



LOCUS MAP
1" = 1,000'

COMPREHENSIVE PERMIT PLANS FOR McCARTHY VILLAGE II ACTON, MA

Development
of McCarthy
Village II

ACTON HOUSING AUTHORITY

COMPREHENSIVE
PERMIT

NOT FOR
CONSTRUCTION



ALLEN & MAJOR
ASSOCIATES, INC.

BAKER/WOHL ARCHITECTS



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Project No: 1298-08

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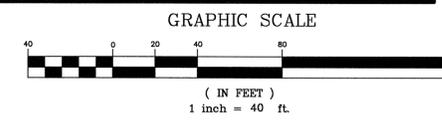
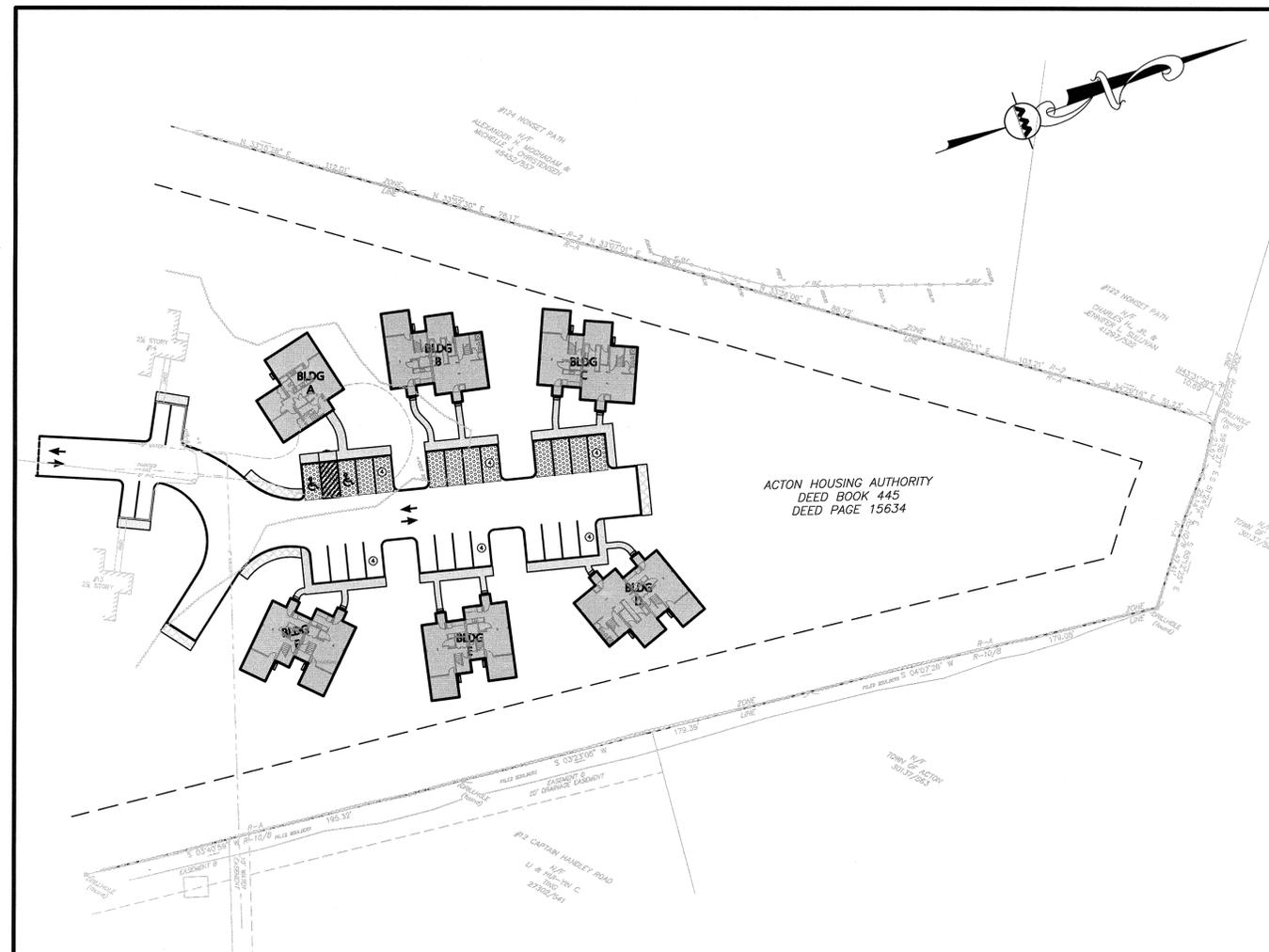
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Revisions			
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TITLE SHEET

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PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

ISSUED FOR TOWN OF ACTON, MA
COMPREHENSIVE PERMIT:
JUNE 25, 2010

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GENERAL NOTES:

- THE EXISTING CONDITIONS INFORMATION IS TAKEN FROM A PLAN TITLED "SITE SURVEY", CREATED BY PRECISION LAND SURVEYING INC., DATED 2/10/2010.
- ZONING DISTRICT IS RESIDENCE R-A.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL SITE WORK DONE FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE SITE PLANS AND SITE WORK SPECIFICATIONS FOR CONSTRUCTION.
- ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTORS EXPENSE.
- ALL DISTURBED AREAS SHALL BE MAINTAINED IN ACCORDANCE WITH THE EROSION CONTROL PLAN, MADEP, AND THE REQUIREMENTS OF THE CAMBRIDGE CONSERVATION COMMISSION.
- ALL APPLICABLE PERMITS AND AN APPROVED SET OF PLANS SHALL BE AVAILABLE AT THE CONSTRUCTION SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE CONSTRUCTION MEETING WITH THE TOWN, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
- APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAG MEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROL SHALL BE IMPLEMENTED AND OPERATED ACCORDING TO THE MASS DEPARTMENT OF TRANSPORTATION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A MASSACHUSETTS PROFESSIONAL LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
- ALL PERMITS AND APPROVALS NECESSARY FROM AGENCIES GOVERNING THE WORK SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK. PROVIDE THE SITE DEVELOPMENT MANAGER COPIES OF ALL PERMITS AND APPROVALS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF NECESSARY BY ON SITE INSPECTIONS OF THE OWNER, THEIR REPRESENTATIVES, OR REGULATORY AGENCIES HAVING JURISDICTION AT NO ADDITIONAL COST TO THE OWNER.
- CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

UTILITY NOTES:

- THE LATEST STANDARDS OF THE TOWN OF ACTON SHALL BE FOLLOWED WHEN INSTALLING ANY SANITARY SEWER, WATER AND GAS MAIN WORK. ALL WORK WILL BE INSPECTED BY TOWN OF ACTON PERSONNEL AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS. UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS, THE CONTRACTOR SHALL COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF UTILITY CONNECTIONS.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
- ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS NOTED OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY OWNER. WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUG OR CAP THE ENDS OF THE CONDUITS AND PIPES. REMOVE ABANDONED UTILITY MANHOLES, JUNCTION BOXES AND SIMILAR STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND PUNCTURE OR BREAK THE BOTTOM SLABS OF MANHOLES AND SIMILAR STRUCTURE TO ALLOW DRAINAGE. BACK FILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITIES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE.
- THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY WITH THE UTILITY OWNER.
- THE CONTRACTOR SHALL USE THE FOLLOWING PIPE MATERIALS:
SEWER - PVC (POLYVINYL CHLORIDE), SDR 35
DRAIN - HDPE (HIGH DENSITY CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INNER WALL), ASTM D2321 (UNLESS OTHERWISE SPECIFIED ON PLAN)
- RCP CLASS IV (REINFORCED CONCRETE PIPE, WHERE SPECIFIED ON PLAN)
WATER - C-900 PVC (BLUE BRUTE), CLDI (CONCRETE LINED DUCTILE IRON)
- BEFORE WORK BEGINS ON THE SEWER OR STORM DRAIN, THE CONTRACTOR WILL COORDINATE WITH THE TOWN OF ACTON THE APPROPRIATE PERMIT FEE AND INSPECTION FEE.
- ALL UTILITY CONNECTIONS THROUGH THE BUILDING WALL SHALL BE BY MEANS OF FLEXIBLE JOINTS.
- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
- IN THE CASE THAT WATER MAINS CROSS SANITARY SEWER MAINS AND/OR STORM DRAINS AND ARE SEPARATED BY LESS THAN 18" OF VERTICAL CLEARANCE, THE CROSSING SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 10 LINEAR FEET ON EITHER SIDE OF THE CROSSING.

GRADING/DRAINAGE NOTES:

- THE STORMWATER DRAINAGE SYSTEM IMPROVEMENTS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE LATEST STANDARDS OF THE TOWN OF ACTON AND THE STATE OF MASSACHUSETTS. STORM DRAIN WORK WILL BE INSPECTED BY TOWN OF ACTON PERSONNEL AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- EXISTING PAVEMENT SHALL BE SAW-CUT AND PAVEMENT JOINT SHALL BE INSTALLED WHERE NECESSARY TO ENSURE A SMOOTH CONTINUOUS GRADE.
- THE ARCHITECTURAL PLANS SHALL BE REFERRED TO IN ORDER TO DETERMINE THE EXACT LOCATIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, HANDICAPPED RAMPS, TRUCK DOCKS, DUMPSTER PADS, ROOF DRAIN LATERALS AND PRECISE BUILDING DIMENSIONS.

GRADING/DRAINAGE NOTES CONTINUED:

- ALL GRADING OPERATIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES.
- WHEN INSTALLING ALL PIPE ENTERING STORM SEWER STRUCTURES THE LATEST STANDARDS OF THE TOWN OF ACTON SHALL BE FOLLOWED TO ENSURE WATER TIGHT CONNECTIONS. WATER TIGHT FITTINGS SHALL BE USED ON ALL PIPE CONNECTIONS.
- IN LANDSCAPED AREAS THE TOP ELEVATION OF MANHOLES SHALL BE FLUSH WITH FINISH GRADE. IN PAVED AREAS THE TOP ELEVATIONS OF MANHOLES SHALL MATCH FINISH GRADE.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED AS SOON AS POSSIBLE UPON COMPLETION OF CONSTRUCTION WORK IN THE AREA. REFER TO EROSION CONTROL PLANS.
- SILT SACKS (OR APPROVED EQUAL) SHALL BE INSTALLED AND MAINTAINED AT ALL EXISTING AND NEWLY INSTALLED DRAINAGE STRUCTURES DURING CONSTRUCTION.

EROSION AND SEDIMENTATION CONTROL NOTES:

- SILT CONTROL SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE. ANY MODIFICATIONS TO SILT CONTROLS SHOWN ON THE APPROVED PLANS AS A RESULT OF ACTUAL FIELD CONDITIONS OR CONSTRUCTION PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH B.M.P. (BEST MANAGEMENT PRACTICES) PER THE E.P.A. 2008 "STORMWATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES" MANUAL. ANY SUCH MODIFICATIONS SHALL BE INSTALLED AS APPROVED THE ENGINEER.
- THE CONTRACTOR SHALL CONDUCT INSPECTIONS AFTER EACH RAINFALL EVENT IN ADDITION TO WEEKLY INSPECTIONS CONDUCTED IN ACCORDANCE WITH THE CITY OF CAMBRIDGE REQUIREMENTS, MADEP AND THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
- AREAS OF EXPOSED SOIL UNDERGOING CONSTRUCTION THAT WILL NOT BE COVERED AND/OR FINISHED GRADED WITHIN 14 DAYS OF EXPOSURE SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL MEASURES WITHIN 14 DAYS OF DISTURBANCE. TEMPORARY EROSION CONTROL MEASURES SHALL INCLUDE EROSION CONTROL MESH, NETTING OR MULCH AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND SHOWN ON THE DESIGN PLANS. IF MULCH IS USED, HAY OR STRAW MULCH SHALL BE APPLIED AT THE RATE OF 2 BALES PER 1,000 SQUARE FEET. APPLICATION AREA SHALL BE SUFFICIENTLY COVERED WITH MULCH TO AVOID ANY VISIBLE SOIL EXPOSURE. MULCH SHALL BE KEPT MOIST TO AVOID LOSS DUE TO WIND. MULCH AND NETTING SHALL BE APPLIED IN THE BASE OF ALL GRASSED WATERWAYS AND IN VEGETATIVE SLOPES WHICH EXCEED 15% AND DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS.
- IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY SEPTEMBER 15 OF THE CONSTRUCTION YEAR, THEN ALL DISTURBED AREAS SHALL BE SEED WITH A WINTER COVER CROP AT THE RATE OF 3 LBS PER 1,000 SQUARE FEET. WINTER SEEDING SHALL BE COVERED WITH EROSION CONTROL MESH (MULCH AND NETTING). HEAVY GRADE MATS SHALL BE USED IN THE BASE OF ALL GRASSED WATERWAYS ON VEGETATED SLOPES IN EXCESS OF 15%, AND ANY DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS. MULCH AND NETTING SHALL ALSO BE PROVIDED FOR ADDITIONAL WINTER PROTECTION.
- ALL TOPSOIL SHALL BE COLLECTED, STOCKPILED, SEED WITH RYE AT 3LBS PER 1,000 SQUARE FOOT AND MULCHED, AND REUSED AS REQUIRED. SILTATION FENCING SHALL BE PLACED DOWN GRADIENT FROM STOCKPILED LOAM. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER AND ENGINEER.
- ALL FILTER BARRIERS, SILT SACKS, AND EROSION CONTROL BERMS SHALL BE INSTALLED ACCORDING TO THE EROSION CONTROL PLAN. THESE SHALL BE MAINTAINED DURING DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER. ALL THE FILTER BARRIERS AND EROSION CONTROL BERMS SHALL BE INSPECTED AFTER ANY RAINFALL OR RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85-90% VIGOROUS PERENNIAL COVER OF GRASSES.
- ROADWAYS SHALL BE SWEEP OR WASHED, ON A DAILY BASIS, TO AVOID TRACKING MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA. A WATERING TRUCK WILL BE USED TO FREQUENTLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS.
- THE CONTRACTOR SHALL USE EXTREME CAUTION TO AVOID ALLOWING SEDIMENTS TO ENTER THE STORM DRAIN SYSTEM DURING CONSTRUCTION. CATCH BASIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION BY THE USE OF STRAW BALE BARRIERS AROUND EACH INLET. SILT SACKS SHALL BE INSTALLED IN ALL EXISTING BASINS. INLET PROTECTION MAY BE REMOVED ONLY AFTER FINISHED AREAS ARE PAVED AND THE VEGETATED SLOPES ARE ESTABLISHED WITH AT LEAST 85-90% OF VIGOROUS PERENNIAL GROWTH.
- REVEGETATION MEASURES SHALL COMMENCE IMMEDIATELY UPON THE COMPLETION OF CONSTRUCTION.
- LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE PER SPECIFICATIONS. LOAM SHALL BE FREE OF SUBSOIL, CLAY LUMPS, STONES AND OTHER OBJECTS OVER 1 INCH IN DIAMETER, AND WITHOUT WEEDS, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- IN LIEU OF SOIL TESTS, SOIL AMENDMENTS MAY BE APPLIED AS FOLLOWS:
 - 10-20-20 FERTILIZER (N-P205-K20 OR EQUAL) -APPLICATION RATE= 18.4 LB/1,000 S.F.
 - GROUND LIMESTONE (50% CALCIUM & MAGNESIUM OXIDE) -APPLICATION RATE= 138 LB/1,000 S.F.
- FOLLOWING SEED BED PREPARATION, SWALE AREAS, FILL AREAS AND BACK SLOPES SHALL BE SEED AT A RATE OF 3LBS PER 1,000 S.F. WITH A MIXTURE OF 35% CREEPING RED FESCUE, 6% RED TOP, 24% KENTUCKY BLUEGRASS, 10% PERENNIAL RYE GRASS, 20% ANNUAL RYE GRASS AND 5% WITH DUTCH COVER.
- EROSION CONTROL MESH SHALL BE APPLIED IN ACCORDANCE WITH THE PLANS OVER ALL FINISHED SEEDING AREAS AS SPECIFIED ON THE DESIGN PLANS.
- ALL FILTER FABRIC SHALL REMAIN IN PLACE UNTIL SEEDINGS HAVE BECOME 85-90% ESTABLISHED AND THEN REMOVED WITHIN 10 DAYS.
- AT THE OWNER'S DISCRETION AND FROM REQUESTS MADE BY THE TOWN OF ACTON, ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED TO MAINTAIN STABILITY OF EARTHWORKS AND FINISHED GRADED AREAS. THE CONTRACTOR, AT HIS EXPENSE, WILL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ANY ADDITIONAL MEASURES AS SPECIFIED BY THE OWNER. THIS INCLUDES BUT IS NOT LIMITED TO REQUESTS BY MA DEP. AND THE MUNICIPALITY, AS AUTHORIZED BY THE OWNER. FAILURE TO COMPLY WITH THE OWNER'S DIRECTIONS WILL RESULT IN DISCONTINUATION OF CONSTRUCTION ACTIVITIES.
- INSPECTIONS AND MONITORING MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. WEEKLY INSPECTIONS SHALL BE HELD THROUGH THE DURATION OF CONSTRUCTION ACTIVITY. WEEKLY INSPECTION REPORTS SHALL BE MAINTAINED IN THE CONTRACTORS FIELD OFFICE. IN ADDITION TO THE NORMAL WEEKLY INSPECTIONS, THE CONTRACTOR SHALL PERFORM AN INSPECTION OF ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL OR RUNOFF EVENT, AND PERFORM THE NECESSARY REPAIRS. THE INSPECTIONS SHALL INCLUDE BUT NOT BE LIMITED TO THE SITE'S DOWN STREAM DISCHARGE POINTS.
- IF ANY EVIDENCE OF SEDIMENTATION IS OBSERVED AT THE STORMWATER MANAGEMENT POND AREA INLETS, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, PROVIDE A PLAN TO THE ENGINEER TO REMOVE ANY ACCUMULATED SEDIMENT IN THESE AREAS. THE CONTRACTOR SHALL ALSO IMMEDIATELY PROVIDE ADDITIONAL ON SITE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT FURTHER DEGRADATION OF THE AREA.
- FOLLOWING THE TEMPORARY OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE WORK AREA SEMIMONTHLY TO ENSURE THE AREAS HAVE A MINIMUM OF 85-90% VEGETATED VIGOROUS GROWTH. RE-SEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.
- THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE TOWN OF ACTON HIGHWAY DEPARTMENT AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.

DIGSAFE: 1-800-344-7233
ACTON HIGHWAY DEPT.: 1-978-929-7740
- CONTRACTOR TO POST SIGNAGE ON THE SITE THAT LISTS THE DPW 24-HOUR HOTLINE NUMBER (617) 349-4800, WITH THE NAME AND NUMBER OF THE RESPONSIBLE CITY PROJECT MANAGER / INSPECTOR.FOR THE SITE.

POST-DEVELOPMENT NOTES:

- PAVED AREAS - PAVED AREAS SHOULD BE SWEEP AS PART OF THE ROUTINE SITE MAINTENANCE. PAVEMENT SWEEPING IS AN EXCELLENT SOURCE CONTROL FOR SEDIMENTATION TO THE EXISTING DRAINAGE SYSTEM AND IS TYPICALLY PERFORMED IN THE SPRING OF EACH YEAR FOLLOWING THE SNOW MELT.
- SALT FOR DE-ICING ON THE PAVED AREAS DURING THE WINTER MONTHS SHALL BE LIMITED TO THE MINIMUM AMOUNT PRACTICABLE. SAND CONTAINING THE MINIMUM AMOUNT OF CALCIUM CHLORIDE (OR APPROVED EQUIVALENT) NEEDED FOR HANDLING MAY BE APPLIED AS PART OF THE ROUTINE WINTER MAINTENANCE ACTIVITIES.

ABBREVIATIONS

ABAN	ABANDON	L	LENGTH
ADJ	ADJUST	LB	LEACHING BASIN
		LP	LIGHT POLE
B	BORING	MAT	MATERIAL
BC	BOTTOM OF CURB	MAX	MAXIMUM
BIT	BITUMINOUS	MH	MANHOLE
BCB	BITUMINOUS CONCRETE BERM	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BM	BENCH MARK	MOUNT	MOUNTED
BOS	BOTTOM OF SLOPE	MTD	MONITORING WELL
BOW	BOTTOM OF WALL		
BRK	BRICK	N	NORTH
BV&B	BUTTERFLY VALVE & BOX	NIC	NOT IN CONTRACT
BVW	BORDERING VEGETATED WETLAND	NO	NUMBER
		NTS	NOT TO SCALE
CATV	CABLE TELEVISION	OC	ON CENTER
CB	CATCH BASIN	OD	OUTSIDE DIAMETER
CF	CUBIC FEET	OHW	OVERHEAD WIRE
CFS	CUBIC FEET PER SECOND	OVHD	OVERHEAD
CI	CAST IRON (PIPE)	OW	OBSERVATION WELL
CL	CENTERLINE		
CLDI	CEMENT LINED DUCTILE IRON (PIPE)	PC	POINT OF CURVATURE
CM	CONSTRUCTION MANAGER	PCC	POINT OF COMPOUND CURVATURE
CMP	CORRUGATED METAL PIPE	PI	POINT OF INTERSECTION
CO	CLEAN OUT	PKG	PARKING
CONC	CONCRETE	PL	PROPERTY LINE
CONST	CONSTRUCTION	PLMB	PLUMBING
CONT	CONTRACTOR	POC	POINT ON CURVATURE
CRD	COORDINATE	POT	POINT ON TANGENT
CPC	CORRUGATED POLYETHYLENE PIPE	PRC	POINT OF REVERSE CURVATURE
CUL	CULVERT	PROP, P	PROPOSED
CY	CUBIC YARD	PT	POINT (OR POINT OF TANGENT)
		PVC	POLYVINYL CHLORIDE (PIPE)
DB	DISTRIBUTION BOX		
DBL	DOUBLE	R&R	REMOVE & RESET/REPLACE
DEM	DEMOLISH	R&S	REMOVE & STACK
DET	DETENTION	RCP	REINFORCED CONCRETE PIPE
DI	DUCTILE IRON (PIPE)	RD	ROAD (OR ROOF DRAIN)
DIA	DIAMETER	RED	REDUCER
DIM	DIMENSION	RELOC	RELOCATE
DMH	DRAIN MANHOLE	REM	REMOVE
DW	DOMESTIC WATER (OR DRY WELL)	RET	RETAIN, RETAINING OR RETENTION
DWG	DRAWING	ROW	RIGHT OF WAY
DYCL	DOUBLE YELLOW CENTERLINE	RR	RAILROAD
		RWL	RAIN WATER LEADER
		RWY	ROADWAY
EHH	ELECTRIC HANDHOLE	SD	SUBDRAIN
ELEV	ELEVATION	SF	SQUARE FEET
ELEC	ELECTRIC	SGC	SLOPED GRANITE CURB
EMH	ELECTRIC MANHOLE	SMH	SEWER MANHOLE
EOP	EDGE OF PAVEMENT	SP	STANDPIPE
EOR	EDGE OF ROAD	SPEC	SPECIFICATION
EOW	EDGE OF WETLANDS	STA	STATION
EW	ELECTRIC, TELEPHONE, CABLE	STC	STORMCEPTOR
EXIST	EXISTING	STD	STANDARD
EXT	EXTERIOR	STRTL	STRUCTURAL
		SWEL	SOLID WHITE EDGE LINE
FA	FIRE ALARM	SW	SIDEWALK
FCC	FLUSH CONCRETE CURB	SWLL	SOLID WHITE LANE LINE
FES	FLARED END SECTION	SYCL	SOLID YELLOW CENTERLINE
FFE	FINISH FLOOR ELEVATION		
FLNP	FIRE LANE NO PARKING	TB	TEST BORING
FPS	FEET PER SECOND	TC	TOP OF CURB
FS	FIRE SERVICE	TD	TRENCH DRAIN
FT	FOOT/FEET	TEL, T	TELEPHONE
		TMH	TELEPHONE MANHOLE
GC	GENERAL CONTRACTOR	TOS	TOP OF SLOPE
GEN	GENERAL	TOW	TOP OF WALL
GG	GAS GATE	TP	TEST PIT
GR	GUIDE RAIL	TS&V	TAPPING SLEEVE & VALVE
GRAN	GRANITE	TYP	TYPICAL
GV	GATE VALVE		
GV&B	GATE VALVE & BOX	UD	UNDERDRAIN
GW	GROUND WATER	UL	UNDERWRITERS LABORATORY
		UP	UTILITY POLE
HOR	HORIZONTAL	VCP	VITRIFIED CLAY PIPE
HT	HEIGHT	VERT	VERTICAL
HW	HEADWALL	VGC	VERTICAL GRANITE CURB
Hwy	HIGHWAY		
HYD	HYDRANT	WD	WOOD
		WG	WATER GATE
ID	INSIDE DIAMETER	WM	WATER MAIN
IN	INCHES	WMH	WATER MANHOLE
INCL	INCLUDE	WSO	WATER SHUTOFF
INST	INSTALLED		
INV, I.E.	INVERT, INVERT ELEVATION		

POST-DEVELOPMENT NOTES CONTINUED:

- CATCH BASINS AND OUTLET STRUCTURE - GRATES AND DEEP SUMPS SHALL BE INSPECTED AND CLEANED FOUR TIMES PER YEAR FOR THE FIRST THREE YEARS AND THEN TWICE YEARLY THEREAFTER. CATCH BASINS AND OUTLET STRUCTURE SHALL BE INSPECTED FOLLOWING HEAVY RAINFALLS TO VERIFY THAT THE INLET OPENINGS ARE NOT CLOGGED BY DEBRIS. DEBRIS SHALL BE REMOVED FROM THE GRATES AND DISPOSED OF PROPERLY. MATERIAL REMOVED FROM STRUCTURES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- ALL SEDIMENTS REMOVED FROM SITE DRAINAGE FACILITIES SHALL BE DISPOSED OF PROPERLY, AND IN ACCORDANCE WITH APPLICABLE LOCAL AND STATE REGULATIONS.
- ALL VEGETATED AREAS ON THE SITE SHALL BE STABILIZED AND MAINTAINED TO CONTROL EROSION. ANY DISTURBED AREAS SHALL BE RE-SEEDDED AS SOON AS PRACTICABLE.
- WORK WITHIN ANY DRAINAGE STRUCTURES SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS, AND ONLY BY INDIVIDUALS WITH APPROPRIATE OSHA CERTIFICATION.
- MAINTENANCE RESPONSIBILITIES - ALL POST-CONSTRUCTION MAINTENANCE ACTIVITIES SHALL BE DOCUMENTED AND KEPT ON FILE AND MADE AVAILABLE TO THE PROPER TOWN AUTHORITIES UPON REQUEST.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

Development of McCarthy Village II

ACTON HOUSING AUTHORITY

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BAKER/WOHL ARCHITECTS



132 LINCOLN STREET, #4
BOSTON, MA 02111
TEL: 617.350.7420
FAX: 617.350.5383

Project No: 1298-08
Drawn By: BDJ
Checked By: TJW
Issue Date: JUNE 25, 2010

Revisions			
No	Date	Description	By

Drawing Title:

ABBREVIATION & NOTES

Drawing Number:

