTES:

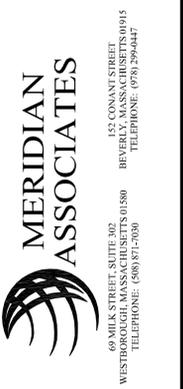
1. MANHOLE DESIGN SHALL CONFORM TO LATEST ASTM C478.
2. REINFORCING STEEL SHALL CONFORM TO LATEST ASTM A 185.
3. CONCRETE COMPRESSIVE STRENGTH-4,000 PSI @ 28 DAYS.
4. ONE FOUR MONOLITHIC BASE.
5. STEPS-STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC (PS2-PPSL M.A. INDUSTRIES, INC.) CONFORMING TO LATEST ASTM C478 PARA-12.
6. KOR-N-SEAL FLEXIBLE PIPE CONNECTORS SHALL CONFORM TO LATEST ASTM C423, A167.

**SEWER MANHOLE DETAIL (SMH)**  
(NOT TO SCALE)

NO.	DATE	DESCRIPTION	BY	CHKD
1	3/04/10	COMP. PERMIT SUBMITTAL	JPG	MEB



Construction Details 2  
Affordable Housing Development  
99 Parker Street  
Acton, Massachusetts  
Prepared For:  
Parker Street, LLC



DATE:  
August 6, 2009  
SCALE:  
1"= 20'  
PROJECT No.  
8319  
SHEET No.  
11 OF 11