A-1

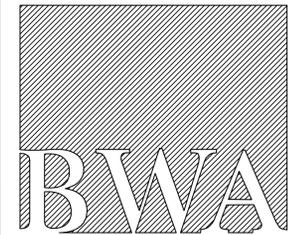
ACTON HOUSING AUTHORITY

McCARTHY VILLAGE II

SACHEM WAY
ACTON, MA



BAKER/WOHL ARCHITECTS



132 LINCOLN STREET, #4
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TEL: 617.350.7420
FAX: 617.350.5383

Project No: 2915
Drawn By: JT
Checked By: AI/BB
Issue Date: 25 JUNE 2010

Revisions	No	Date	Description	By

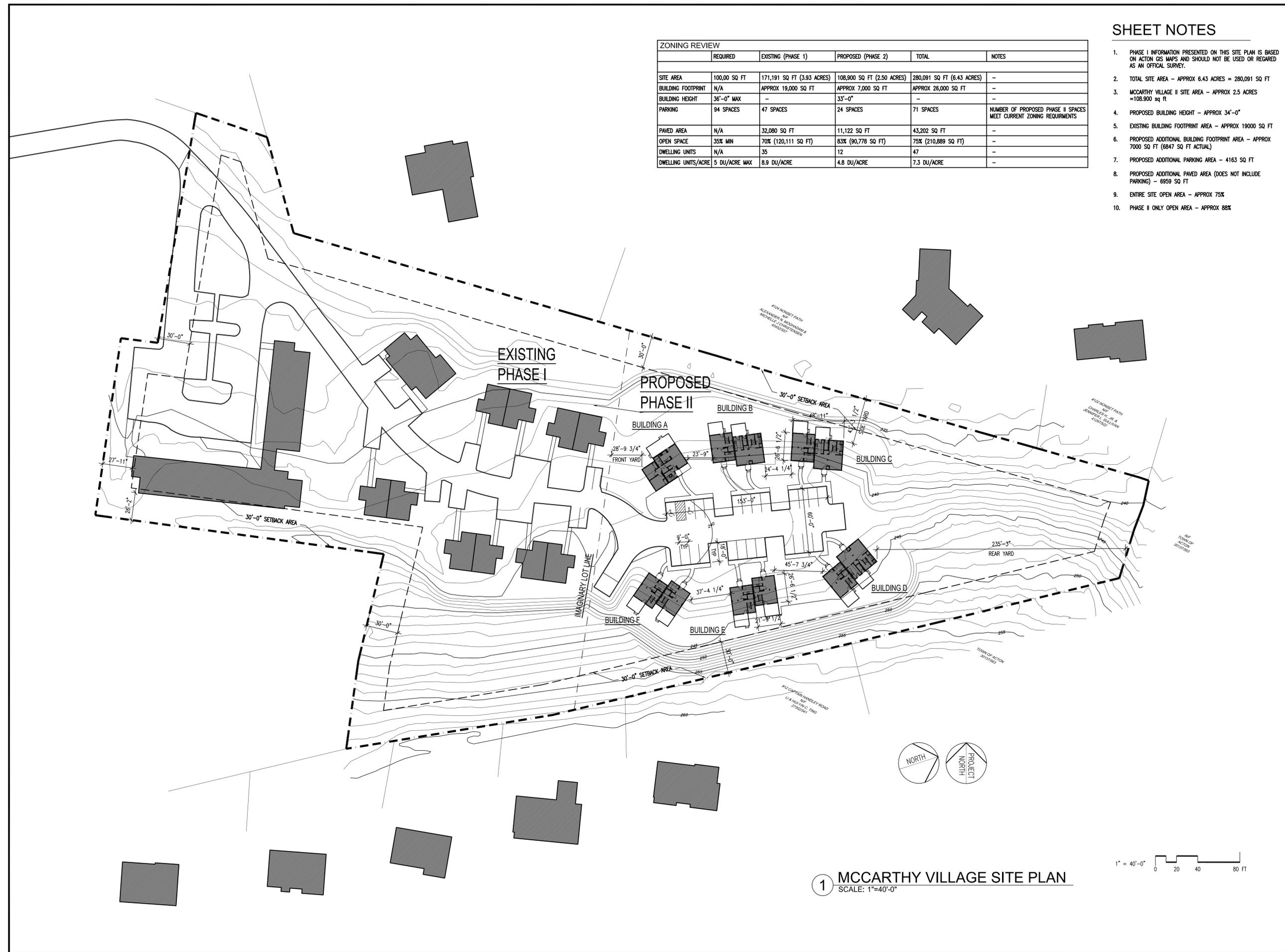
Drawing Title:
COMBINED SITE PLAN

Drawing Number:
A-2

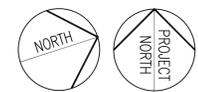
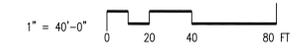
SHEET NOTES

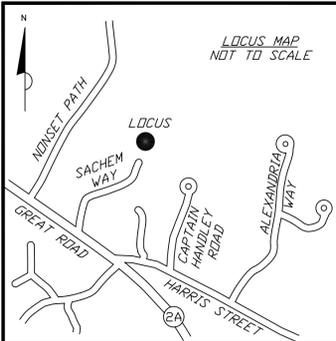
- PHASE I INFORMATION PRESENTED ON THIS SITE PLAN IS BASED ON ACTON GIS MAPS AND SHOULD NOT BE USED OR REGARDED AS AN OFFICIAL SURVEY.
- TOTAL SITE AREA - APPROX 6.43 ACRES = 280,091 SQ FT
- MCCARTHY VILLAGE II SITE AREA - APPROX 2.5 ACRES = 108,900 sq ft
- PROPOSED BUILDING HEIGHT - APPROX 34'-0"
- EXISTING BUILDING FOOTPRINT AREA - APPROX 19000 SQ FT
- PROPOSED ADDITIONAL BUILDING FOOTPRINT AREA - APPROX 7000 SQ FT (6847 SQ FT ACTUAL)
- PROPOSED ADDITIONAL PARKING AREA - 4163 SQ FT
- PROPOSED ADDITIONAL PAVED AREA (DOES NOT INCLUDE PARKING) - 6959 SQ FT
- ENTIRE SITE OPEN AREA - APPROX 75%
- PHASE II ONLY OPEN AREA - APPROX 88%

ZONING REVIEW					
	REQUIRED	EXISTING (PHASE 1)	PROPOSED (PHASE 2)	TOTAL	NOTES
SITE AREA	100,00 SQ FT	171,191 SQ FT (3.93 ACRES)	108,900 SQ FT (2.50 ACRES)	280,091 SQ FT (6.43 ACRES)	-
BUILDING FOOTPRINT	N/A	APPROX 19,000 SQ FT	APPROX 7,000 SQ FT	APPROX 26,000 SQ FT	-
BUILDING HEIGHT	36'-0" MAX	-	33'-0"	-	-
PARKING	94 SPACES	47 SPACES	24 SPACES	71 SPACES	NUMBER OF PROPOSED PHASE II SPACES MEET CURRENT ZONING REQUIREMENTS
PAVED AREA	N/A	32,080 SQ FT	11,122 SQ FT	43,202 SQ FT	-
OPEN SPACE	35% MIN	70% (120,111 SQ FT)	83% (90,778 SQ FT)	75% (210,889 SQ FT)	-
DWELLING UNITS	N/A	35	12	47	-
DWELLING UNITS/ACRE	5 DU/ACRE MAX	8.9 DU/ACRE	4.8 DU/ACRE	7.3 DU/ACRE	-



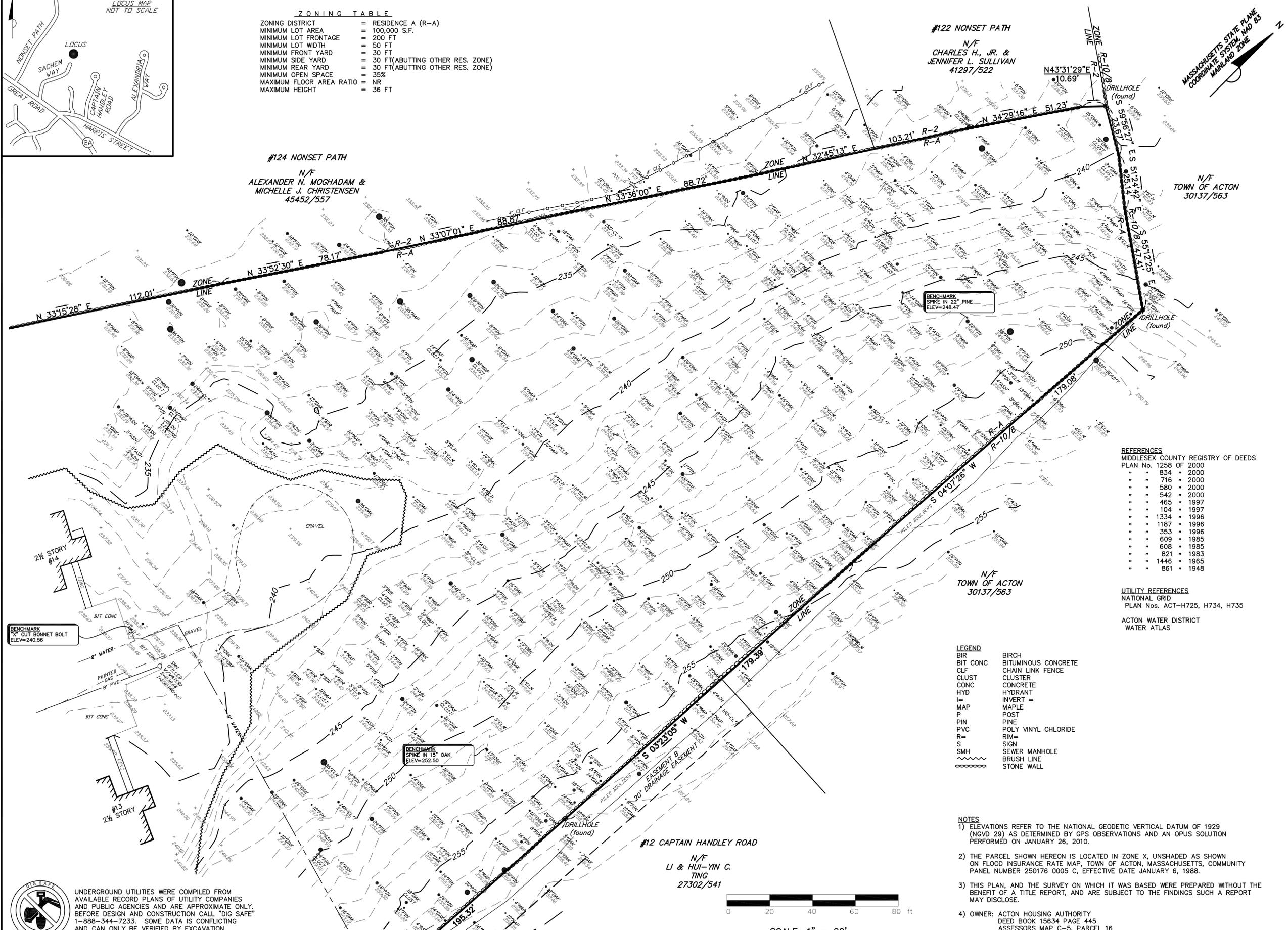
1 MCCARTHY VILLAGE SITE PLAN
SCALE: 1"=40'-0"





ZONING TABLE

ZONING DISTRICT	= RESIDENCE A (R-A)
MINIMUM LOT AREA	= 100,000 S.F.
MINIMUM LOT FRONTAGE	= 70 FT
MINIMUM LOT WIDTH	= 50 FT
MINIMUM FRONT YARD	= 30 FT
MINIMUM SIDE YARD	= 30 FT (ABUTTING OTHER RES. ZONE)
MINIMUM REAR YARD	= 30 FT (ABUTTING OTHER RES. ZONE)
MINIMUM OPEN SPACE	= 35%
MAXIMUM FLOOR AREA RATIO	= NR
MAXIMUM HEIGHT	= 36 FT



REFERENCES

MIDDLESEX COUNTY REGISTRY OF DEEDS

PLAN No.	1258	OF	2000
"	834	"	2000
"	716	"	2000
"	580	"	2000
"	542	"	2000
"	465	"	1997
"	104	"	1997
"	1334	"	1996
"	1187	"	1996
"	353	"	1996
"	609	"	1985
"	608	"	1985
"	821	"	1983
"	1446	"	1965
"	861	"	1948

UTILITY REFERENCES

NATIONAL GRID

PLAN Nos. ACT-H725, H734, H735

ACTON WATER DISTRICT
WATER ATLAS

LEGEND

BIR	BIRCH
BIT CONC	BITUMINOUS CONCRETE
CLF	CHAIN LINK FENCE
CLUST	CLUSTER
CONC	CONCRETE
HYD	HYDRANT
I=	INVERT =
M=	MAPLE
P	POST
PIN	PINE
PVC	POLY VINYL CHLORIDE
R=	RIM=
S	SIGN
SMH	SEWER MANHOLE
~~~~~	BRUSH LINE
~~~~~	STONE WALL

- NOTES**
- ELEVATIONS REFER TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29) AS DETERMINED BY GPS OBSERVATIONS AND AN OPUS SOLUTION PERFORMED ON JANUARY 26, 2010.
 - THE PARCEL SHOWN HEREON IS LOCATED IN ZONE X, UNSHADED AS SHOWN ON FLOOD INSURANCE RATE MAP, TOWN OF ACTON, MASSACHUSETTS, COMMUNITY PANEL NUMBER 250176 0005 C, EFFECTIVE DATE JANUARY 6, 1988.
 - THIS PLAN, AND THE SURVEY ON WHICH IT WAS BASED WERE PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, AND ARE SUBJECT TO THE FINDINGS SUCH A REPORT MAY DISCLOSE.
 - OWNER: ACTON HOUSING AUTHORITY
DEED BOOK 15634 PAGE 445
ASSESSORS MAP C-5, PARCEL 16



UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL "DIG SAFE" 1-888-344-7233. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.

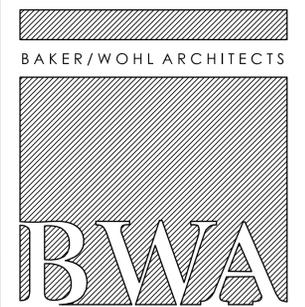
ACTON HOUSING AUTHORITY

McCARTHY VILLAGE II

SACHEM WAY
ACTON, MA



Precision Land Surveying, Inc.
32 Tumpike Road
Southborough, Massachusetts 01772
TELE No: (508) 460-1789 FAX No: (508) 970-0096
3678TP1.DWG



132 LINCOLN STREET, #4
BOSTON, MA 02111
TEL: 617.350.7420
FAX: 617.350.5383

Project No:	2915
Drawn By:	MAP
Checked By:	DJT/MAP
Issue Date:	2/10/2010

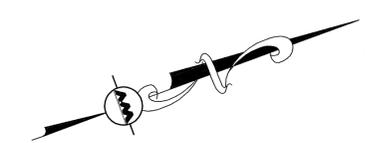
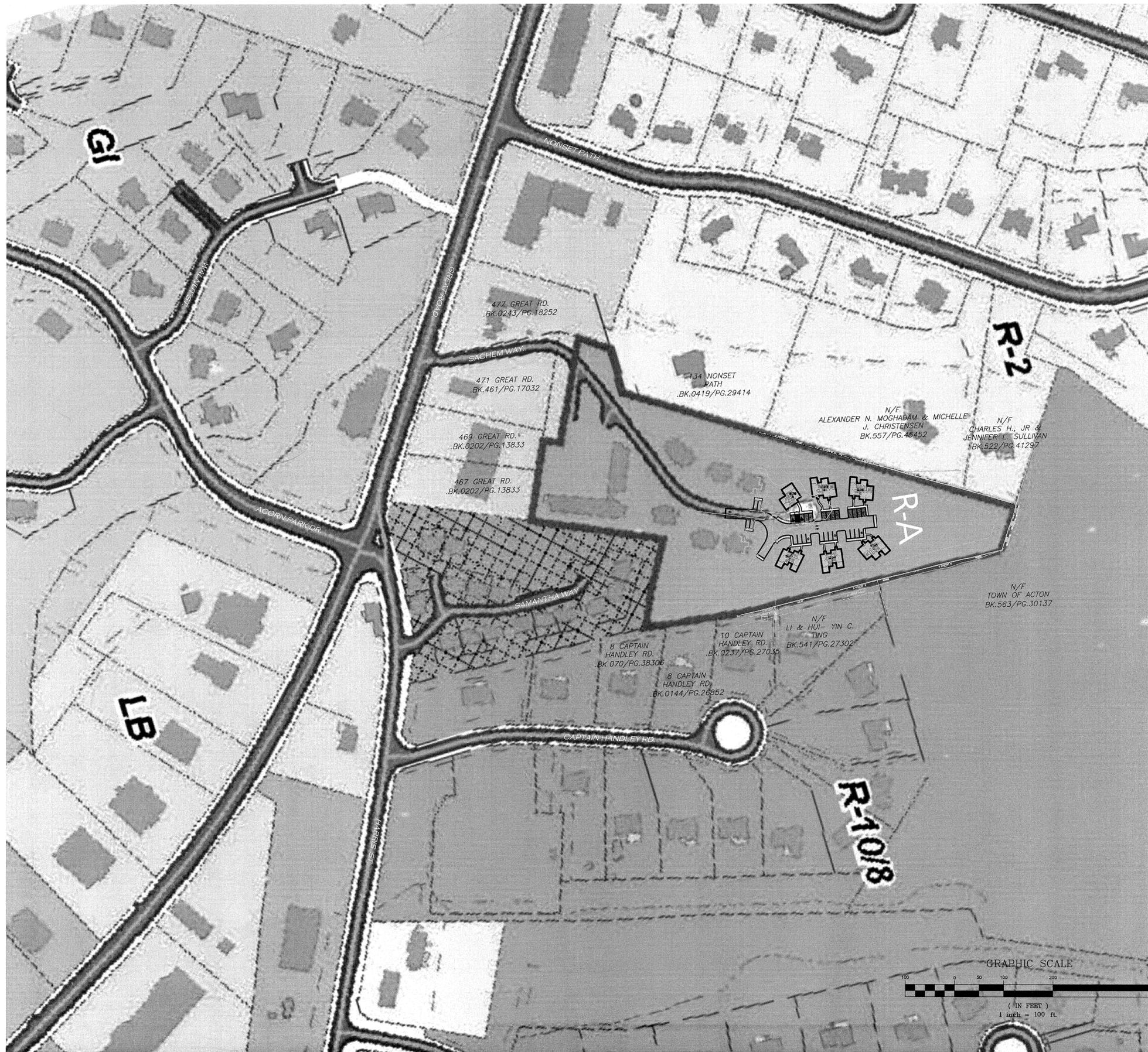
Revisions

No	Date	Description	By

Drawing Title:
SITE SURVEY

Drawing Number:
X-1

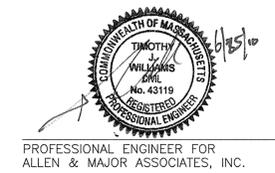
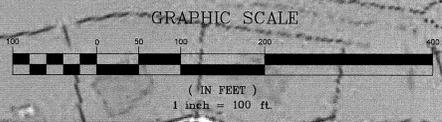
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LAND USAGE TABLE - RESIDENTIAL ZONE R-A

ITEM	REQUIRED	EXISTING (PHASE 1)	PROPOSED (PHASES 1&2)
LOT AREA (MIN.)	100,000 S.F.	280,091± S.F.	280,091± S.F.
LOT FRONTAGE (MIN.)	200'	0'	0'
LOT WIDTH (MIN.)	50'	96'±	96'±
FRONT YARD SETBACK (MIN.)	30'	N/A	N/A
SIDE YARD SETBACK (MIN.)	30'	26'±	38'±
REAR YARD SETBACK (MIN.)	30'	504'±	232'±
OPEN SPACE (MIN.)	35%	75%±	66%±
DWELLING UNIT DENSITY	N.R.	3.6± UNIT/AC.	5.4± UNIT/AC.
FLOOR AREA RATIO (MAX.)	N.R.	6.7%±	9.3%±
BUILDING COVERAGE	N.R.	19,000± S.F.	26,000± S.F.
IMPERVIOUS COVERAGE(TOTAL)	N.R.	51,924± S.F.	70,023± S.F.
BUILDING HEIGHT (MAX)	36'	34'	34'

- NOTES:**
- EXISTING CONDITIONS DATA IS TAKEN FROM A PLAN TITLED "SITE SURVEY" CREATED BY PRECISION LAND SURVEYING, INC. DATED 2/10/2010.
 - ZONE LINE AND ABUTTER INFORMATION SCALED FROM TOWN OF ACTON GIS DATA.
 - BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM TOWN OF ACTON GIS DATA.



Development of McCarthy Village II

ACTON HOUSING AUTHORITY

COMPREHENSIVE PERMIT
NOT FOR CONSTRUCTION



BAKER/WOHL ARCHITECTS



132 LINCOLN STREET, #4
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FAX: 617.350.5383

Project No: 1298-08
Drawn By: BDJ
Checked By: TJW
Issue Date: JUNE 25, 2010

Revisions	No	Date	Description	By

Drawing Title:
MASTER PLAN

Drawing Number:
C-1

Development of McCarthy Village II

ACTON HOUSING AUTHORITY

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BAKER/WOHL ARCHITECTS



132 LINCOLN STREET, #4
BOSTON, MA 02111
TEL: 617.350.7420
FAX: 617.350.5383

Project No: 1298-08

Drawn By: BDJ

Checked By: TJW

Issue Date: JUNE 25, 2010

Revisions

No	Date	Description	By

Drawing Title:

LAYOUT & MATERIAL PLAN

Drawing Number:

C-2

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OFF-STREET PARKING SUMMARY

MULTIFAMILY DWELLING: 2 SPACES PER UNIT REQUIRED								
35 UNITS EXISTING								
12 UNITS PROPOSED								
47 UNITS TOTAL								
USE	STANDARD SPACES		ACCESSIBLE SPACES		TOTAL SPACES			
	EXISTING (PHASE 1)	PROPOSED (PHASE 2)	EXISTING (PHASE 1)	PROPOSED (PHASE 2)	EXISTING (PHASE 1)	PROPOSED (PHASE 2)	TOTAL (PHASES 1&2)	REQUIRED (TOTAL)
SITE TOTAL	45	22	2	2	47	24	71	94

LAND USAGE TABLE - RESIDENTIAL ZONE R-A

ITEM	REQUIRED	EXISTING (PHASE 1)	PROPOSED (PHASES 1&2)
LOT AREA (MIN.)	100,000 S.F.	280,091± S.F.	280,091± S.F.
LOT FRONTAGE (MIN.)	200'	0'	0'
LOT WIDTH (MIN.)	50'	96'±	96'±
FRONT YARD SETBACK (MIN.)	30'	N/A	N/A
SIDE YARD SETBACK (MIN.)	30'	26'±	38'±
REAR YARD SETBACK (MIN.)	30'	504'±	232'±
OPEN SPACE (MIN.)	35%	75%±	66%±
DWELLING UNIT DENSITY	N.R.	3.6± UNIT/AC.	5.4± UNIT/AC.
FLOOR AREA RATIO (MAX.)	N.R.	6.7%±	9.3%±
BUILDING COVERAGE	N.R.	19,000± S.F.	26,000± S.F.
IMPERVIOUS COVERAGE(TOTAL)	N.R.	51,924± S.F.	70,023± S.F.
BUILDING HEIGHT (MAX)	36'	34'	34'

LEGEND:

PROPERTY LINE	
SIGN	
BUILDING	
BUILDING ARCHITECTURE	
CAPE COD BERM CURB	
PARKING STRIPING	
TRAFFIC ARROWS	
SIDEWALK	
ADA ACCESSIBLE RAMP	
ADA DET. WARNING SURFACE	
SNOW STORAGE	
SAWCUT LINE	
SETBACK LINE	
BASELINE	
BASELINE DATA LABEL	
BASELINE STATIONING	
PARKING COUNT	



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GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

N:\PROJECTS\1298-08\CIVIL\DRAWINGS\CURRENT\C-1298-08 - LAYOUT.DWG

Development of McCarthy Village II

ACTON HOUSING AUTHORITY

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BAKER/WOHL ARCHITECTS



132 LINCOLN STREET, #4
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Project No: 1298-08
Drawn By: BDJ
Checked By: TJW
Issue Date: JUNE 25, 2010

Revisions	No	Date	Description	By

Drawing Title:

GRADING & DRAINAGE PLAN

Drawing Number:

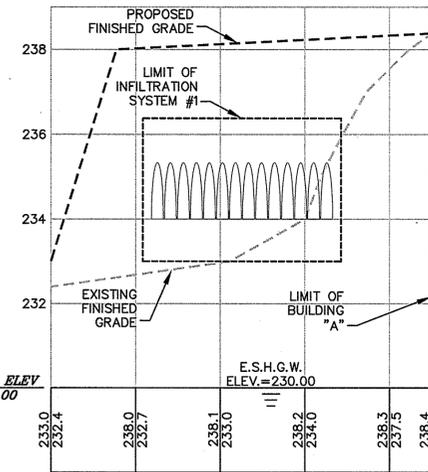
C-3

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TEST PIT INFORMATION

PERFORMED BY: UTS OF MASSACHUSETTS

DEPTH	DESCRIPTION	ELEVATION
0"	B-1 ORGANIC FOREST MAT	ELEV.=232.00
6"	RUST BROWN, FINE SAND & SILT, TRACE LOAM, ROOTS, ORGANICS, WET	230.00
30"	BROWN, FINE TO MEDIUM SAND, SOME SILT, LITTLE TO TRACE GRAVEL, COBBLES, WET	210.00
264"		

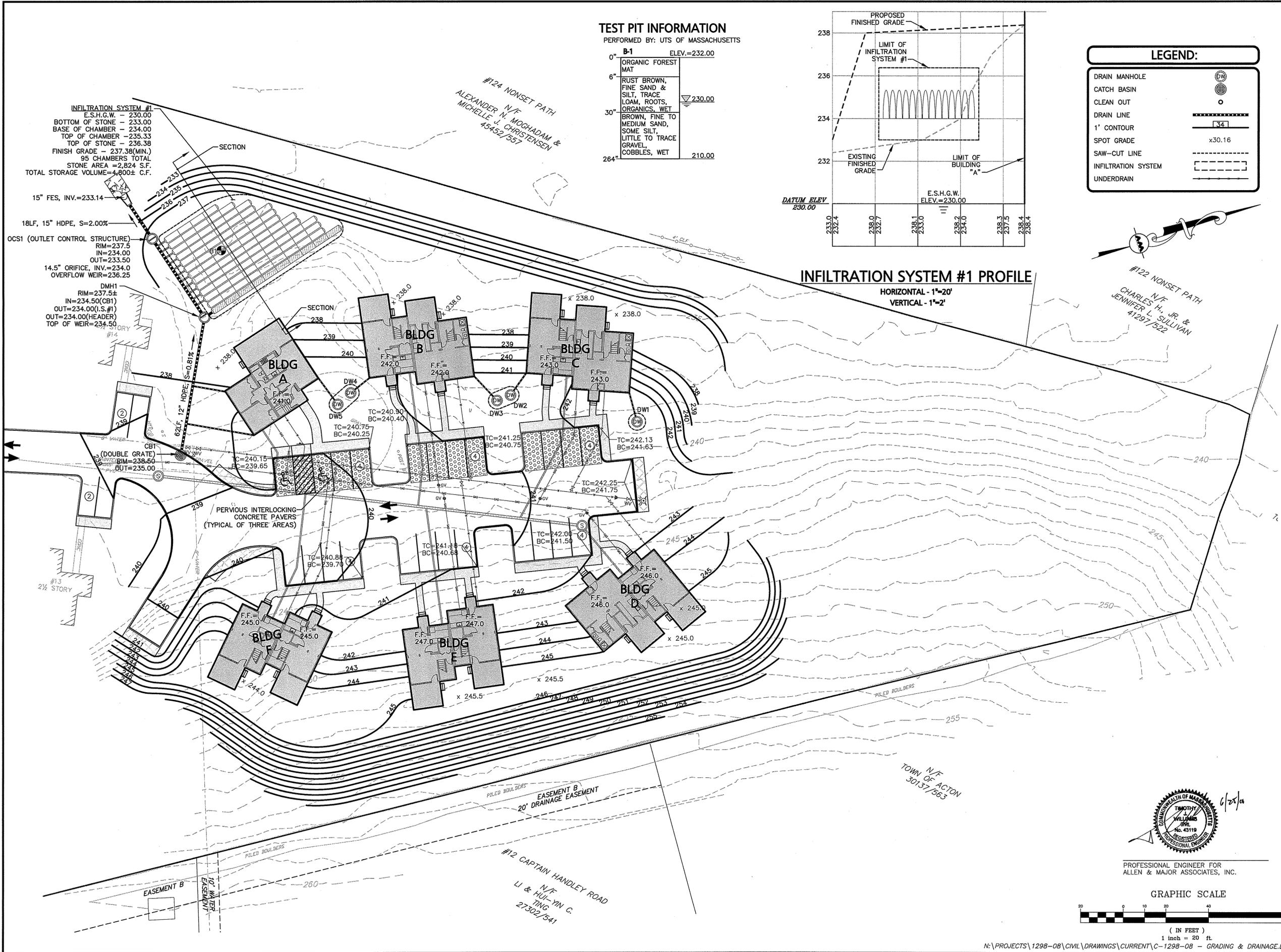
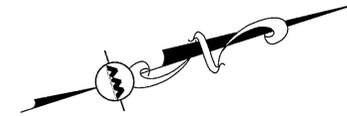


INfiltration System #1 PROFILE

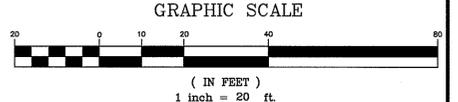
HORIZONTAL - 1"=20'
VERTICAL - 1"=2'

LEGEND:

- DRAIN MANHOLE
- CATCH BASIN
- CLEAN OUT
- DRAIN LINE
- 1' CONTOUR
- SPOT GRADE
- SAW-CUT LINE
- INFILTRATION SYSTEM
- UNDERDRAIN



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Project No: 1298-08

Drawn By: BDJ

Checked By: TJW

Issue Date: JUNE 25, 2010

Revisions			
No	Date	Description	By

Drawing Title:

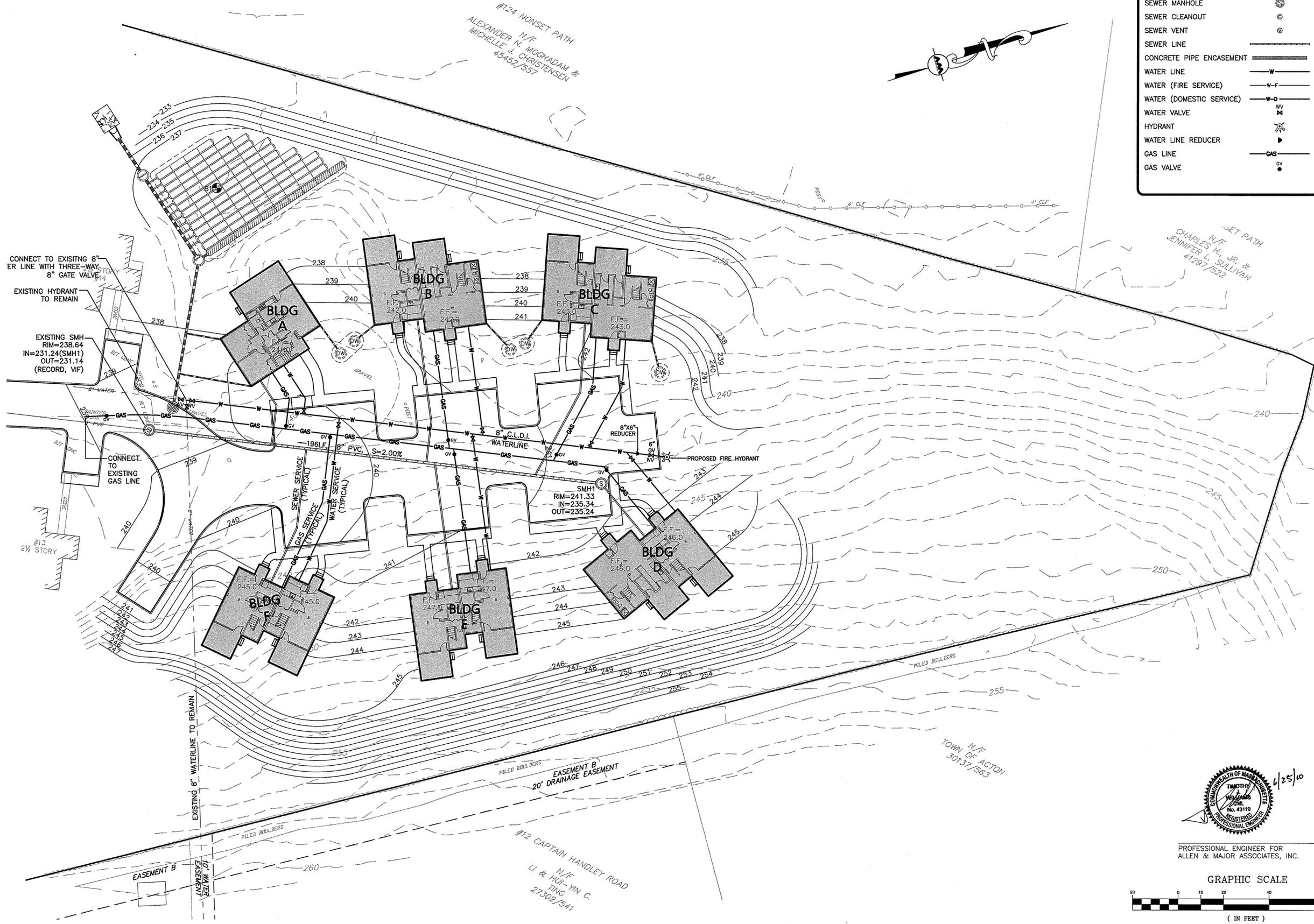
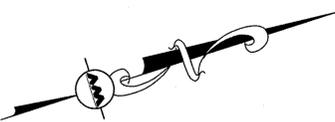
UTILITY PLAN

Drawing Number:

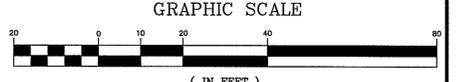
C-4

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LEGEND:	
SEWER MANHOLE	⊙
SEWER CLEANOUT	⊙
SEWER VENT	⊙
SEWER LINE	—
CONCRETE PIPE ENCASMENT	—
WATER LINE	—
WATER (FIRE SERVICE)	—
WATER (DOMESTIC SERVICE)	—
WATER VALVE	WV
HYDRANT	⊙
WATER LINE REDUCER	▶
GAS LINE	—
GAS VALVE	⊙



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.





N ANGLE ENGINEERING INCORPORATED
 32 PRINCE STREET
 DANVERS, MA 01923
 TEL (978) 777-7650

BAKER/WOHL ARCHITECTS



132 LINCOLN STREET, #4
 BOSTON, MA 02111
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 FAX: 617.350.5383

Project No: 2915
 Drawn By: SEG/CWN
 Checked By: GPN
 Issue Date: 24 MAY 2010

Revisions			
No	Date	Description	By

Drawing Title:
ELECTRICAL SITE PLAN & DETAILS

Drawing Number:

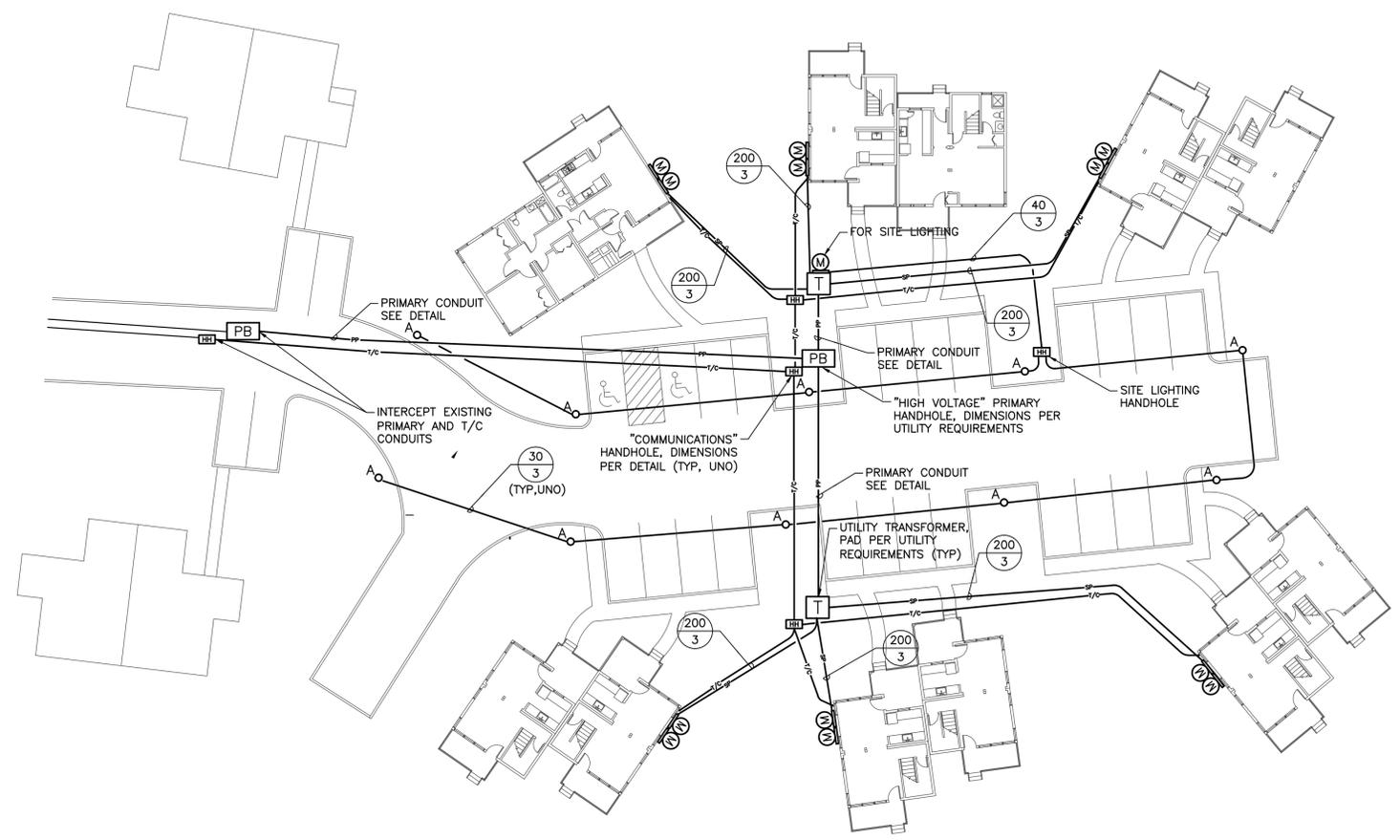
E-1

BRANCH CIRCUIT AND FEEDER SCHEDULE

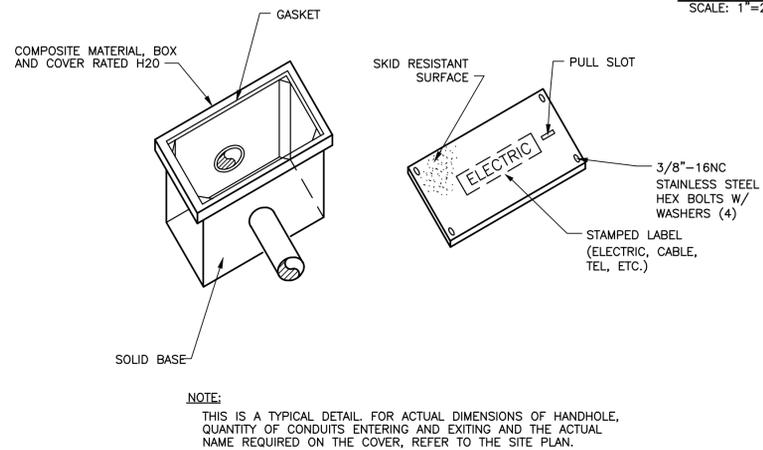
(X) INDICATES NOMINAL AMPACITY
 (X) INDICATES QUANTITY OF PHASE AND/OR NEUTRAL CONDUCTORS

NOM. AMPACITY	QTY. OF COND.	PHASE AND/OR NEUTRAL CONDUCTORS AND GROUND	RACEWAY SIZE	
			EMT	RMC
30	2	(2)#10 & 1#10 GND.	3/4"	3/4"
	3	(3)#10 & 1#10 GND.	3/4"	3/4"
	4	(4)#10 & 1#10 GND.	3/4"	3/4"
40	2	(2)#8 & 1#10 GND.	3/4"	3/4"
	3	(3)#8 & 1#10 GND.	3/4"	3/4"
	4	(4)#8 & 1#10 GND.	3/4"	3/4"
50	2	(2)#8 & 1#10 GND.	3/4"	3/4"
	3	(3)#8 & 1#10 GND.	3/4"	3/4"
	4	(4)#8 & 1#10 GND.	3/4"	3/4"
60	2	(2)#6 & 1#10 GND.	3/4"	3/4"
	3	(3)#6 & 1#10 GND.	3/4"	3/4"
	4	(4)#6 & 1#10 GND.	1"	1"
70	2	(2)#4 & 1#8 GND.	1"	1"
	3	(3)#4 & 1#8 GND.	1"	1"
	4	(4)#4 & 1#8 GND.	1 1/4"	1 1/4"
100	2	(2)#3 & 1#8 GND.	1"	1"
	3	(3)#3 & 1#8 GND.	1"	1"
	4	(4)#3 & 1#8 GND.	1 1/4"	1 1/4"
125	3	(3)#1 & 1#6 GND.	1 1/4"	1 1/4"
	4	(4)#1 & 1#6 GND.	1 1/2"	1 1/2"
	3	(3)#1/0 & 1#6 GND.	1 1/2"	1 1/4"
150	4	(4)#1/0 & 1#6 GND.	1 1/2"	1 1/2"
	3	(3)#2/0 & 1#6 GND.	1 1/2"	1 1/2"
	4	(4)#2/0 & 1#6 GND.	2"	2"
200	3	(3)#3/0 & 1#6 GND.	2"	2"
	4	(4)#3/0 & 1#6 GND.	2"	2"
	3	(3)#4/0 & 1#4 GND.	2"	2"
225	4	(4)#4/0 & 1#4 GND.	2 1/2"	2 1/2"
	3	(3)-250 KCMIL & 1#4 GND.	2"	2"
	4	(4)-250 KCMIL & 1#4 GND.	2 1/2"	2 1/2"
250	3	(3)-350 KCMIL & 1#4 GND.	2 1/2"	2 1/2"
	4	(4)-350 KCMIL & 1#4 GND.	2 1/2"	3"
	3	(3)-500 KCMIL & 1#3 GND.	2 1/2"	3"
300	4	(4)-500 KCMIL & 1#3 GND.	3"	3"
	3	(3)-500 KCMIL & 1#3 GND.	2 1/2"	3"
	4	(4)-500 KCMIL & 1#3 GND.	3"	3"
400	3	(6)-250 KCMIL & 2#2 GND.	(2) 2 1/2"	(2) 2 1/2"
	4	(8)-250 KCMIL & 2#2 GND.	(2) 2 1/2"	(2) 2 1/2"
	3	(6)-350 KCMIL & 2#1 GND.	(2) 2 1/2"	(2) 2 1/2"
600	4	(8)-350 KCMIL & 2#1 GND.	(2) 2 1/2"	(2) 3"
	3	(6)-500 KCMIL & 2#1/0 GND.	(2) 2 1/2"	(2) 3"
	4	(8)-500 KCMIL & 2#1/0 GND.	(2) 3"	(2) 3"
800	3	(9)-400 KCMIL & 3#2/0 GND.	(3) 2 1/2"	(3) 3"
	4	(12)-400 KCMIL & 3#2/0 GND.	(3) 3"	(3) 3"
	3	(9)-600 KCMIL & 3#3/0 GND.	(3) 3"	(3) 3"
1000	4	(12)-600 KCMIL & 3#3/0 GND.	(3) 3 1/2"	(3) 3 1/2"
	3	(9)-600 KCMIL & 4#4/0 GND.	(4) 3"	(4) 3"
	4	(16)-600 KCMIL & 4#4/0 GND.	(4) 3 1/2"	(4) 3 1/2"

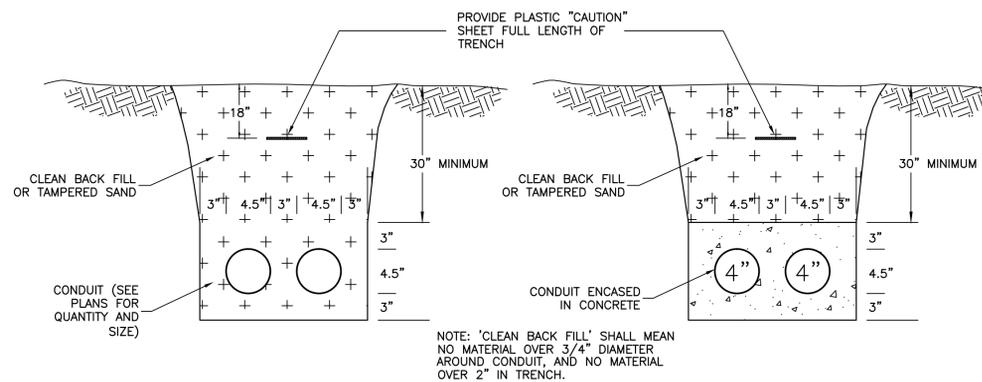
NOTE - RACEWAY SIZE BASED ON EMT/RMC TYPE THIN COPPER CONDUCTORS. ADJUST AS REQUIRED FOR OTHER RACEWAY OR CONDUCTOR TYPES.



SITE PLAN
 SCALE: 1"=20'-0"



ELECTRIC HANDHOLE DETAIL
 N.T.S.



SECONDARY CONDUIT/TRENCH DETAIL
 NO SCALE

PRIMARY CONDUIT/TRENCH DETAIL
 NO SCALE

NOTES:

- REFER TO DRAWING E0.01 FOR LEGEND AND GENERAL NOTES.
- COMPLY STRICTLY WITH ALL UTILITY COMPANY CONSTRUCTION REQUIREMENTS AND DETAILS. CONFIRM SCOPE AND LAYOUT WITH UTILITY COMPANIES PRIOR TO STARTING WORK.
- ALL T/C (TEL/CABLE) CONDUITS ARE (2) 3" PVC, W/PULL STRING.
- COORDINATE ALL ELECTRICAL, TEL/CABLE CONDUITS AND STRUCTURES WITH DRAINAGE, SANITARY, GAS, WATER, AND OTHER UTILITY LINES AND STRUCTURES.

LEGEND

- SP— UNDERGROUND CONDUIT, PRIMARY POWER
- SP— UNDERGROUND CONDUIT, SECONDARY POWER
- T/C— UNDERGROUND CONDUIT, TELEPHONE/CABLE
- HH** HANDHOLE (SEE DETAIL)
- PB** PULLBOX (UTILITY STANDARD XXX-XX)
- M** METER/SOCKET
- T** UTILITY TRANSFORMER/PAD
- A** SITE LIGHTING: LUMEC CAND6--S00PMH SE3HS

ACTON HOUSING AUTHORITY

McCARTHY VILLAGE II

SACHEM WAY
ACTON, MA

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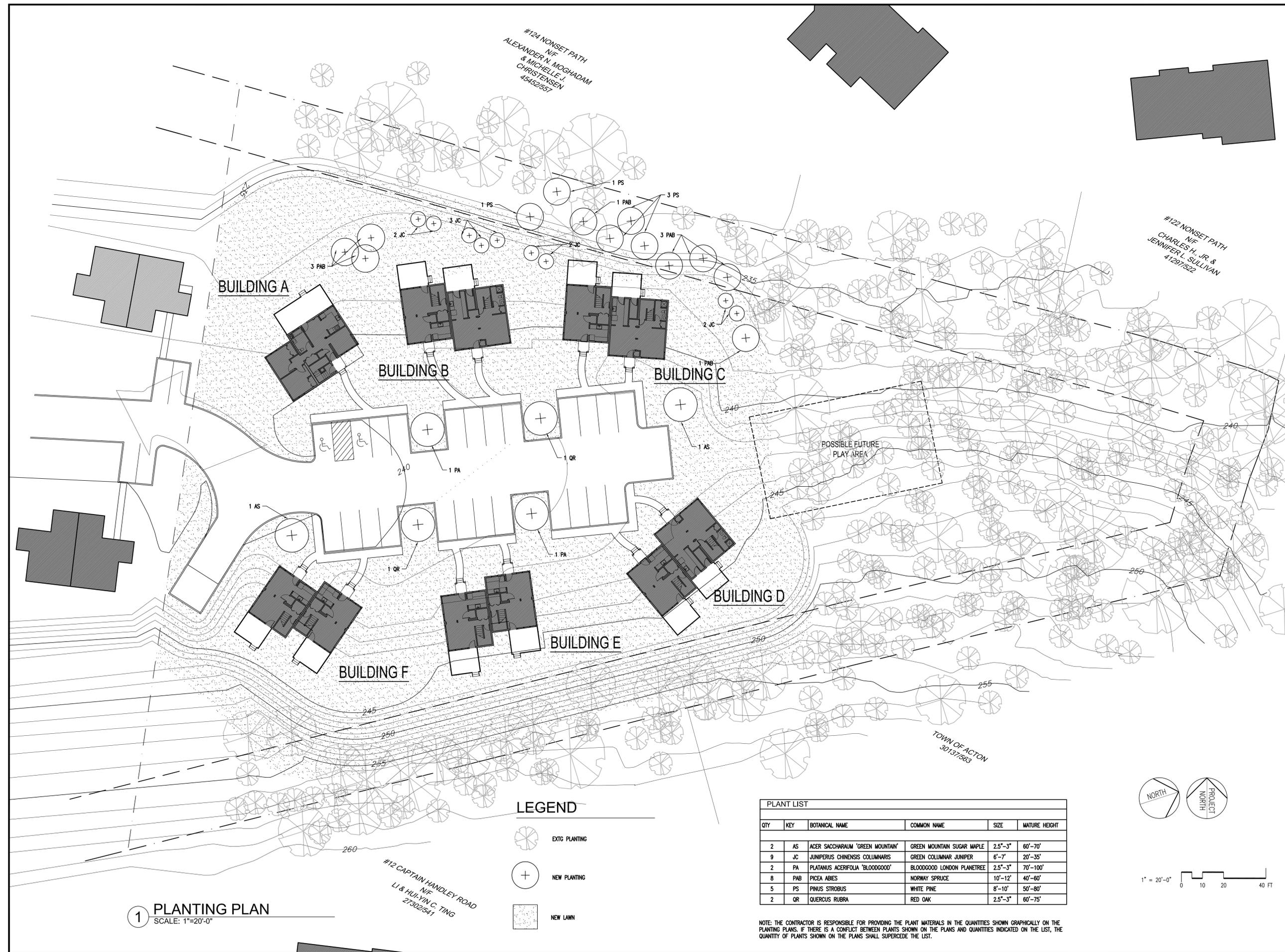
132 LINCOLN STREET, #4
BOSTON, MA 02111
TEL: 617.350.7420
FAX: 617.350.5383

Project No: 2915
Drawn By: JT
Checked By: AI/BB
Issue Date: 25 JUNE 2010

Revisions	No	Date	Description	By

Drawing Title:
PLANTING PLAN

Drawing Number:
L1.1



LEGEND

- EXISTING PLANTING
- NEW PLANTING
- NEW LAWN

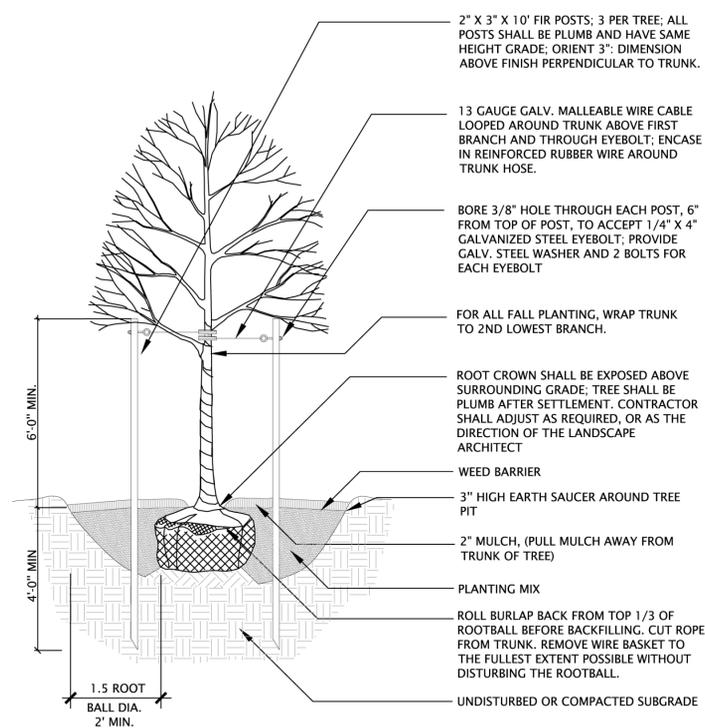
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT
2	AS	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	2.5"-3"	60'-70'
9	JC	JUNIPERUS CHINENSIS COLUMNARIS	GREEN COLUMNAR JUNIPER	6'-7"	20'-35'
2	PA	PLATANUS ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANETREE	2.5"-3"	70'-100'
8	PAB	PICEA ABIES	NORWAY SPRUCE	10'-12'	40'-60'
5	PS	PINUS STROBUS	WHITE PINE	8'-10'	50'-80'
2	QR	QUERCUS RUBRA	RED OAK	2.5"-3"	60'-75'

NOTE: THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE PLANT MATERIALS IN THE QUANTITIES SHOWN GRAPHICALLY ON THE PLANTING PLANS. IF THERE IS A CONFLICT BETWEEN PLANTS SHOWN ON THE PLANS AND QUANTITIES INDICATED ON THE LIST, THE QUANTITY OF PLANTS SHOWN ON THE PLANS SHALL SUPERCEDE THE LIST.

1 PLANTING PLAN
SCALE: 1"=20'-0"



No	Date	Description	By



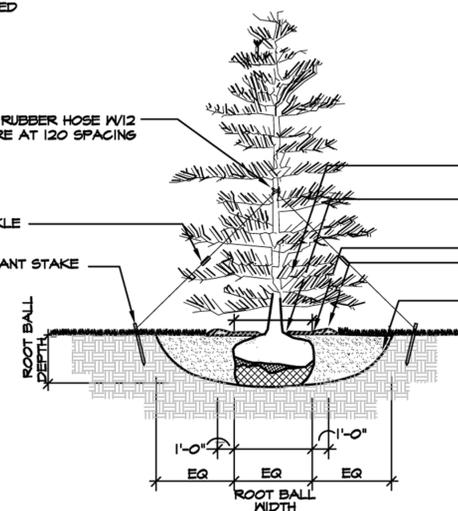
DECIDUOUS TREE PLANTING
NOT TO SCALE

NOTE: GUYS REQUIRED ON TREES 14' OR TALLER UNLESS OTHERWISE NOTED

TWO-PLY REINFORCED RUBBER HOSE W/1/2 GAGE GALVANIZED WIRE AT 120 SPACING

GALVANIZED TURNBUCKLE

2"X2"X24" ROT-RESISTANT STAKE



EVERGREEN TREE PLANTING IN LAWN AND PLANTING BEDS
Not to Scale

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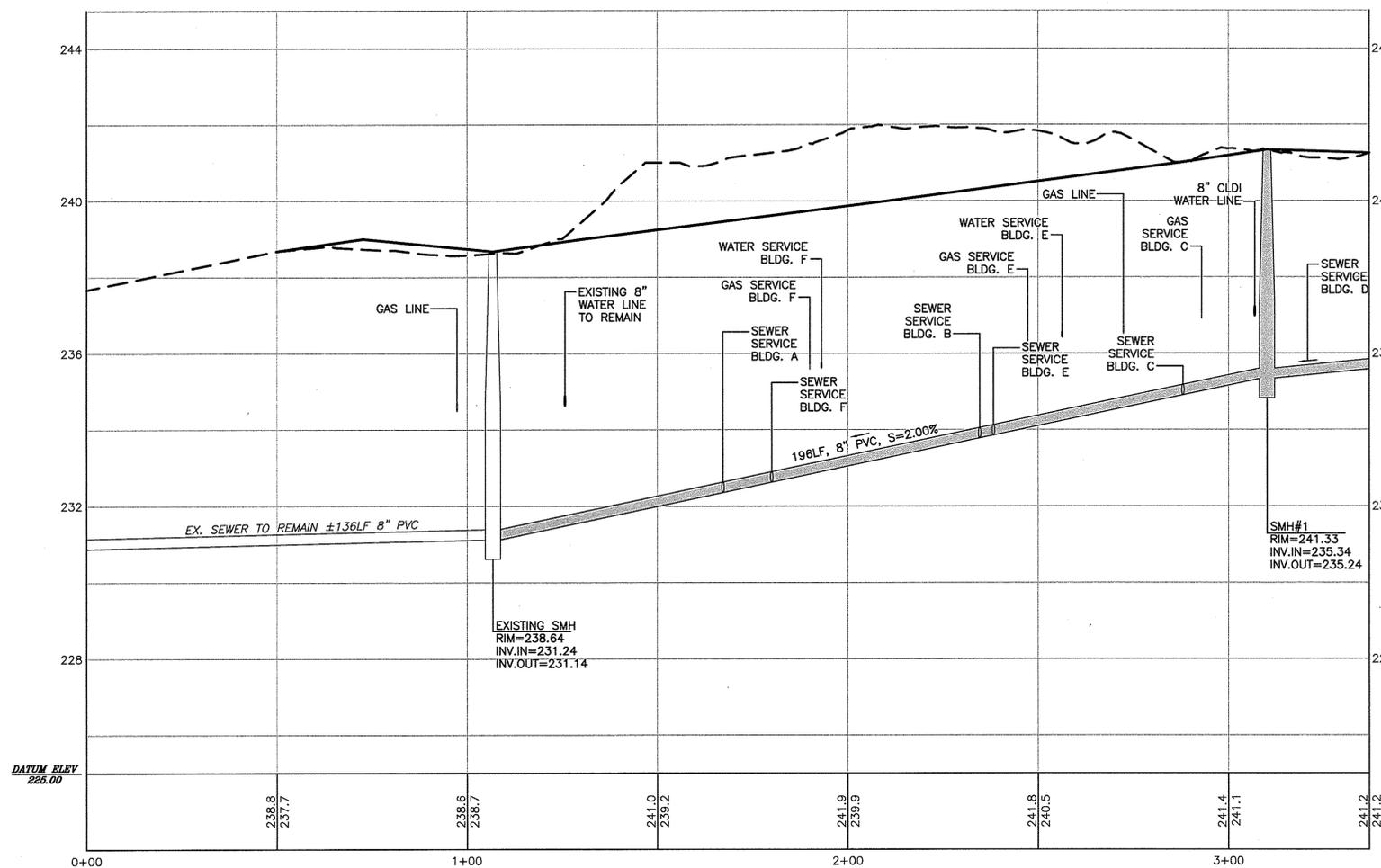
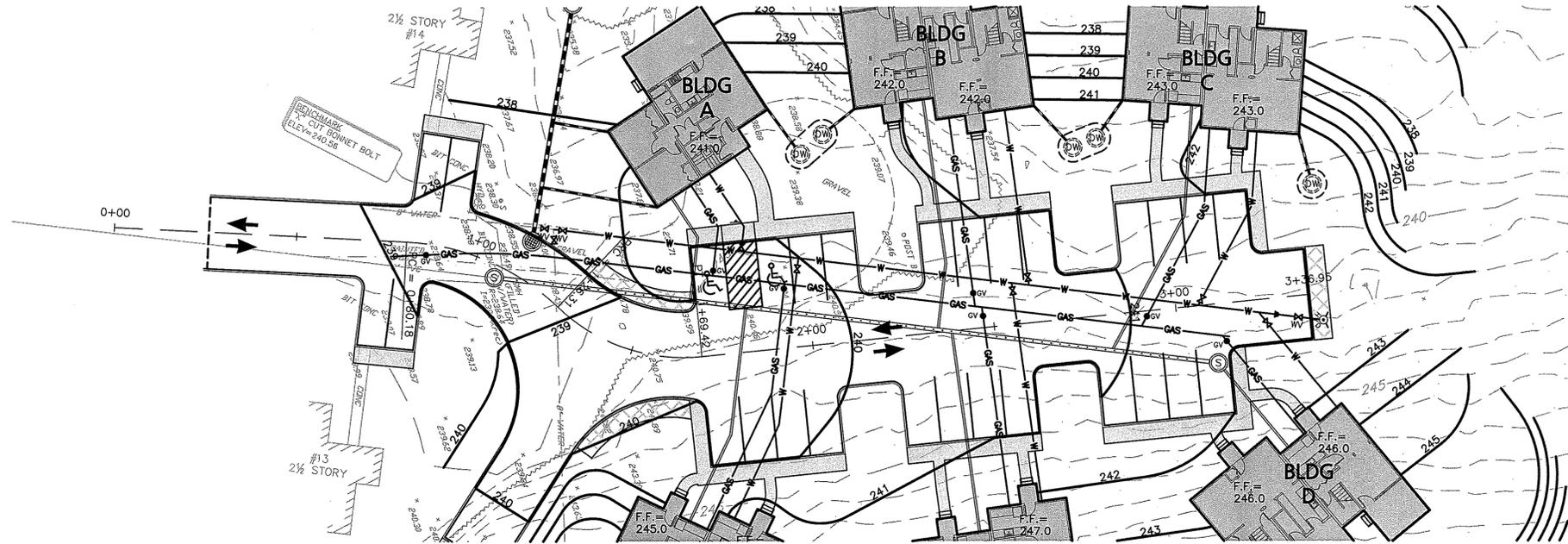
Project No: 1298-08
Drawn By: BDJ
Checked By: TJW
Issue Date: JUNE 25, 2010

Revisions	No	Date	Description	By

Drawing Title:
SITE PLAN & PROFILE

Drawing Number:
C-5

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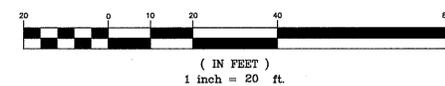


LEGEND:	
PROP. SEWER LINE	
EX. SEWER LINE	
PROP. WATER LINE	
PROP. DRAIN LINE	
PROP. GAS LINE	
EXISTING GRADE	
PROPOSED GRADE	



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GRAPHIC SCALE



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Revisions	No	Date	Description	By

Drawing Title:

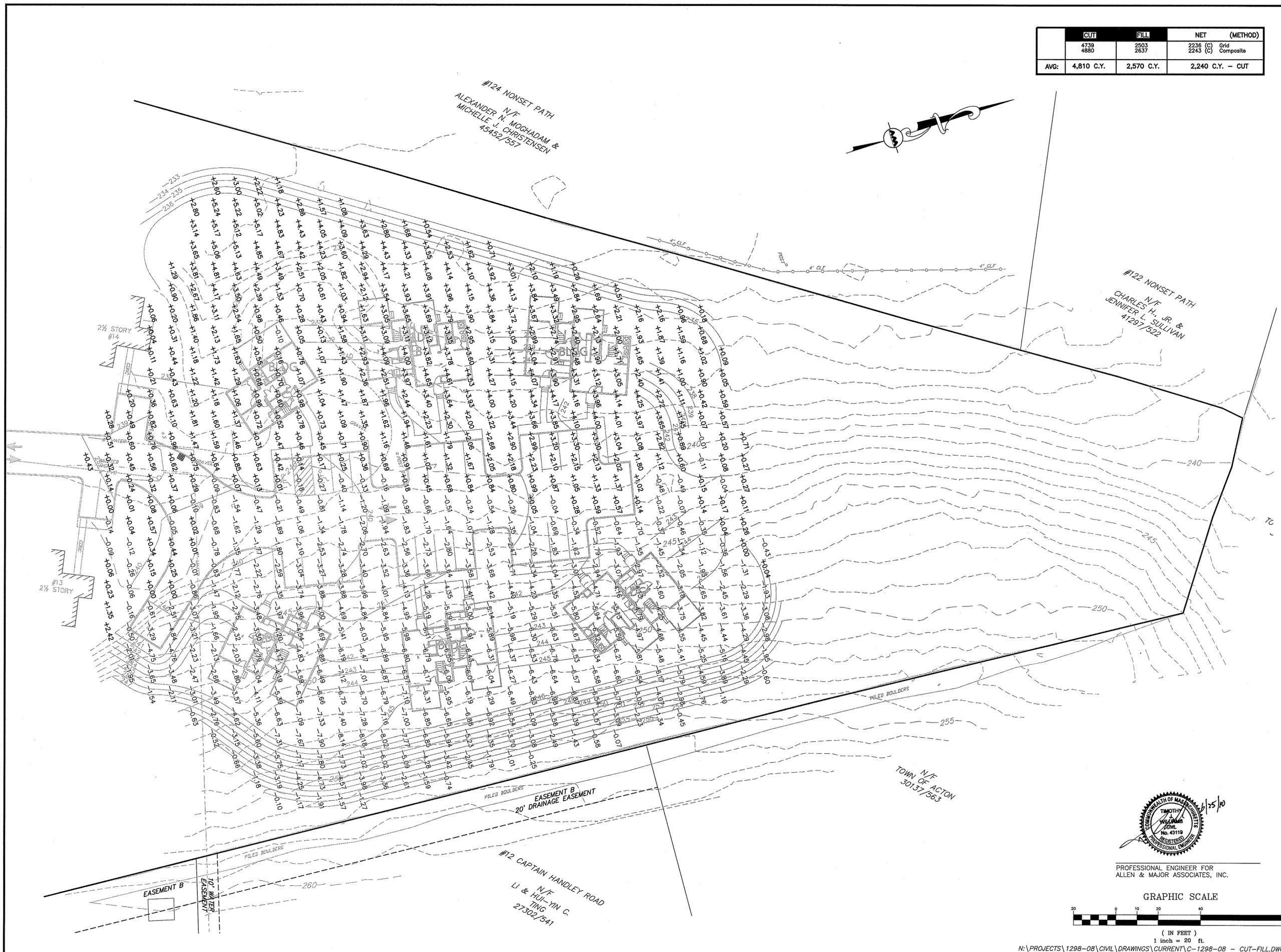
EARTH WORK PLAN

Drawing Number:

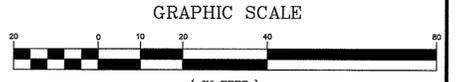
C-6

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	CUT	FILL	NET	(METHOD)
	4739 4880	2503 2637	2236 (C) 2243 (C)	Grid Composite
AVG:	4,810 C.Y.	2,570 C.Y.	2,240 C.Y. - CUT	



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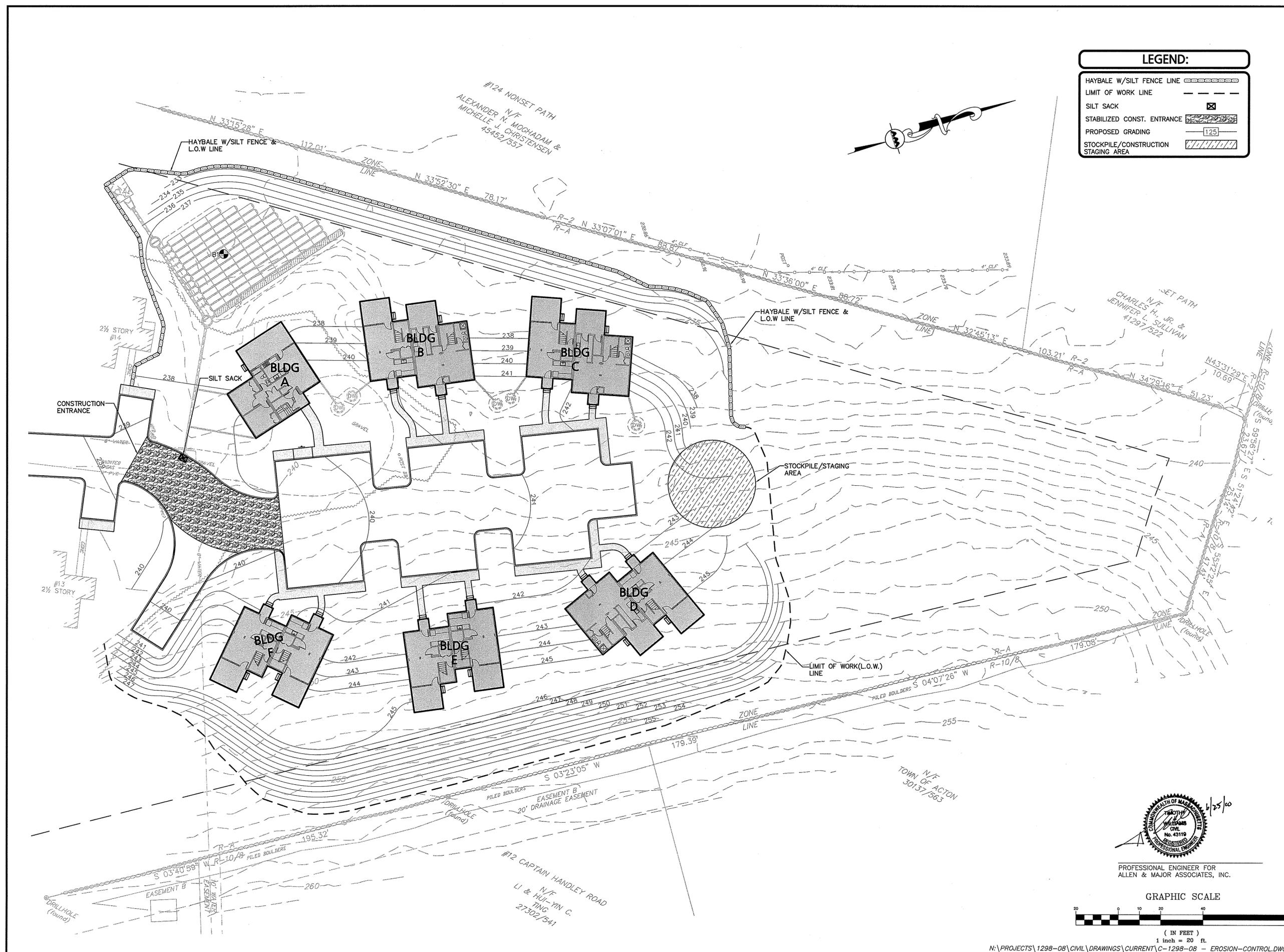
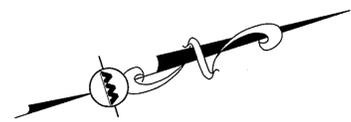
Revisions No	Date	Description	By

Drawing Title:
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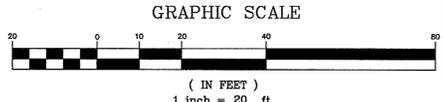
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C-7

LEGEND:

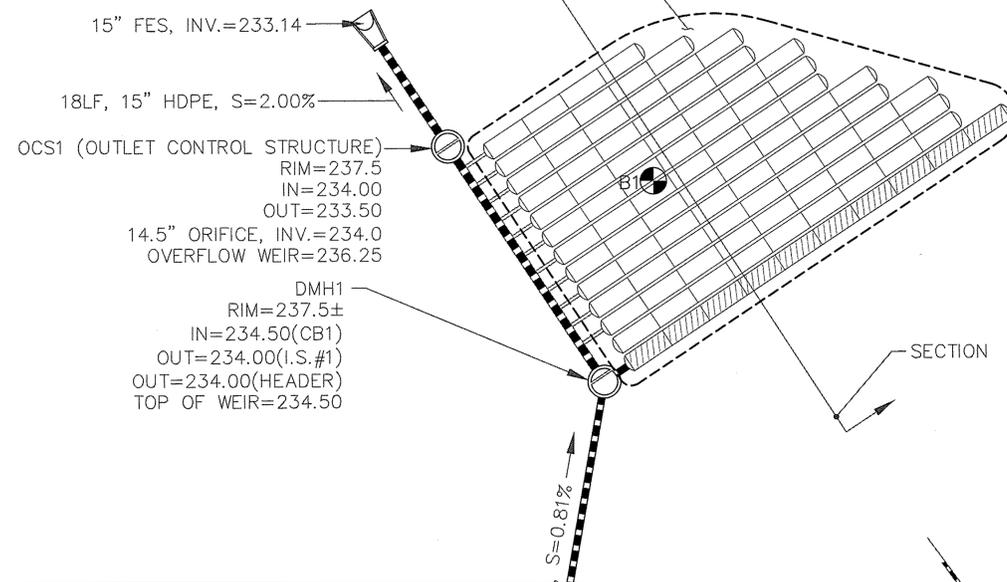
- HAYBALE W/SILT FENCE LINE
- LIMIT OF WORK LINE
- SILT SACK
- STABILIZED CONST. ENTRANCE
- PROPOSED GRADING
- STOCKPILE/CONSTRUCTION STAGING AREA



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INFILTRATION SYSTEM #1
 E.S.H.G.W. - 230.00
 BOTTOM OF STONE - 233.00
 BASE OF CHAMBER - 234.00
 TOP OF CHAMBER - 235.33
 TOP OF STONE - 236.38
 FINISH GRADE - 237.38(MIN.)
 95 CHAMBERS TOTAL
 STONE AREA = 2,824 S.F.
 TOTAL STORAGE VOLUME = 4,800± C.F.



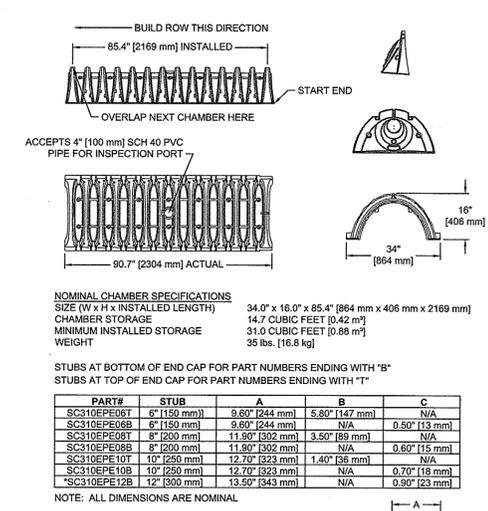
1. ALL DESIGN SPECIFICATIONS FOR STORMTECH SC-310 CHAMBERS SHALL BE IN ACCORDANCE WITH THE STORMTECH DESIGN MANUAL
2. THE INSTALLATION OF STORMTECH SC-310 CHAMBERS SHALL BE IN ACCORDANCE WITH THE LATEST STORMTECH INSTALLATION INSTRUCTIONS
3. THE CONTRACTOR IS ADVISED TO REVIEW AND UNDERSTAND THE INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION. CALL 1-888-892-2694 OR VISIT WWW.STORMTECH.COM TO RECEIVE A COPY OF THE LATEST STORMTECH INSTALLATION INSTRUCTIONS
4. CHAMBERS SHALL MEET THE DESIGN REQUIREMENTS AND LOAD FACTORS SPECIFIED IN SECTION 12.12 OF THE LATEST EDITION OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS

ACCEPTABLE FILL MATERIALS: SC-310 CHAMBER SYSTEMS

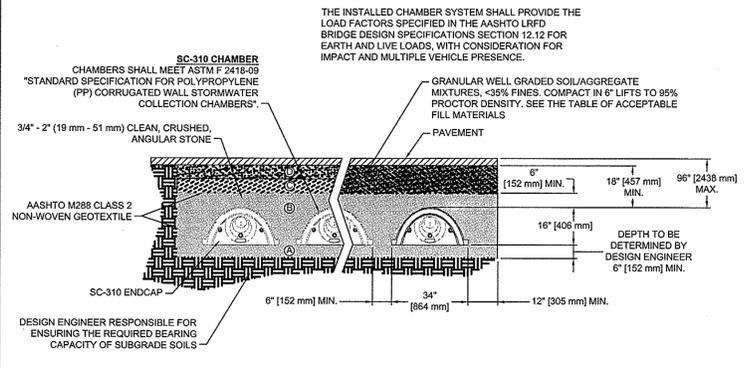
MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION ¹	COMPACTION/DENSITY REQUIREMENT
① FILL MATERIAL FOR LAYER "D" STARTS FROM THE TOP OF THE "C" LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISH GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THIS LAYER.	ANY SOLID ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBBASE REQUIREMENTS.	N/A	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRIPMENT MATERIAL AND PREPARATION REQUIREMENTS.
② FILL MATERIAL FOR LAYER "C" STARTS FROM THE TOP OF THE FINISHED STONE TO THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THIS LAYER.	GRANULAR WELL GRADED SOIL/AGGREGATE MIXTURES - 35% FINES. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	3, 357, 4, 467, 5, 66, 57, 67, 68, 7, 76, 8, 89, 9, 10	BEGIN COMPACTION AFTER 12" (305 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (152 mm) LIFTS TO A MIN. 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 20,000 lb (89 kN).
③ BRIMSTONE STONE SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ("A" LAYER) TO THE "C" LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE. NOMINAL SIZE DISTRIBUTION BETWEEN 3/4" - 2 INCH (19 - 51 mm)	3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
④ FOUNDATION STONE BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE. NOMINAL SIZE DISTRIBUTION BETWEEN 3/4" - 2 INCH (19 - 51 mm)	3, 35, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY.

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. AS AN ALTERNATE TO PROCTOR TESTING AND FIELD DENSITY MEASUREMENTS ON OPEN GRADED STONE, STORMTECH COMPACTION REQUIREMENTS ARE MET FOR "A" LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (152 mm) (MAX) LIFTS USING TWO FULL COVERS WITH AN APPROPRIATE COMPACTOR.

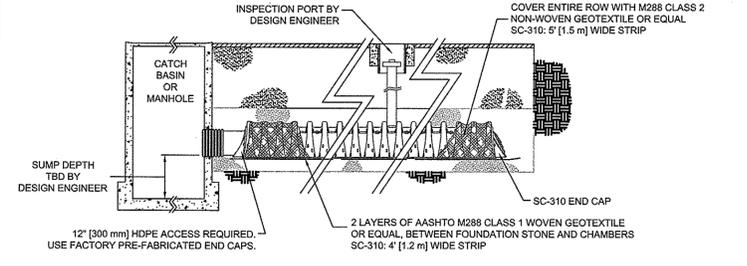
③ SC-310 NOTES



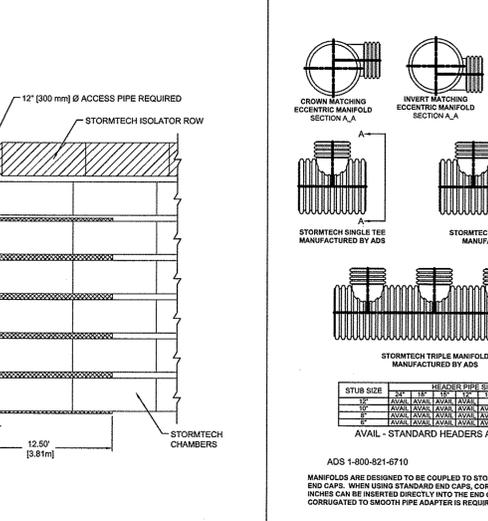
⑥ STORMTECH ACCEPTABLE FILL MATERIALS



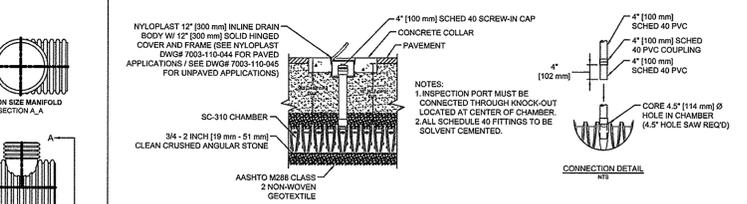
⑦ SC-310 STANDARD CROSS SECTION



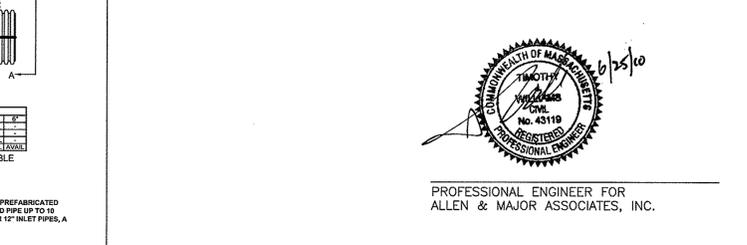
④ SC-310 TECHNICAL SPEC.



⑧ SC-310 ISOLATOR ROW DETAIL

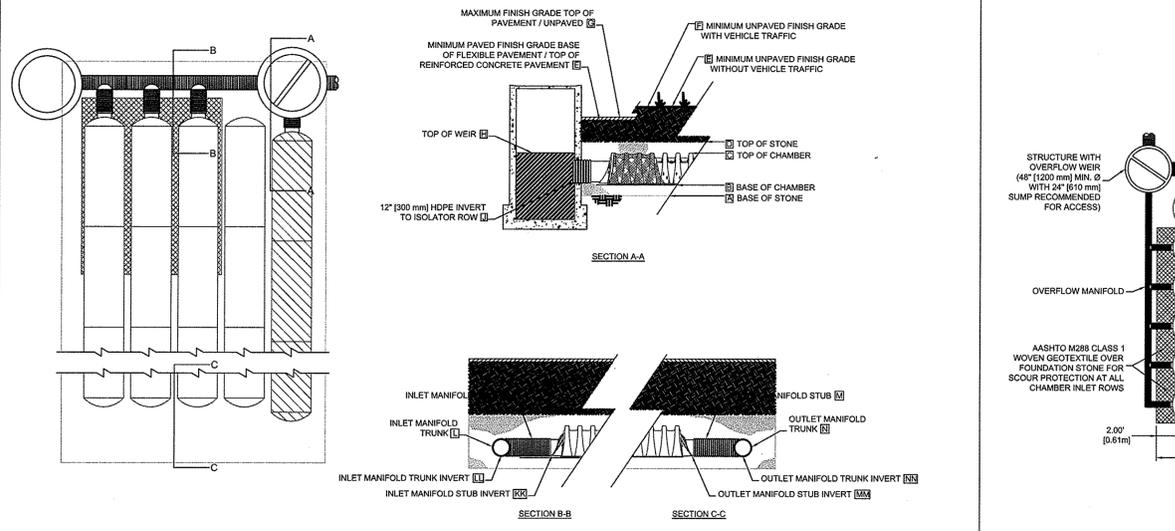


⑨ SC-310 INSPECTION PORT DETAIL



① PLAN VIEW LAYOUT

	A	B	C	D	E	F	G	H	I	J	K	KK	L	LL	M	MM	N	NN	P	PP	
BED 1/ONLY																					
BED 2																					
BED 3																					
BED 4																					
BED 5																					



② SC-310 ELEVATIONS

⑤ SC-310 MANIFOLD DETAIL

⑩ MANIFOLDS

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Project No: 1298-08
 Drawn By: BDJ
 Checked By: TJW
 Issue Date: JUNE 25, 2010

Revisions

No	Date	Description	By

STORMTECH INFILTRATION SYSTEM DETAILS

Drawing Number:

C-8

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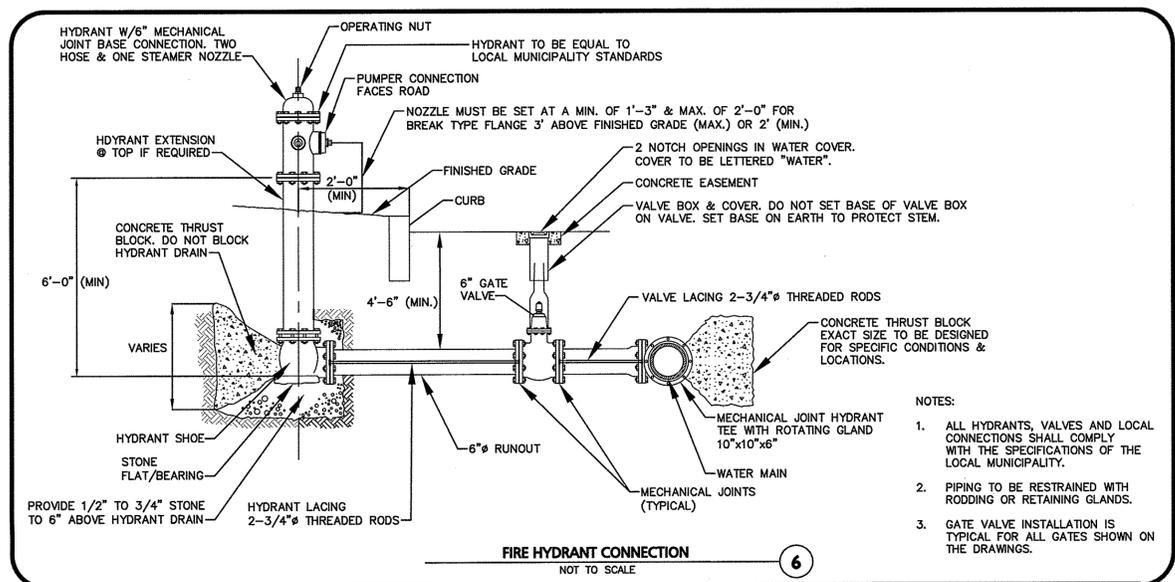
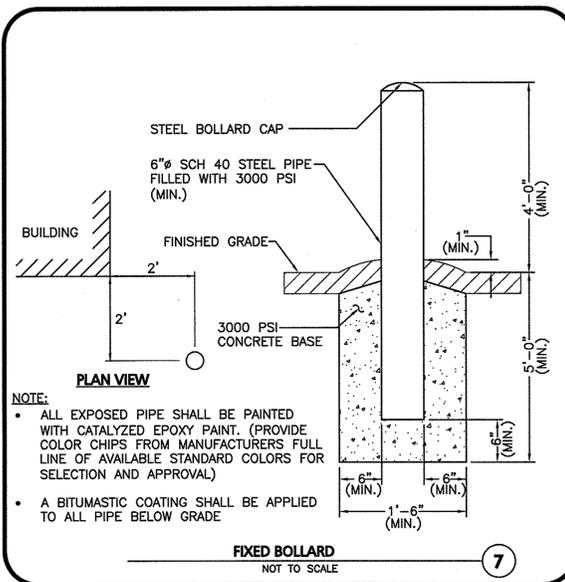
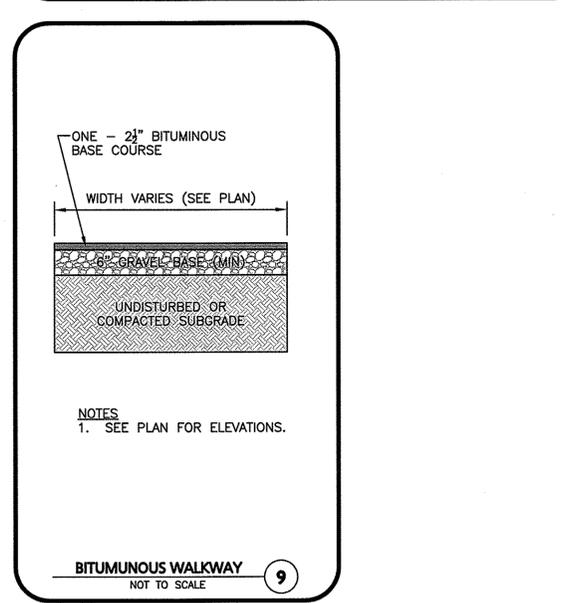
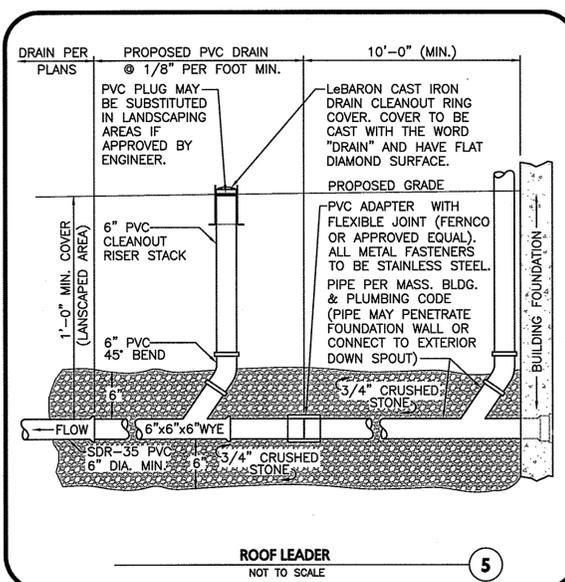
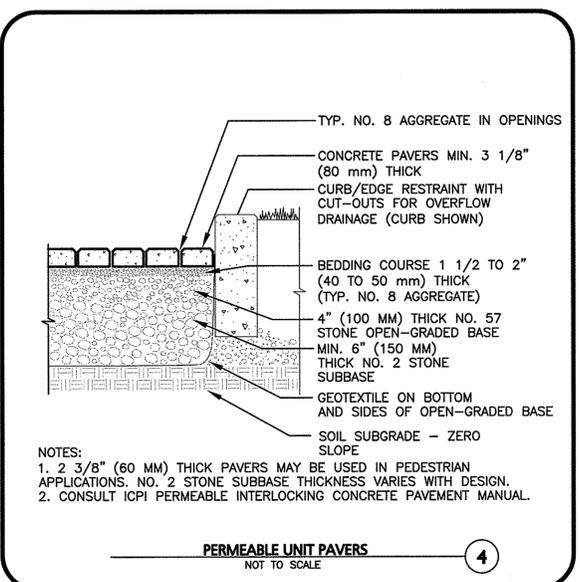
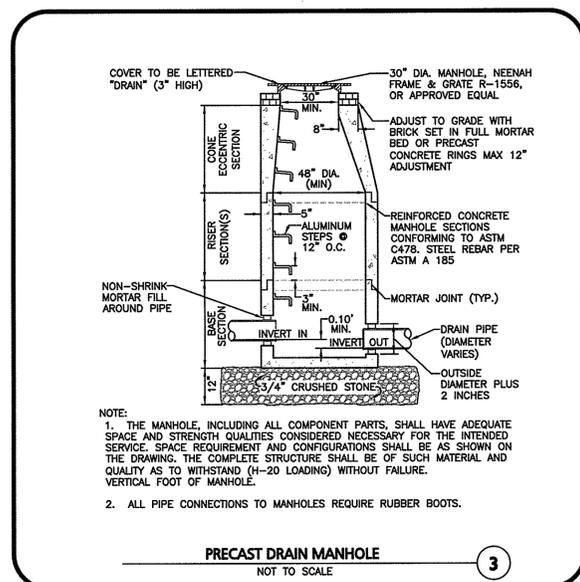
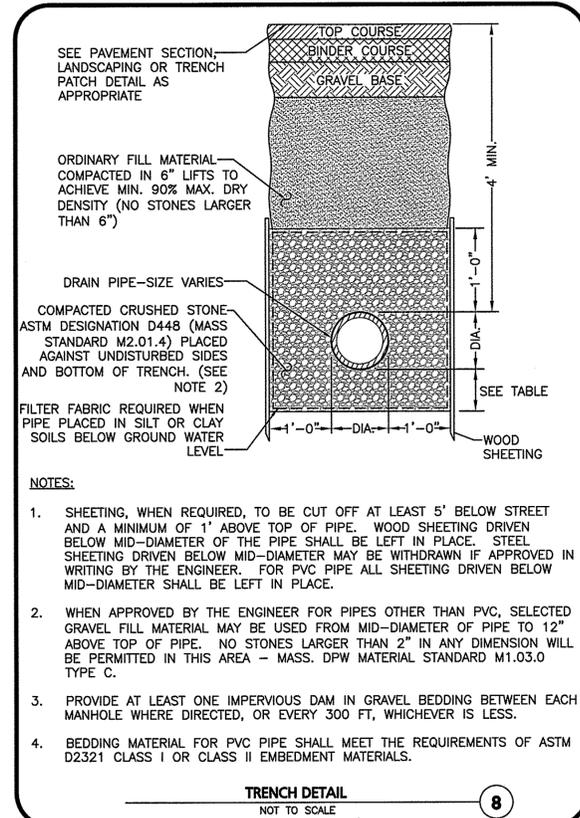
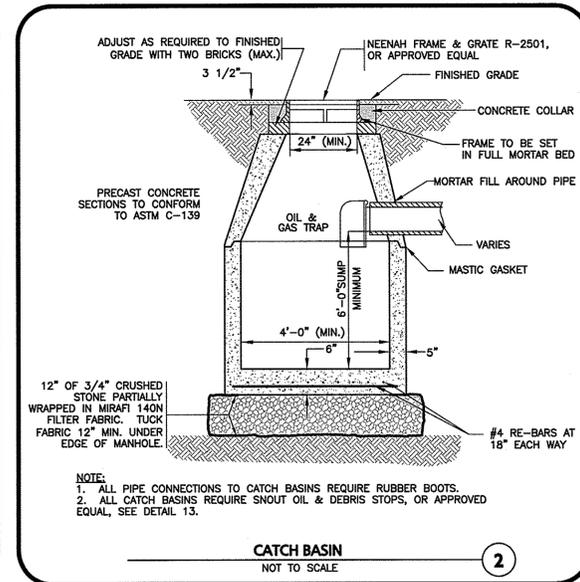
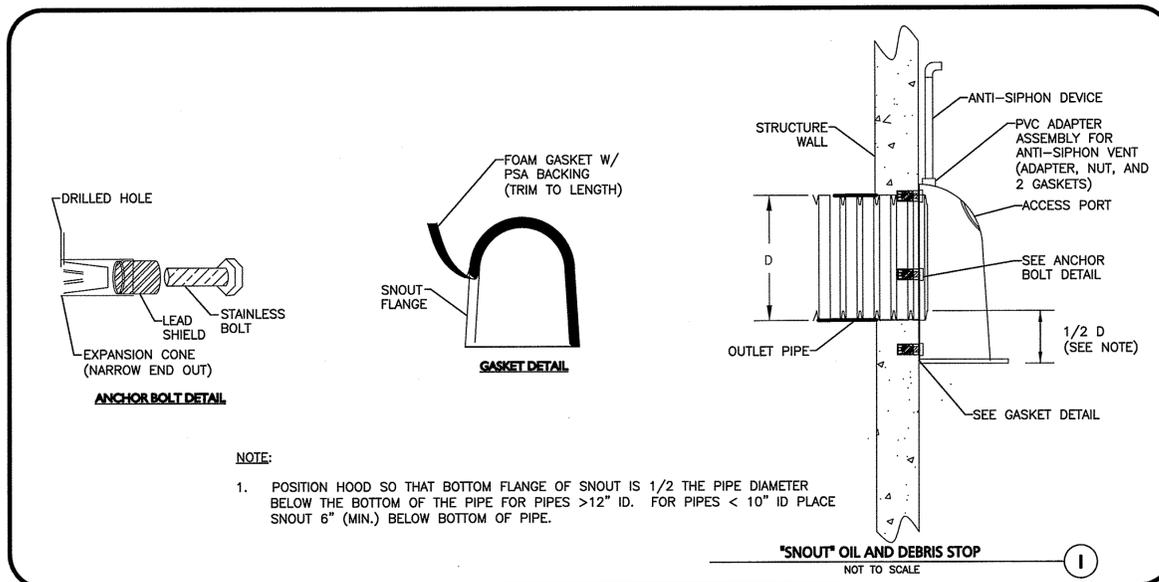
Drawing Title:

DETAILS

Drawing Number:

C-9

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Revisions	No	Date	Description	By

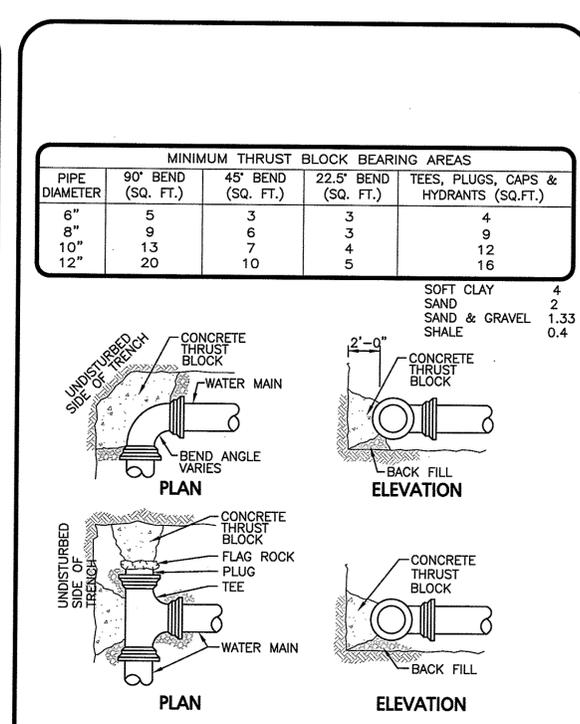
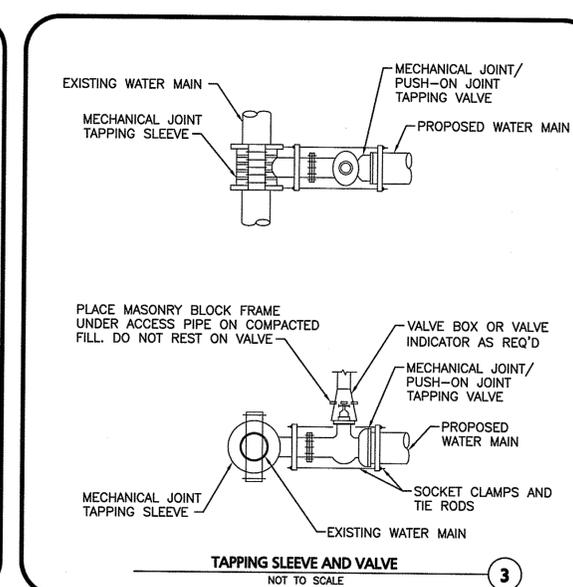
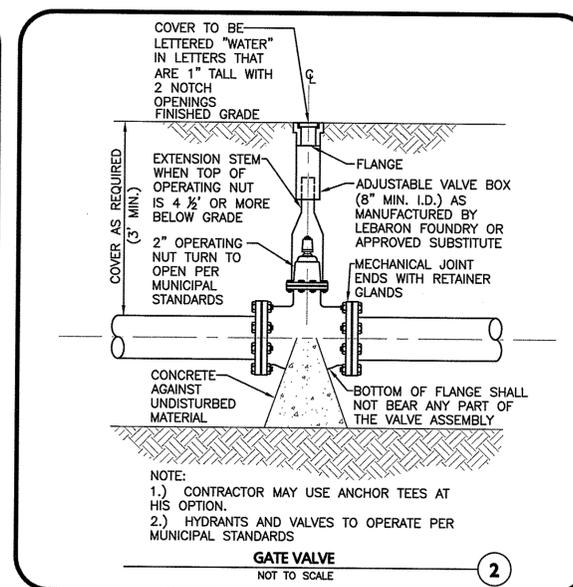
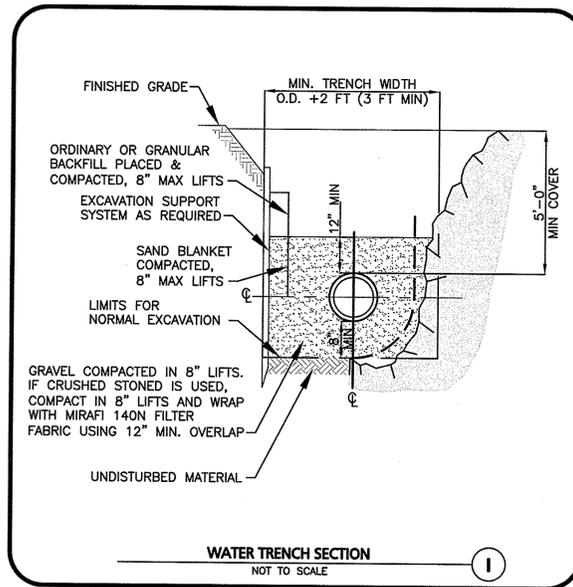
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Drawing Number:

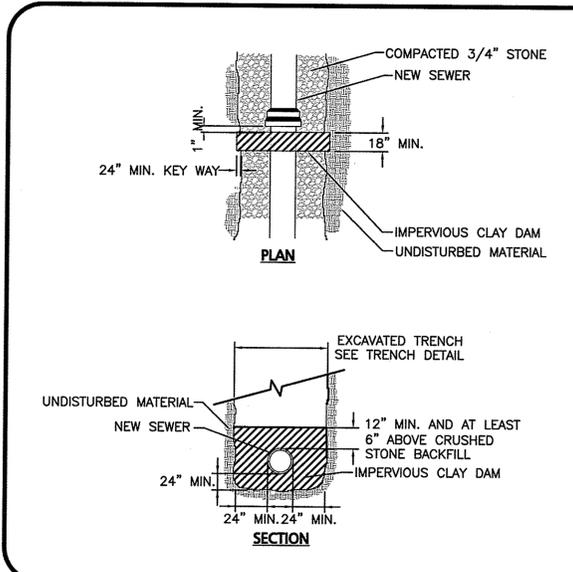
C-10

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NOTES:

- ALL WATER MAIN FITTINGS, BENDS, TEES, PLUGS ETC. SHALL BE RESTRAINED W/ THRUST BLOCKS EXCEPT WHERE NOTED.
- ALL THRUST BLOCKS & COLLARS SHALL BE INSTALLED SO THAT THEY BEAR AGAINST UNDISTURBED EARTH.
- SIZE OF CONCRETE THRUST BLOCKS SHALL BE AS NOTED BELOW.
- MINIMUM COMPRESSIVE STRENGTH OF THRUST BLOCK CONCRETE SHALL BE 3,000 P.S.I.
- KEEP CONCRETE CLEAR OF MECHANICAL JOINTS.
- THE BELOW PREDICATED ON A WATER PRESSURE OF 225 PSI AND A SOIL RESISTANCE OF 2000 PSF (TILL). FOR OTHER SOILS THE VALUES IN THE ABOVE TABLE SHALL BE MULTIPLIED BY:
- ALL CAST-IN-PLACE THRUST BLOCKS SHALL BE FORMED UP WITH PLYWOOD SO THAT CONCRETE IS NOT CAST AROUND FITTINGS OR MECHANICAL JOINTS.



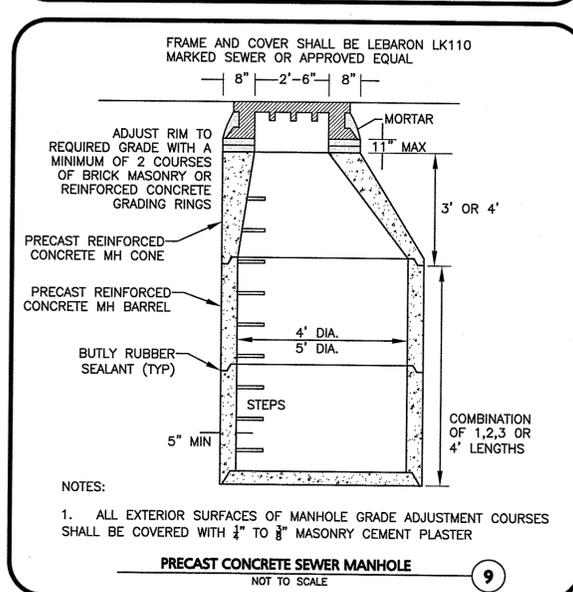
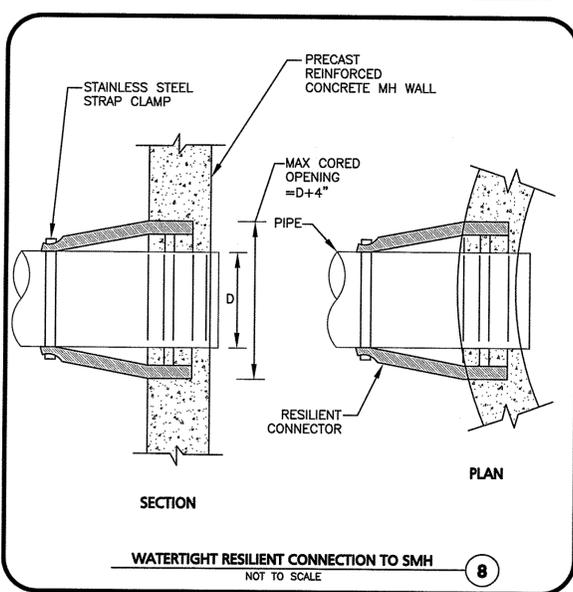
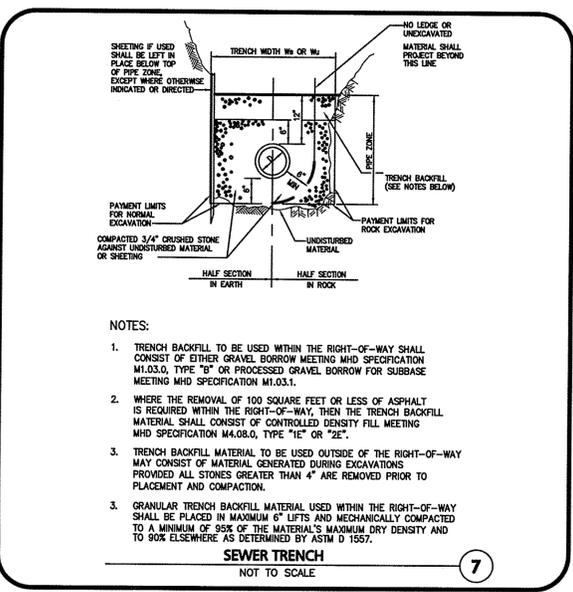
NOTES:

- IMPERVIOUS CLAY BAFFLES SHALL BE CONSTRUCTED WITH SOIL HAVING A HYDRAULIC CONDUCTIVITY OF 1X10-7 CM/SEC (CLAY) THAT IS PLACED IN A CONTROLLED MANNER AND COMPACTED TO THE REQUIRED DENSITY FOR TRENCH BACKFILL OR FLOWABLE FILL.
- THE TOP OF THE TRENCH DAM SHALL EXTEND A MINIMUM OF 5'-0" ABOVE THE GROUND WATER LEVEL, AS DETERMINED BY THE NEAREST BORING OR BY THE ENGINEER, BUT SHALL NOT EXCEED A DEPTH OF 1'-0" BELOW FINISH GRADE.

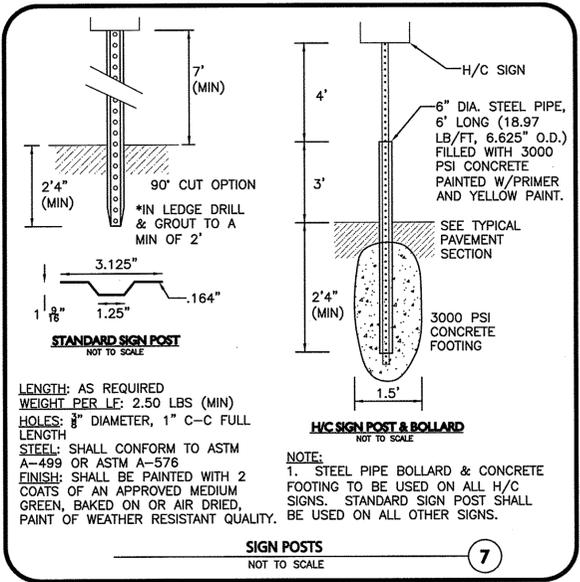
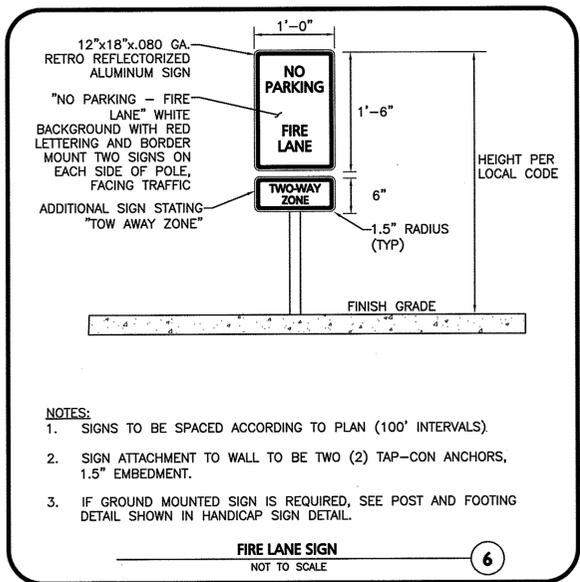
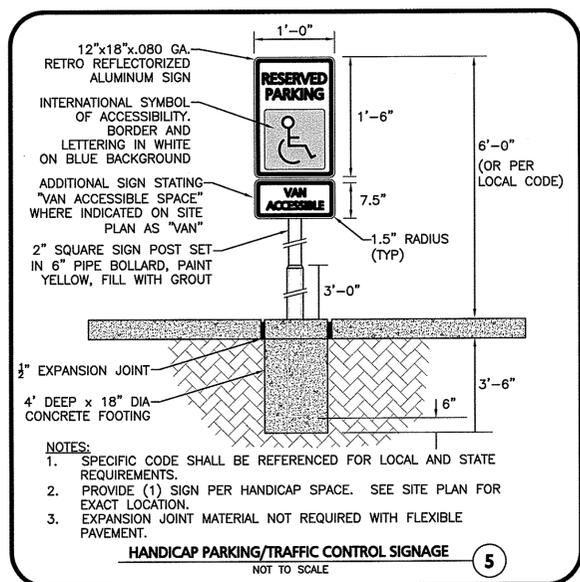
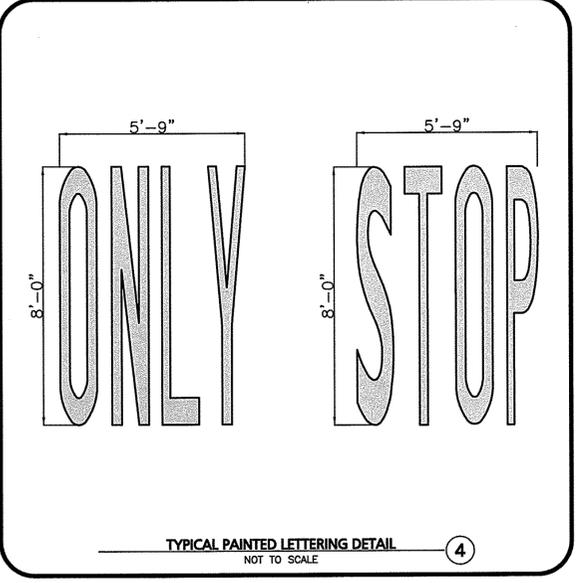
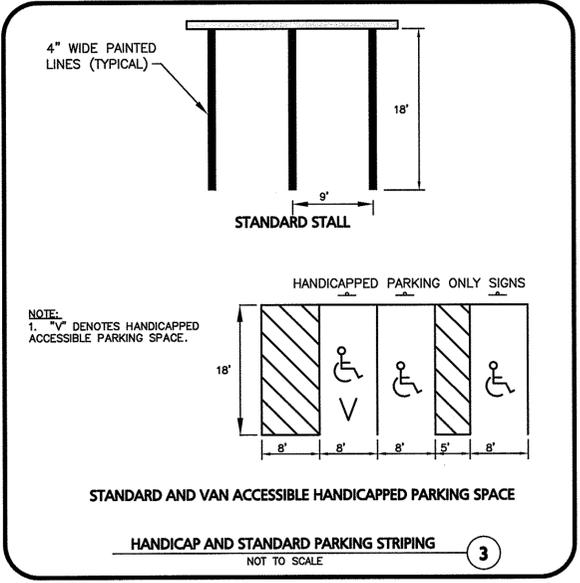
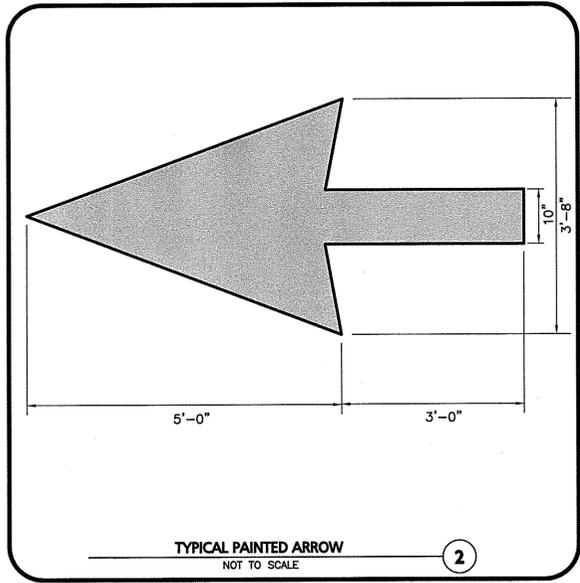
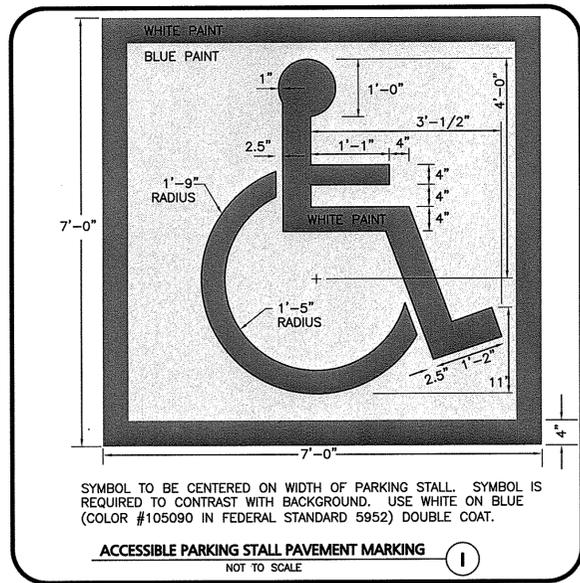
FOR PIPE TRENCHES

- PIPE TRENCHES MAY BE EXCAVATED WIDER THAN TRENCH WIDTH W_s (SHEETED) OR W_u (UNSHEETED) ABOVE THE TOP OF PIPE ZONE.
- TRENCHES SHALL NOT BE EXCAVATED BEYOND THE TRENCH WIDTH W_u BELOW THE TOP OF PIPE ZONE.
- SHEETING MUST BE USED IF EXCAVATION AND BACKFILL, BELOW NORMAL DEPTH, IS REQUIRED. SHEETING SHALL BE LEFT IN PLACE AS SPECIFIED.
- ALL ROCK WITHIN 3'-0" HORIZONTALLY OF THE ENDS OF BUILDING CONNECTIONS, BRANCHES OR STUBS AND DOWN TO A HORIZONTAL PLANE 6" BELOW THE BOTTOMS OF SUCH CONNECTIONS, BRANCHES OR STUBS, SHALL BE EXCAVATED.
- WHERE INDICATED ON THE DRAWINGS, GEOTEXTILE FILTER FABRIC SHALL BE PROVIDED FOR SEWER AND BUILDING CONNECTION FOUNDATIONS. OVERLAP FABRIC ABOVE THE PIPE CROWN AND PROVIDE A MINIMUM OF 12" FABRIC OVERLAP.

NOMINAL PIPE DIAMETER D	DEPTH OF PIPE INVERT BELOW GROUND SURFACE	
	0 TO 12'	12' TO 20'
24" AND SMALLER	5'-0"	7'-0"
OVER 24"	D + 3'-0"	D + 5'-0"

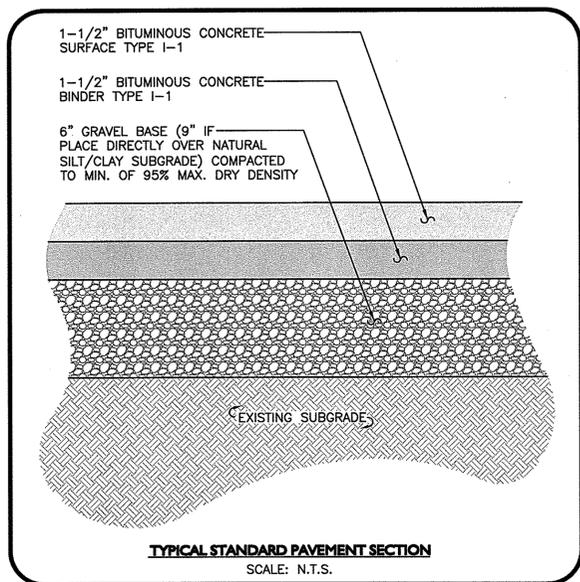
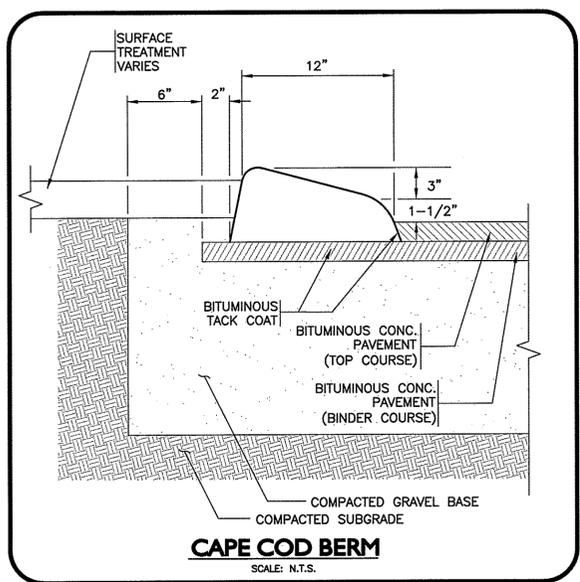
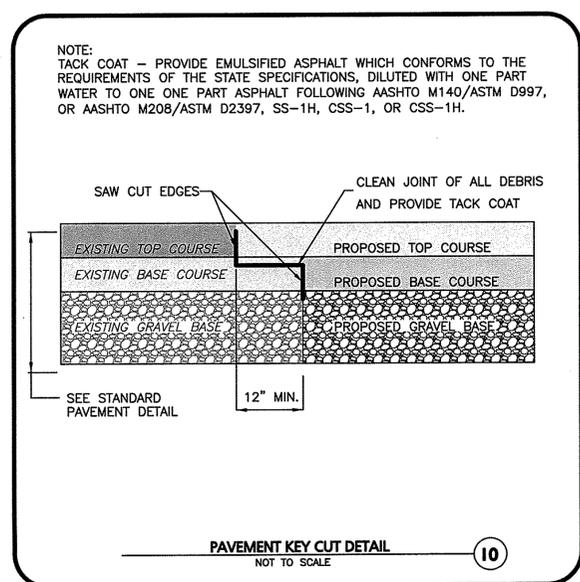


PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.



SIGN TABLE
NOT TO SCALE

DESC.	SIGN	SIZE	MOUNTING HEIGHT	DESCRIPTION	REFLECTORIZED
R1-1	STOP	30" x 30"	7' - 0"	WHITE ON RED	YES
R5-1	DO NOT ENTER	30" x 30"	7' - 0"	RED ON WHITE	YES
R6-1	ONE-WAY	36" x 12"	7' - 0"	WHITE ARROW ON BLACK	YES
R7-8 (MODIFIED)	RESERVED PARKING	12" x 20"	7' - 0"	GREEN & BLUE ON WHITE	NO
R7-8	VAN ACCESSIBLE	12" x 20"	7' - 0"	GREEN & BLUE ON WHITE	NO
R8-1 (MODIFIED)	NO PARKING FIRE LANE	12" x 18"	7' - 0"	RED ON WHITE	NO



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

Development of McCarthy Village II

ACTON HOUSING AUTHORITY

COMPREHENSIVE PERMIT

NOT FOR CONSTRUCTION



BAKER/WOHL ARCHITECTS



132 LINCOLN STREET, #4
BOSTON, MA 02111
TEL: 617.350.7420
FAX: 617.350.5383

Project No: 1298-08

Drawn By: BDJ

Checked By: TJW

Issue Date: JUNE 25, 2010

Revisions

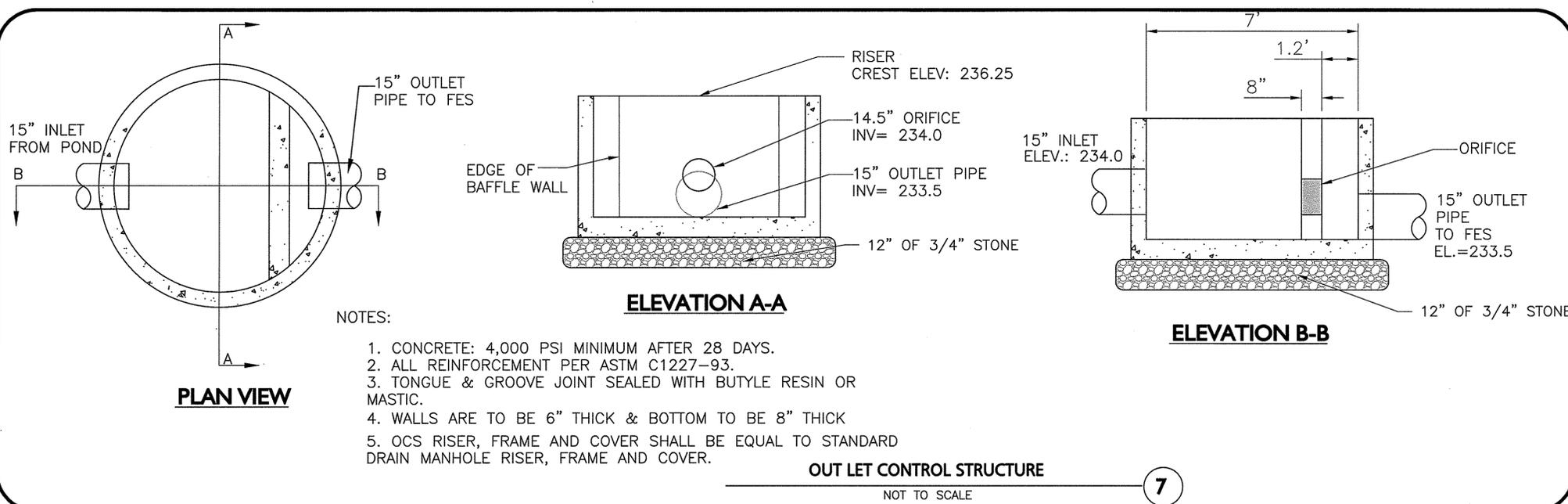
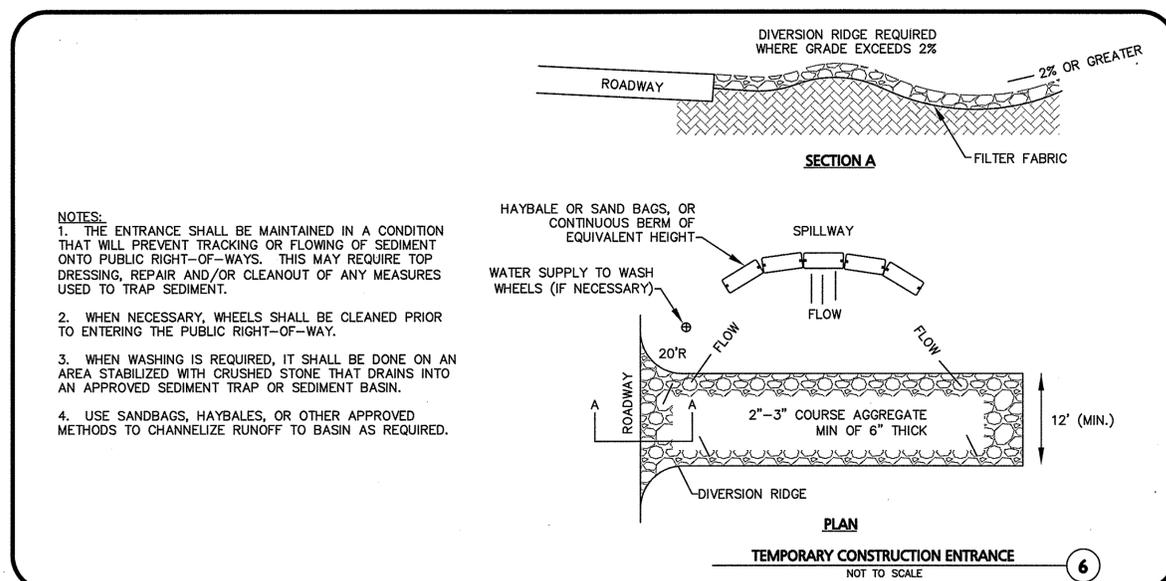
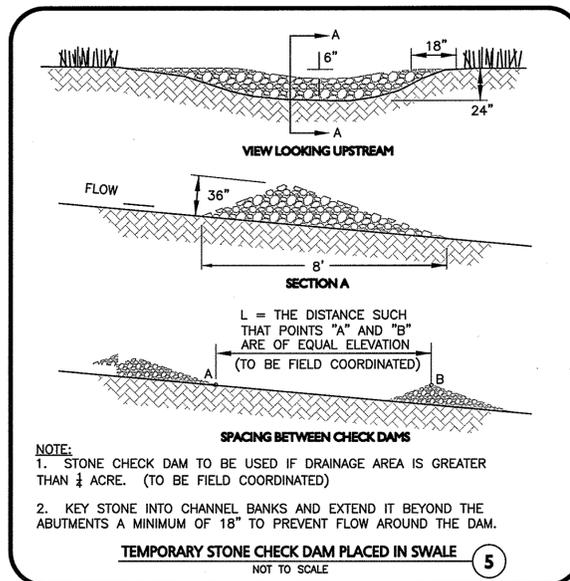
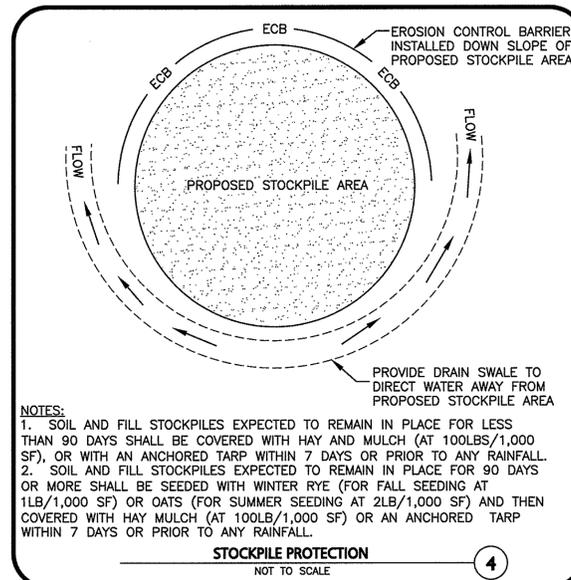
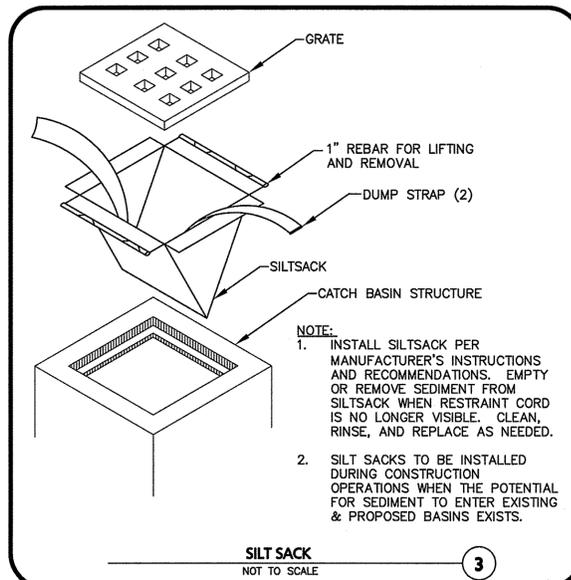
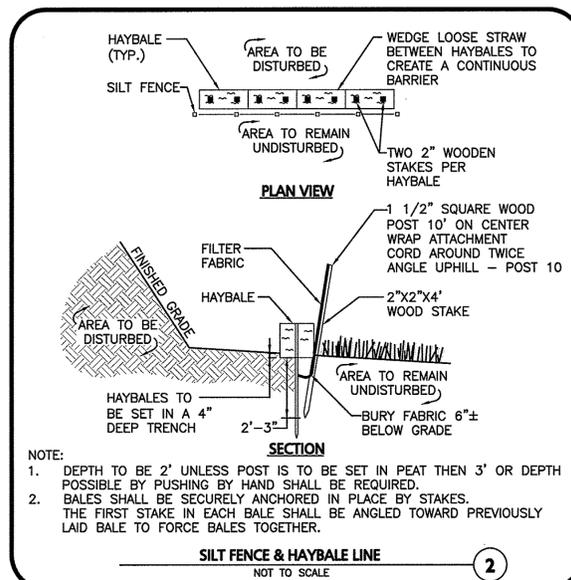
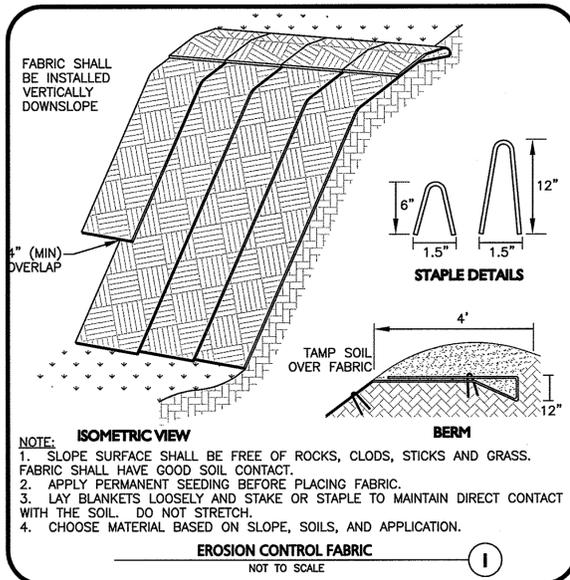
No	Date	Description	By

Drawing Title:

DETAILS

Drawing Number:

C-11



6/25/10

 PROFESSIONAL ENGINEER FOR
 ALLEN & MAJOR ASSOCIATES, INC.

Development of McCarthy Village II

ACTON HOUSING AUTHORITY

COMPREHENSIVE PERMIT NOT FOR CONSTRUCTION

ALLEN & MAJOR ASSOCIATES, INC.

BAKER/WOHL ARCHITECTS

132 LINCOLN STREET, #4
 BOSTON, MA 02111
 TEL: 617.350.7420
 FAX: 617.350.5383

Project No: 1298-08
 Drawn By: BDJ
 Checked By: TJW
 Issue Date: JUNE 25, 2010

Revisions			
No	Date	Description	By

Drawing Title:

DETAILS

Drawing Number:

C-12



BAKER/WOHL ARCHITECTS



132 LINCOLN STREET, #4
BOSTON, MA 02111
TEL: 617.350.7420
FAX: 617.350.5383

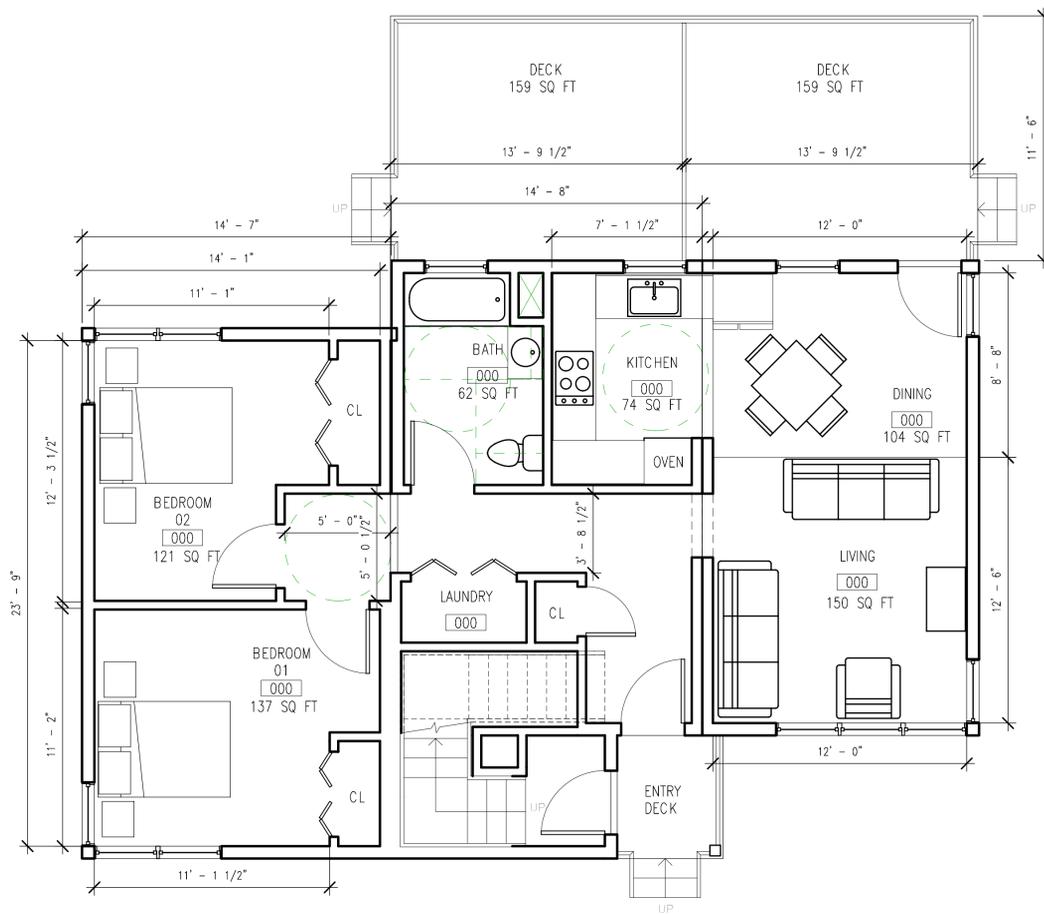
Project No: 2915
Drawn By: JT
Checked By: A/BB
Issue Date: 25 JUNE 2010

Revisions			
No	Date	Description	By

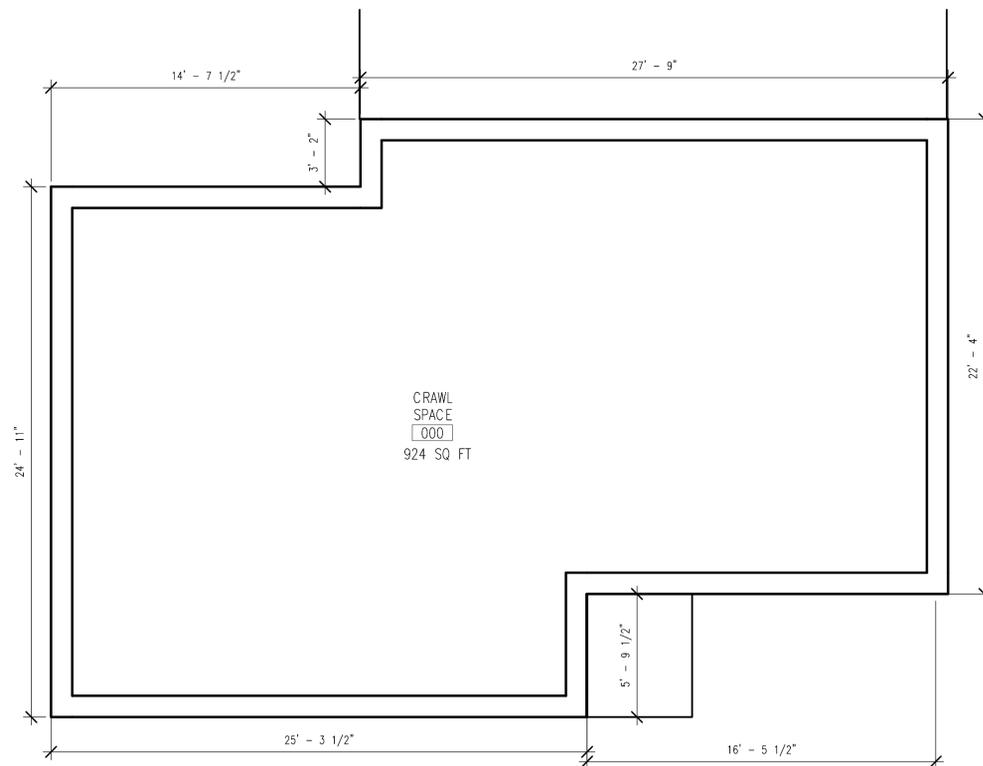
Drawing Title:
BUILDING A FLOOR PLANS

Drawing Number:

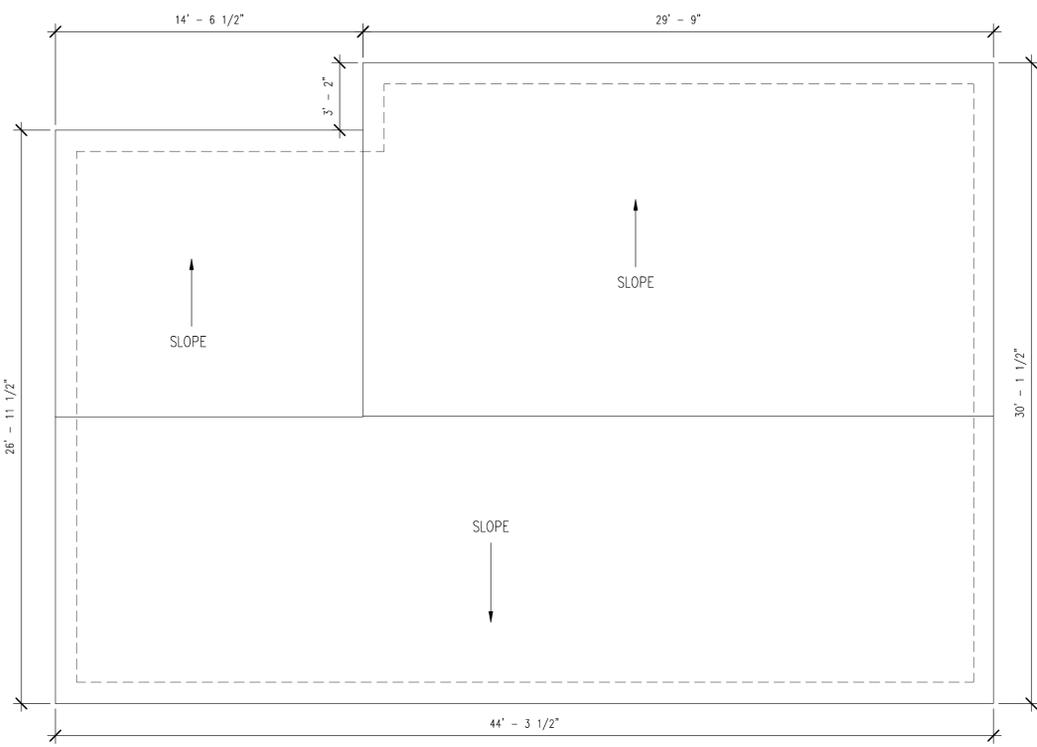
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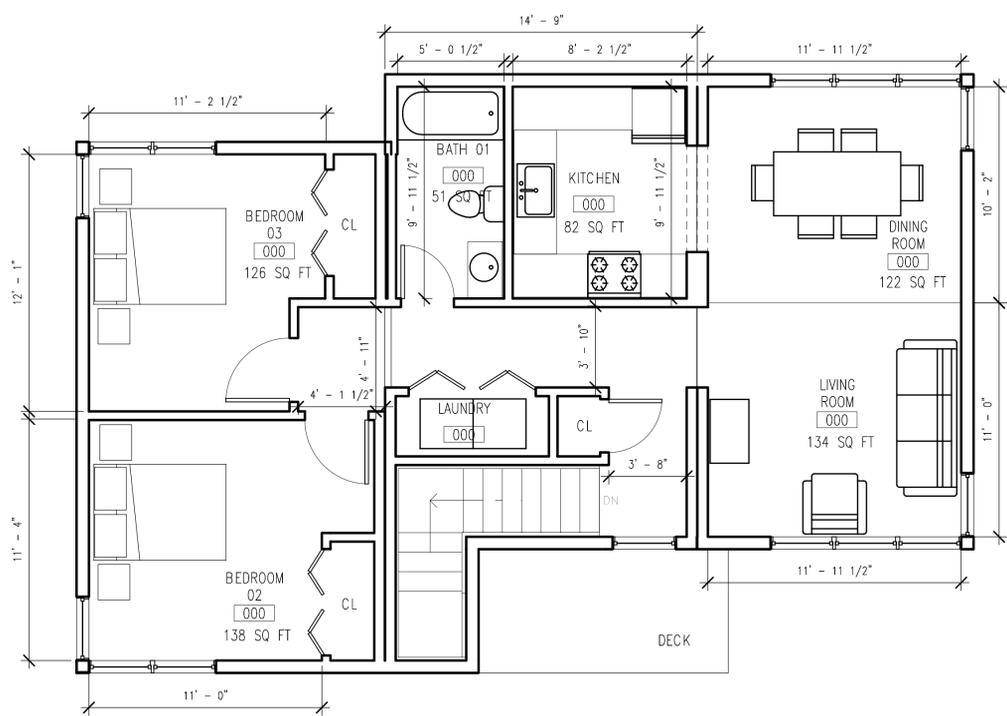
1 CRAWL SPACE PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR
SCALE: 1/4" = 1'-0"



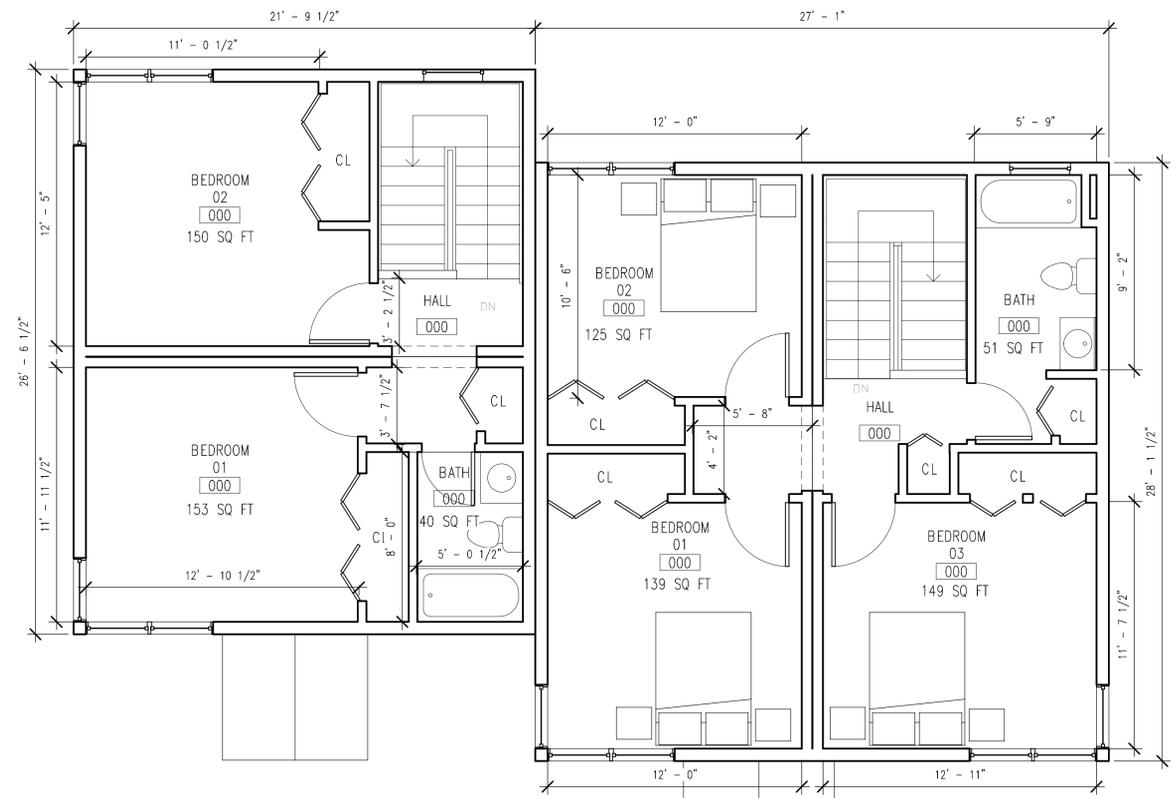
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SCALE: 1/4" = 1'-0"



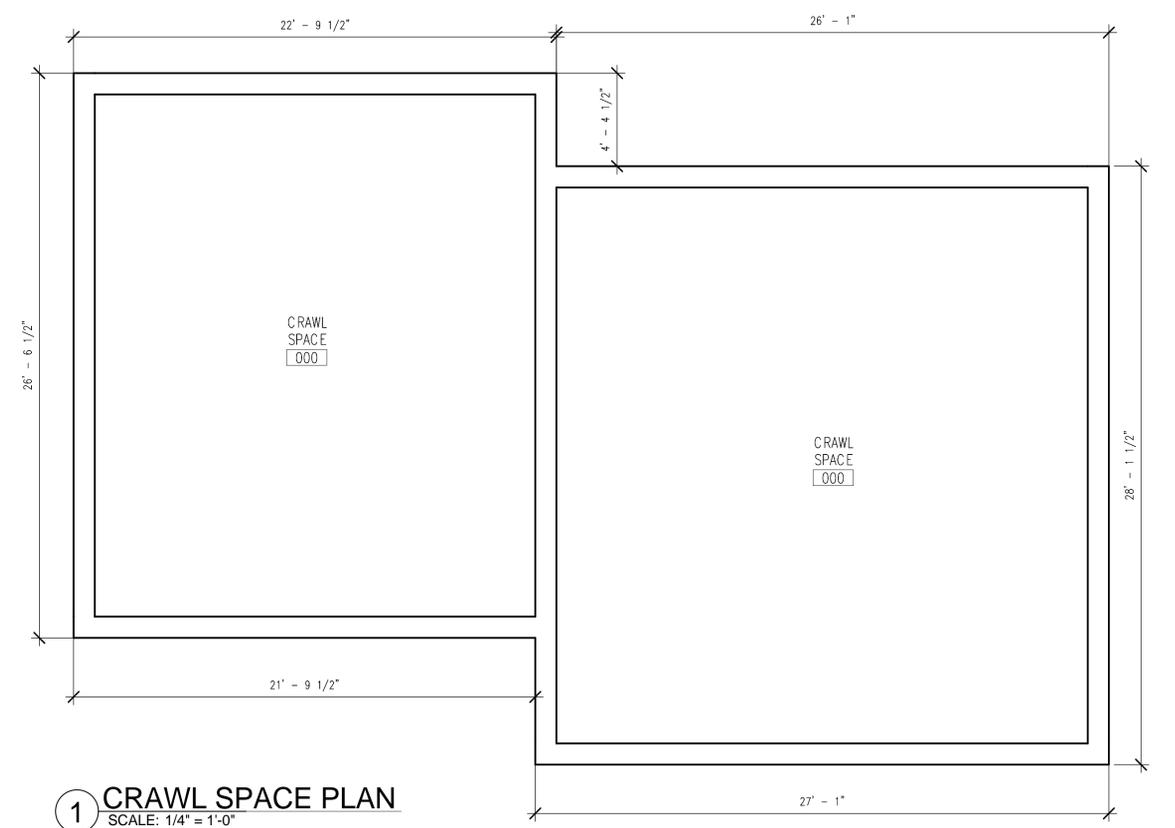
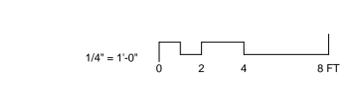
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SCALE: 1/4" = 1'-0"



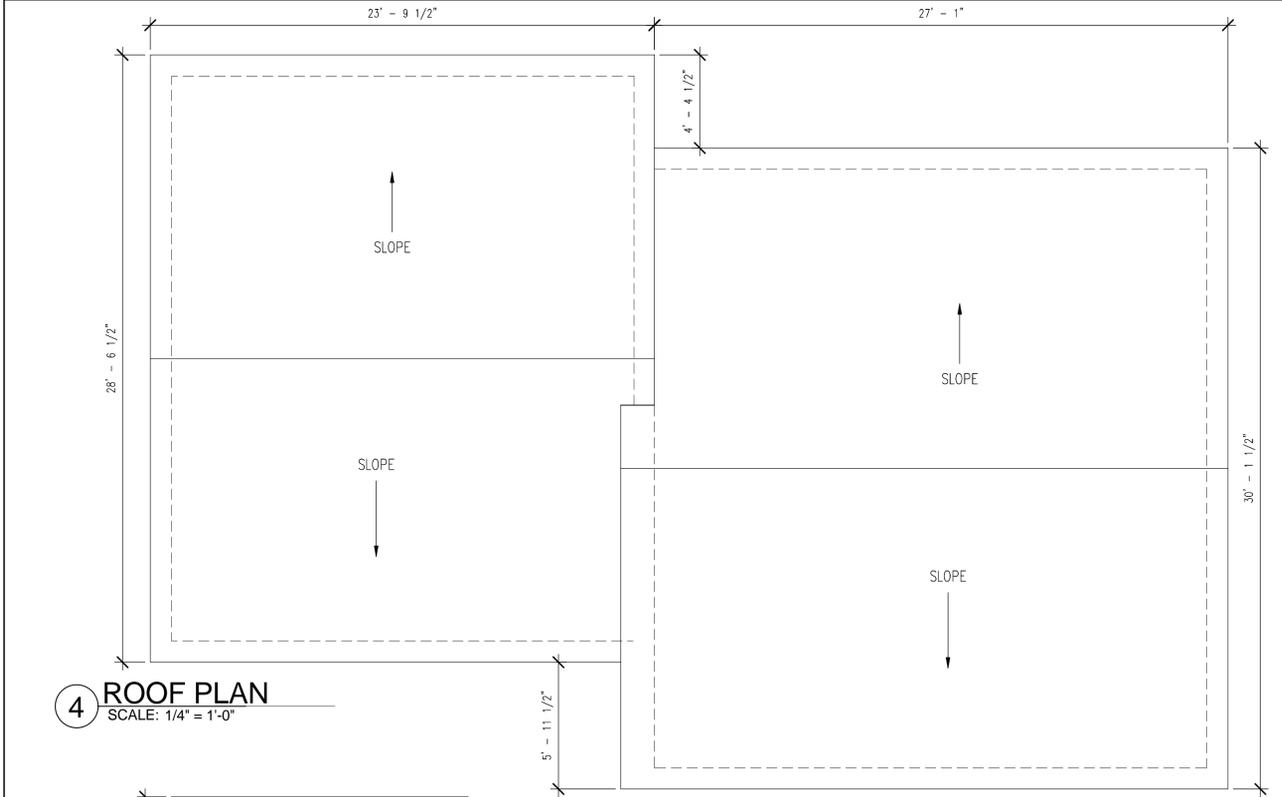
Revisions			
No	Date	Description	By



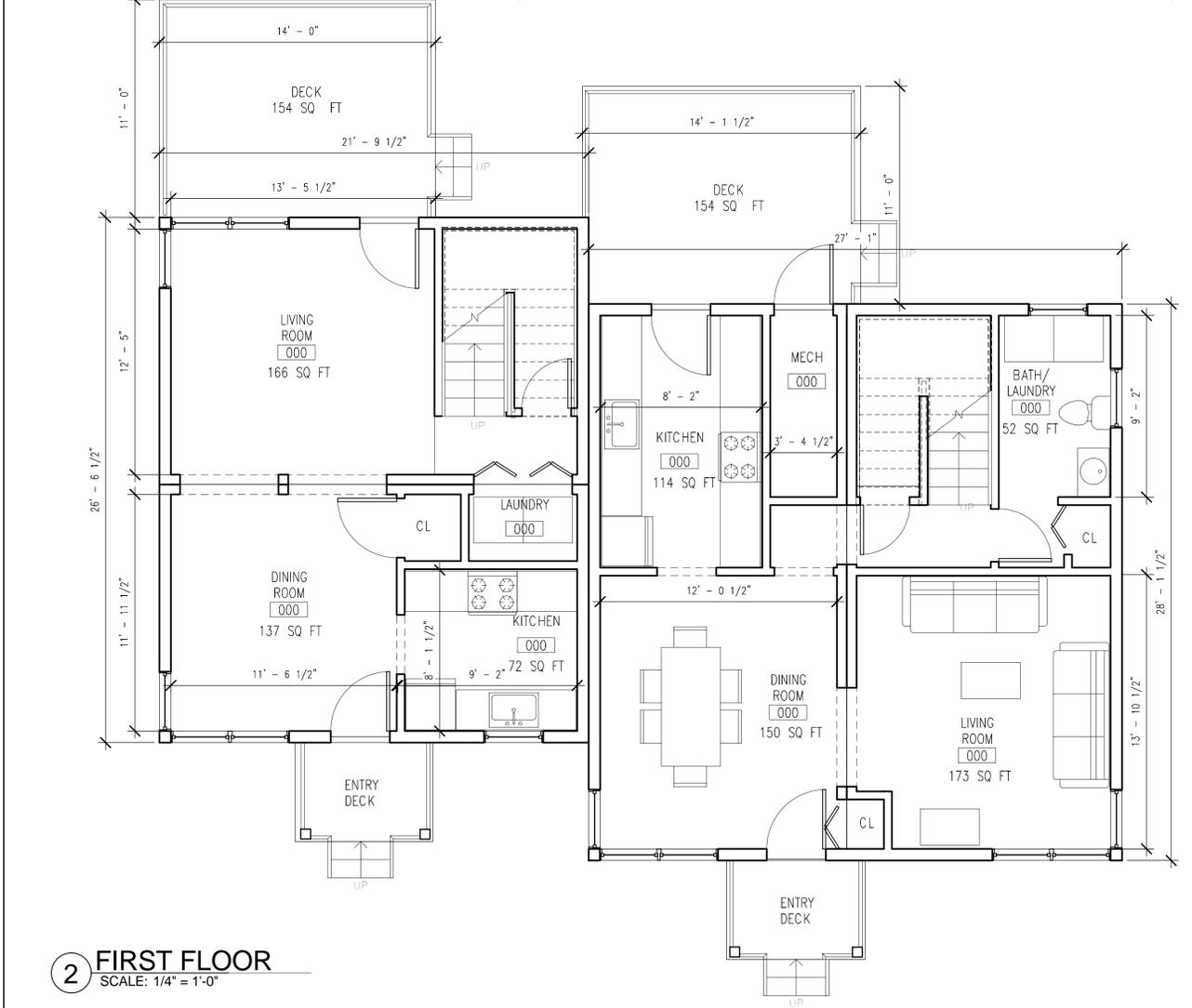
3 SECOND FLOOR
SCALE: 1/4" = 1'-0"



1 CRAWL SPACE PLAN
SCALE: 1/4" = 1'-0"



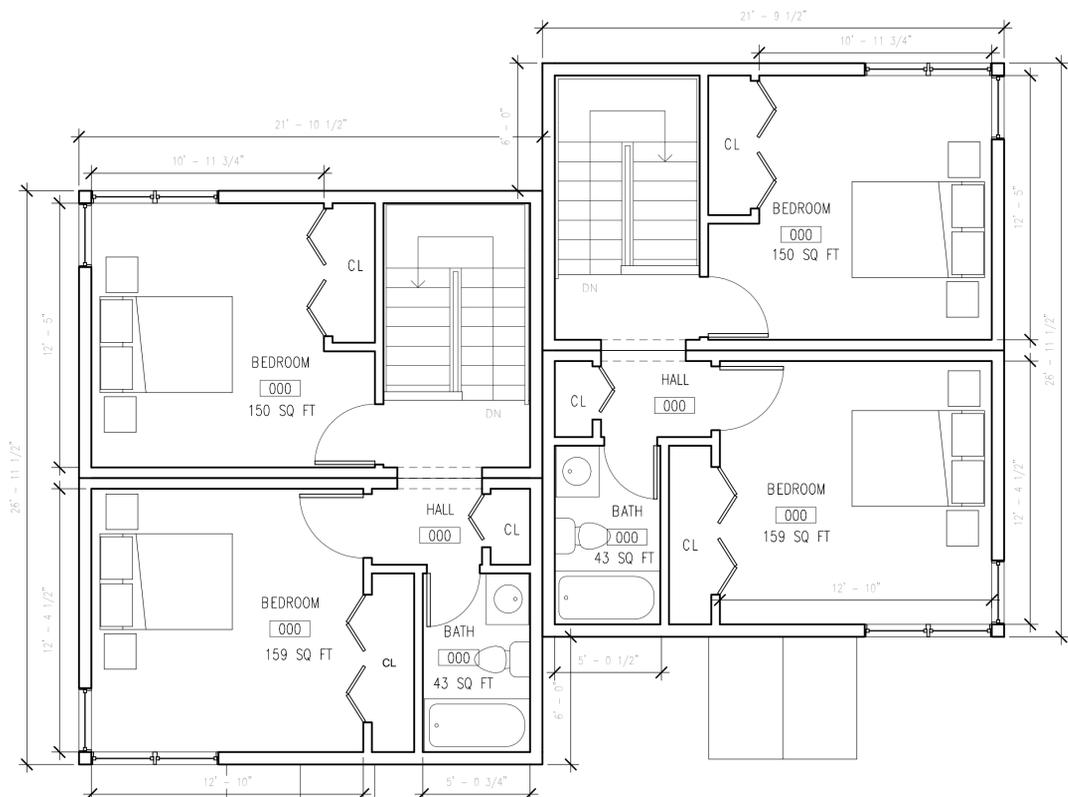
4 ROOF PLAN
SCALE: 1/4" = 1'-0"



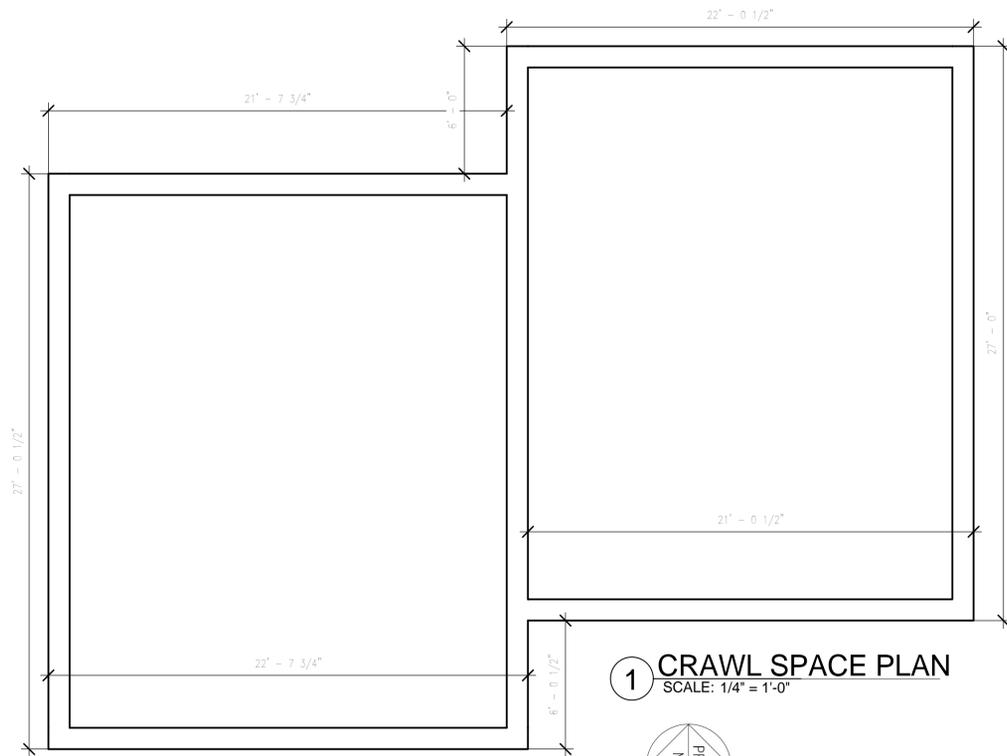
2 FIRST FLOOR
SCALE: 1/4" = 1'-0"



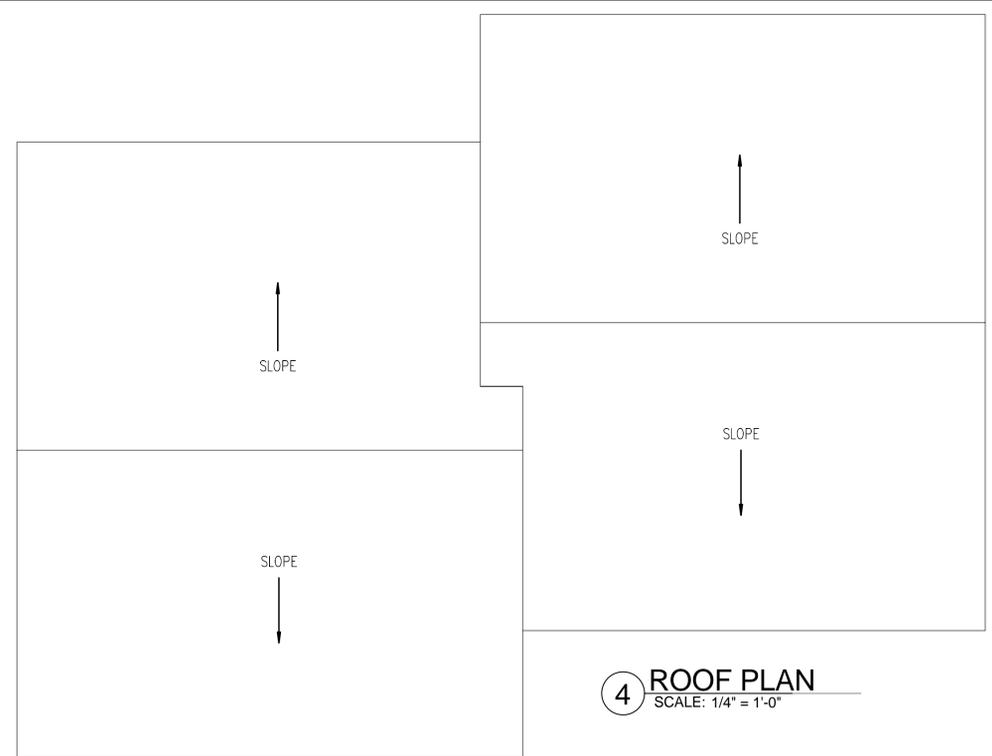
Revisions			
No	Date	Description	By



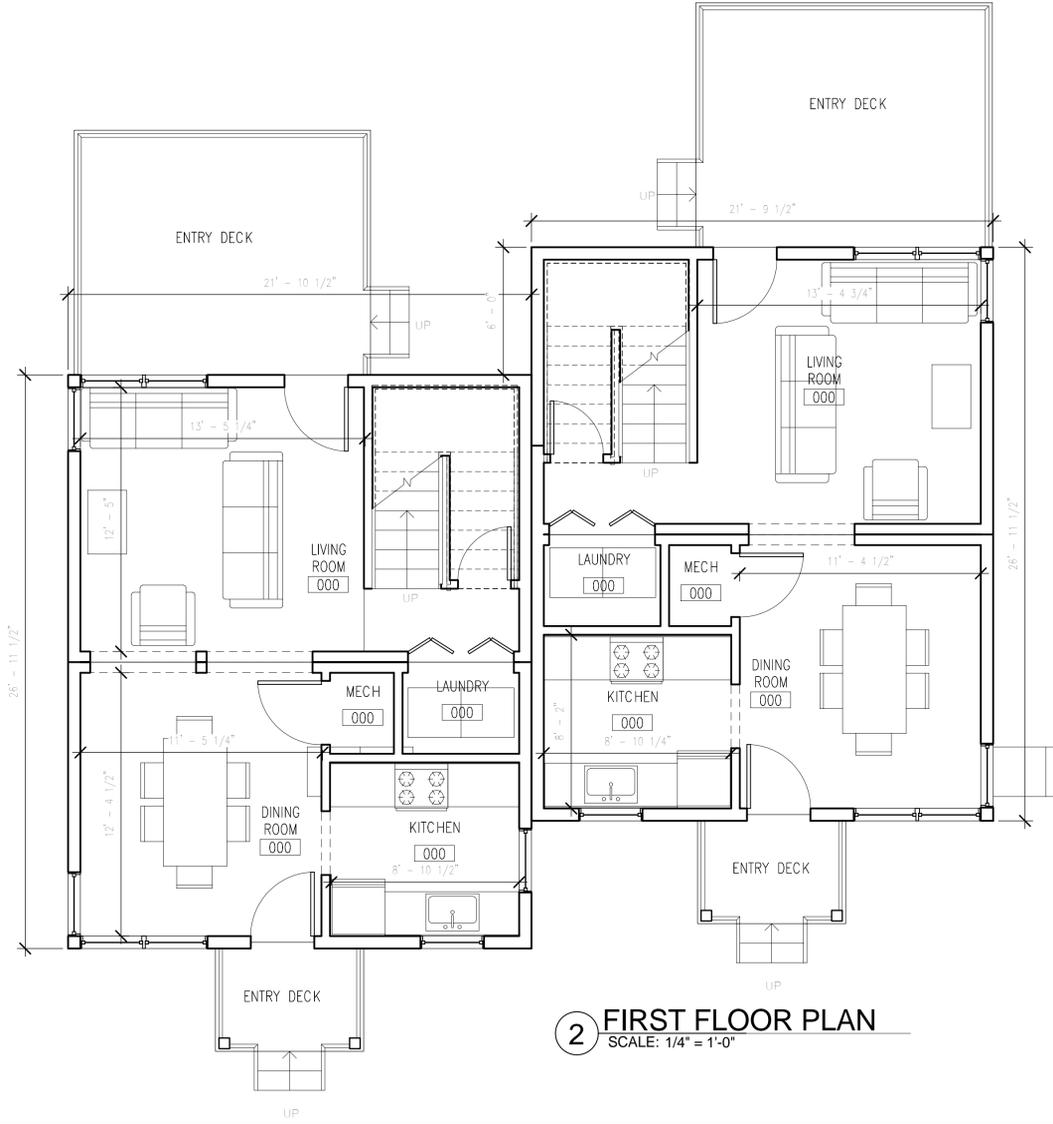
3 SECOND FLOOR
 SCALE: 1/4" = 1'-0"



1 CRAWL SPACE PLAN
 SCALE: 1/4" = 1'-0"



4 ROOF PLAN
 SCALE: 1/4" = 1'-0"

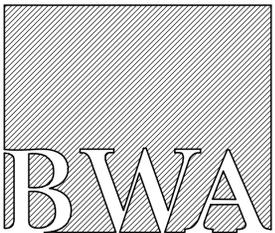


2 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



Stephen D. Baker

BAKER/WOHL ARCHITECTS



132 LINCOLN STREET, #4
BOSTON, MA 02111
TEL: 617.350.7420
FAX: 617.350.5383

Project No: 2915
Drawn By: JT
Checked By: A/BB
Issue Date: 25 JUNE 2010

Revisions			
No	Date	Description	By

Drawing Title:
BUILDING A ELEVATIONS

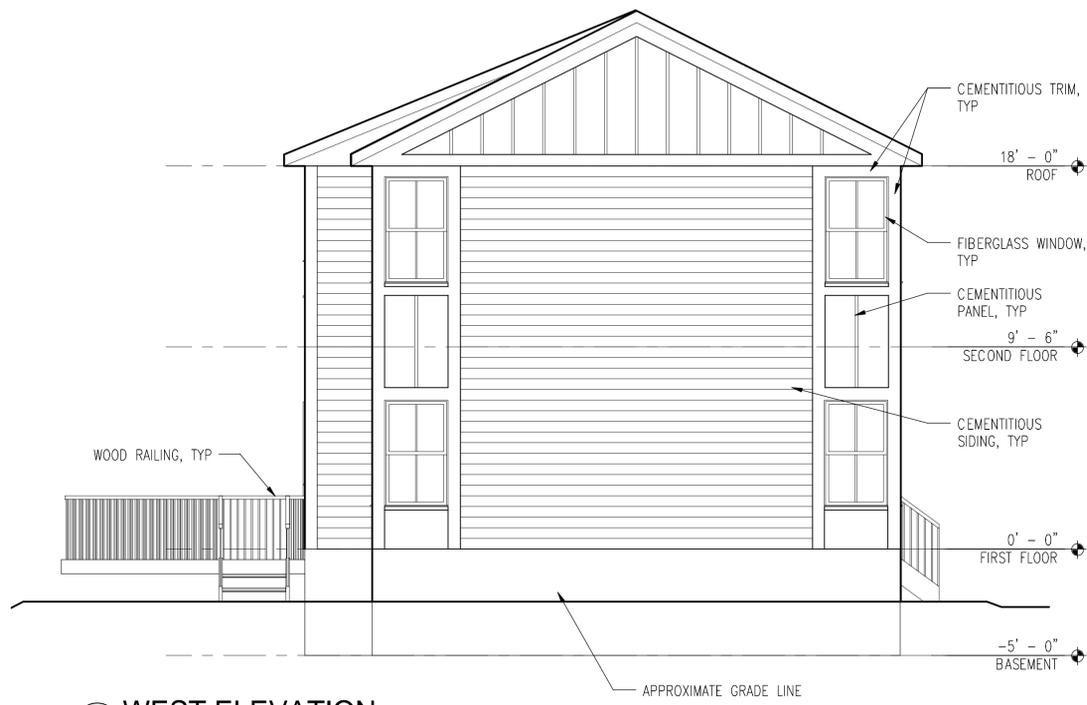
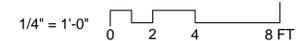
Drawing Number:
A3.1



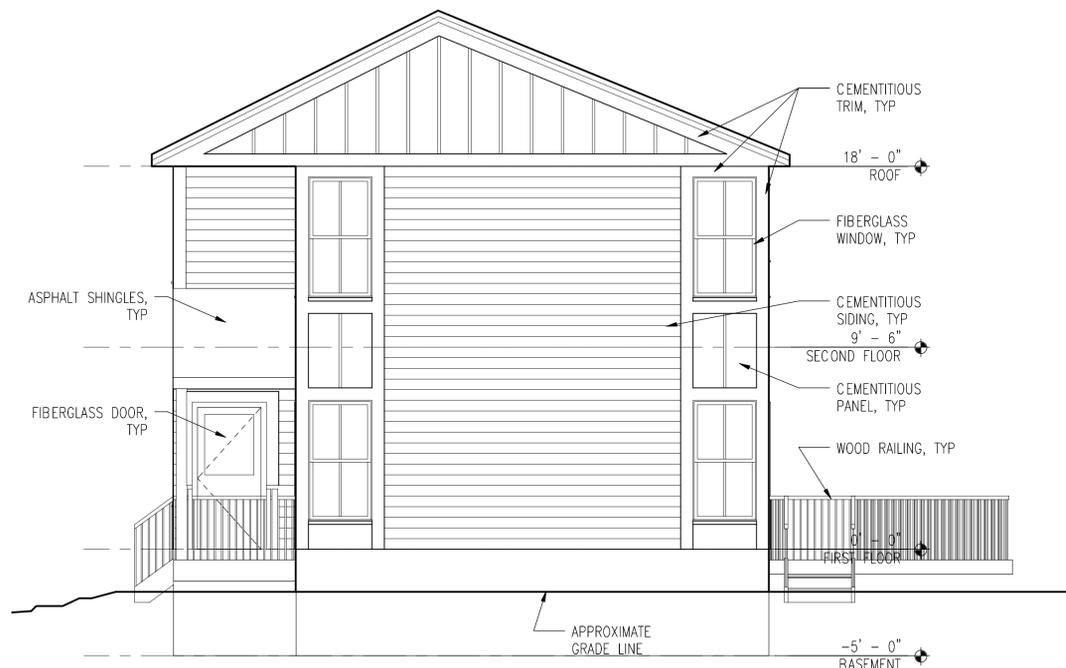
2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"

ACTON HOUSING AUTHORITY

MCCARTHY VILLAGE II

SACHEM WAY, ACTON, MA



BAKER/WOHL ARCHITECTS



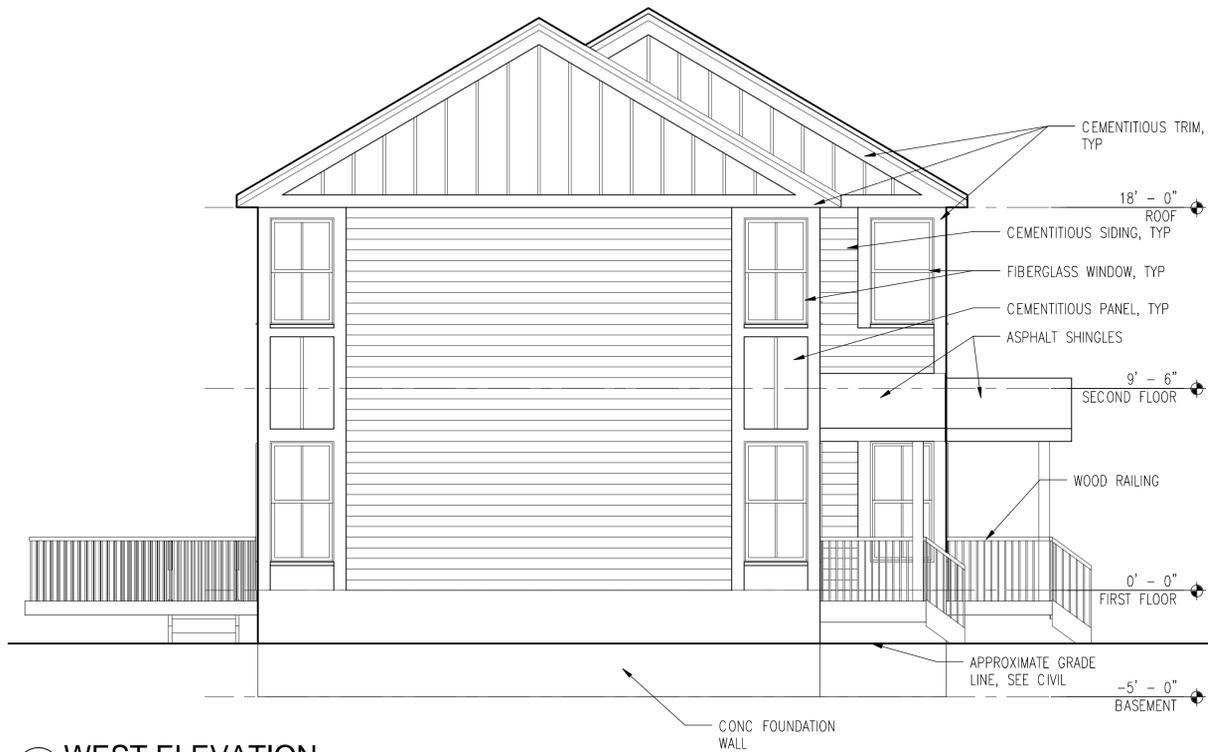
132 LINCOLN STREET, #4
BOSTON, MA 02111
TEL: 617.350.7420
FAX: 617.350.5383

Project No: 2915
Drawn By: JT
Checked By: A/BB
Issue Date: 25 JUNE 2010

Revisions			
No	Date	Description	By

Drawing Title:
BUILDINGS B-D ELEVATIONS

Drawing Number:
A3.2



4 WEST ELEVATION
SCALE: 1/4" = 1'-0"



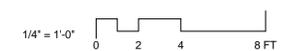
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"





BAKER/WOHL ARCHITECTS



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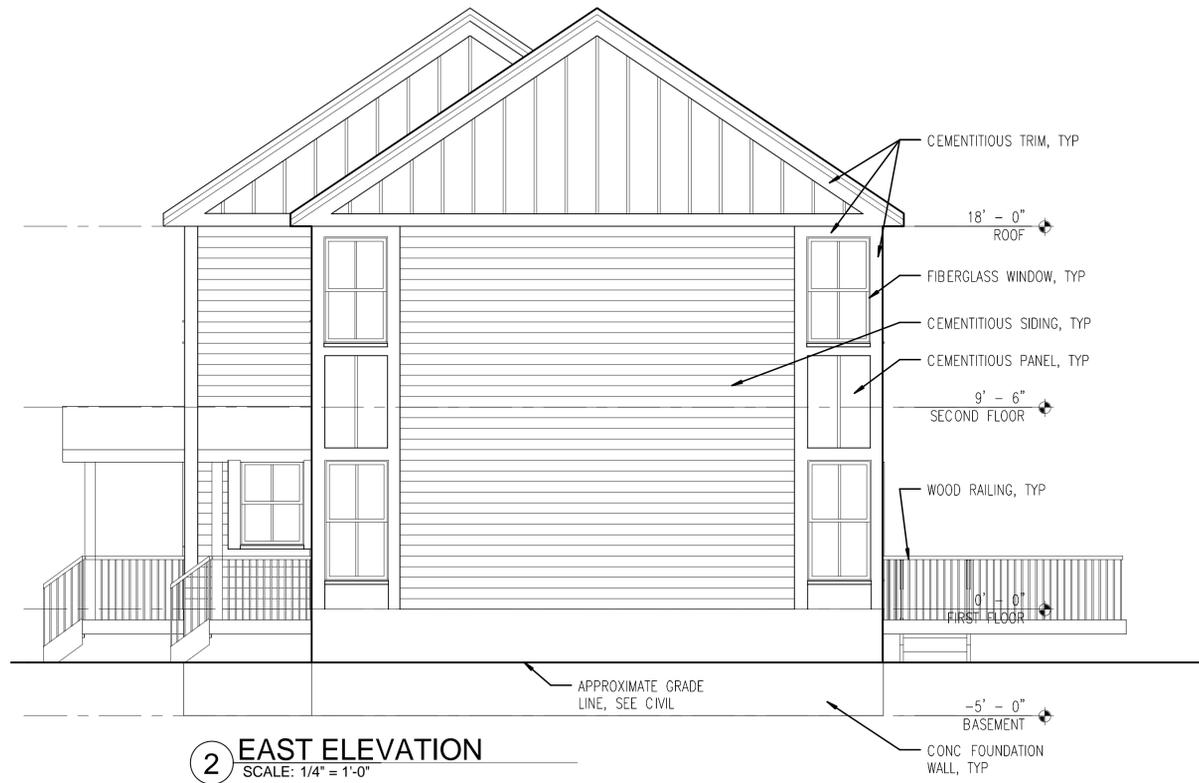
Revisions			
No	Date	Description	By

Drawing Title:
BUILDINGS E-F ELEVATIONS

Drawing Number:
A3.3



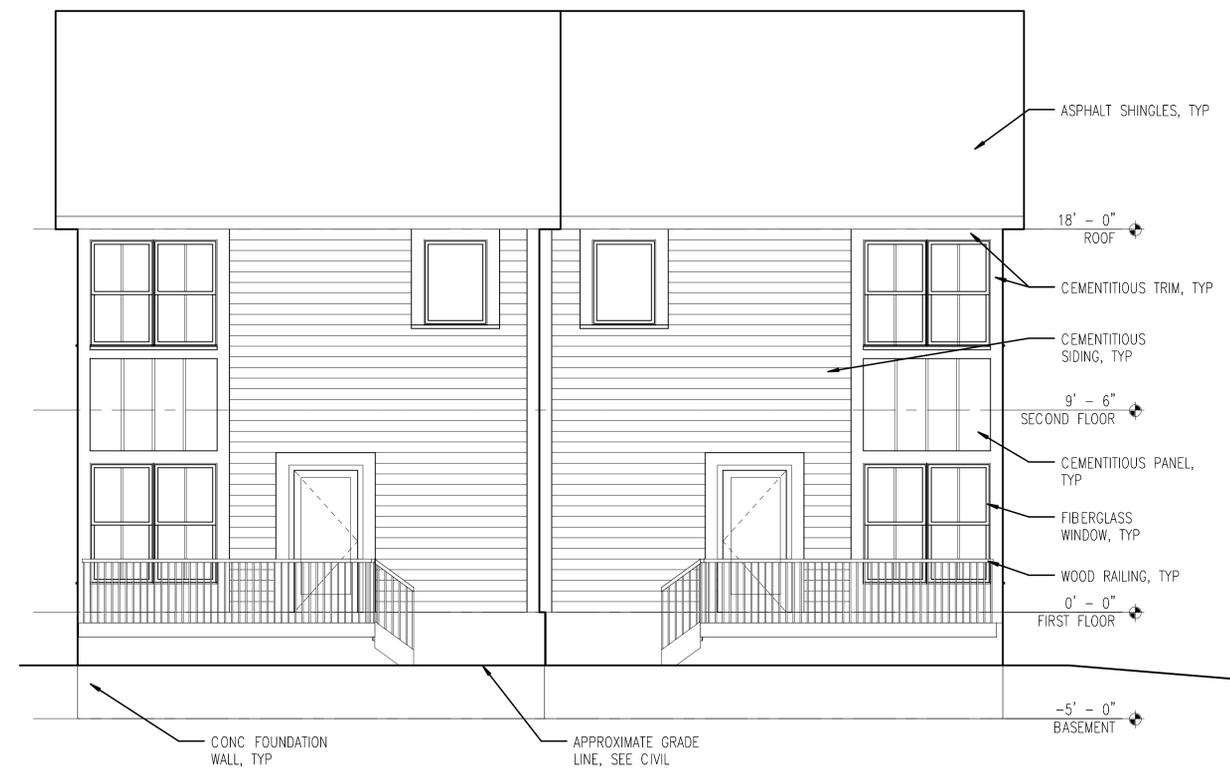
3 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



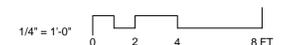
2 EAST ELEVATION
 SCALE: 1/4" = 1'-0"

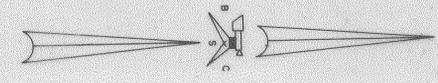
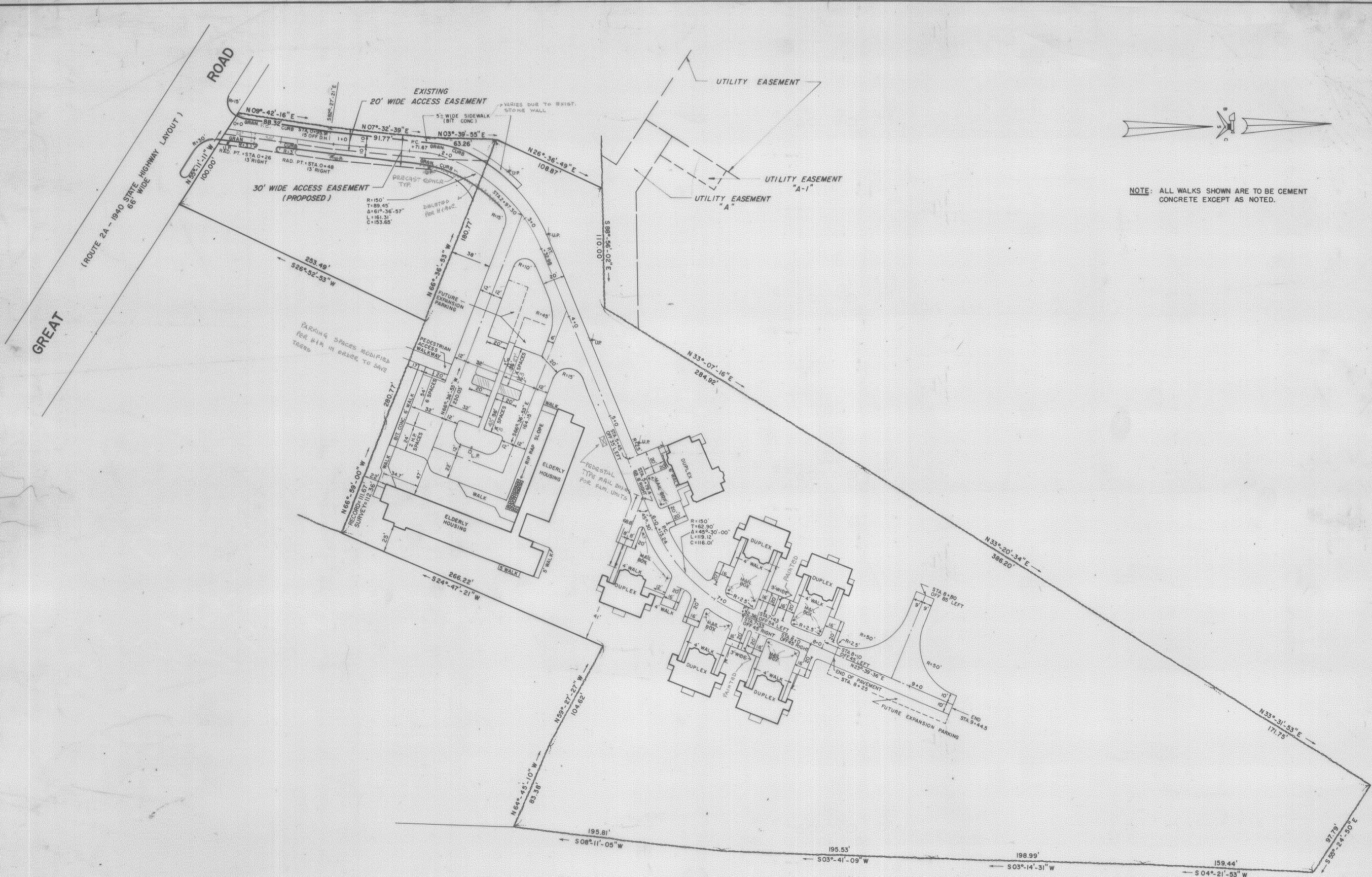


4 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"





NOTE: ALL WALKS SHOWN ARE TO BE CEMENT CONCRETE EXCEPT AS NOTED.

REVISION DATE:
FEB. 22, 1984
REVISED 11/5/84
REVISED 2/1/85
REVISED 2/26/85

JOSEPH W. MOORE CO.
16 RAILROAD AVENUE
BEDFORD, MASS. 01730
617 275-7979

HUGHES & MCCARTHY, INC.
ARCHITECTS & ENGINEERS
20 SPEEN STREET FRAMINGHAM, MASSACHUSETTS

Acton Housing
667-2 and 705-1
Acton, Massachusetts

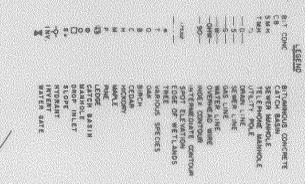
DRAWING TITLE:
SITE LAYOUT

SCALE: 1" = 40'
DATE:
FEB. 13, 1984
DRAWING NO.



Roger M. Quinn
Francis D. Di Pietro

NOTE:
FOR DETAILS OF WORK WITHIN
AND ALONG STATE RIGHT OF WAY
SEE: **DETAIL "A"** (THIS SHEET)



DETAIL "A"
NOTE:
1) EXISTING TREES AND SHRUBS WITHIN
WORK AREA ARE TO BE REMOVED AND
RESTORED AT COMPLETION OF WORK.
2) ALL DISTURBED AREAS ARE TO BE
RESTORED TO AT LEAST ORIGINAL
CONDITION.
3) EXISTING SIGN TO BE REMOVED AND
REPLACED AFTER COMPLETION OF
WORK.

UNLESS NOTED
ALL WORK SHALL BE DONE IN ACCORDANCE
WITH THE LATEST EDITIONS OF THE
CONSTRUCTION SPECIFICATIONS FOR
ROAD AND BRIDGE WORK, PART 1,
AS APPLICABLE. THE CONTRACTOR SHALL
BE RESPONSIBLE FOR OBTAINING ALL
NECESSARY PERMITS AND APPROVALS
FROM THE APPROPRIATE AGENCIES.
THE CONTRACTOR SHALL BE RESPONSIBLE
FOR OBTAINING ALL NECESSARY
PERMITS AND APPROVALS FROM THE
APPROPRIATE AGENCIES. THE
CONTRACTOR SHALL BE RESPONSIBLE
FOR OBTAINING ALL NECESSARY
PERMITS AND APPROVALS FROM THE
APPROPRIATE AGENCIES.

- NOTES:**
1. PLUMBING CONTRACTOR SHALL CONTINUE WORK TO 10'-0" OUTSIDE BUILDING.
 2. FOR LAYOUT AND DETAILS OF PROPOSED ELECTRIC SYSTEM, SEE ELECTRIC UTILITIES PLAN DRAWING PLAN "E-1".
 3. GAS LINES AND SERVICES ARE TO BE INSTALLED BY BOSTON GAS PER CONFIRMATION LETTER DATED JANUARY 3, 1985.

REVISION DATE:	REVISED 2/22/84
	REVISED 11/5/84
	REVISED 2/1/85
DRAWING TITLE:	SITE UTILITIES
SCALE:	1" = 40'
DATE:	FEB. 13, 1984
DRAWING NO.:	X-3
JOSEPH W. MOORE CO. 16 RAILROAD AVENUE BEDFORD, MASS. 01750 617 275-7979	
HUGHES & MacCARTHY, INC. ARCHITECTS & ENGINEERS 20 SPEEN STREET FRAMINGHAM, MASSACHUSETTS	
Acton Housing 667-2 and 705-1 Acton, Massachusetts	

