

PROJECT APPLICATION FORM – 2011

RECEIVED

Applicant: Town of Acton, Municipal Properties **Submission Date:** 10/1/10

NOV 15 2010

Applicant's Address, Phone Number and Email

472 Main Street, Acton

978-929-7744

dcharter@acton-ma.gov

Purpose: (Please select all that apply)

- Open Space
- Community Housing
- Historic Preservation
- Recreation

Town of Acton
Planning Department

Town Committee (if applicable): _____

Project Name: Memorial Library 1889 wing arch window restoration

Project Location/Address: 486 Main Street

Amount Requested: \$ 15,000

Project Summary: In the space below, provide a brief summary of the project.

This application requests funds for the restoration and rehabilitation of the large arch window on the mezzanine level at the North end of the 1889 (original) wing of the Acton Memorial Library. That building serves as Acton's Civil War Memorial, is in the Acton Center Historic District, was listed on the National Register in 1983, is publically owned, and is open to the public. The window overlooks the Civil War exhibit area, which was funded by the Community Preservation Fund in the recent past.

The window is very large, consisting of 128 separate panes of glass with wood muntins and frame. The wood is deteriorating, and prior roof leakage (since repaired) has contributed to the deterioration and plaster damage on the interior of the building. Some years ago the exterior of the window was covered with Pleaxiglass to protect the window from further weathering and minimize the change of damage due ot vandalism.

The attached quotes and photos show the condition of the window, it's placement in the building, and the predicted cost; a contingency has been added in for hidden conditions .

Estimated Date for Commencement of Project: July, 2011

Estimated Date for Completion of Project: December, 2011

486 MAIN STREET – MEMORIAL LIBRARY





09/28/2010



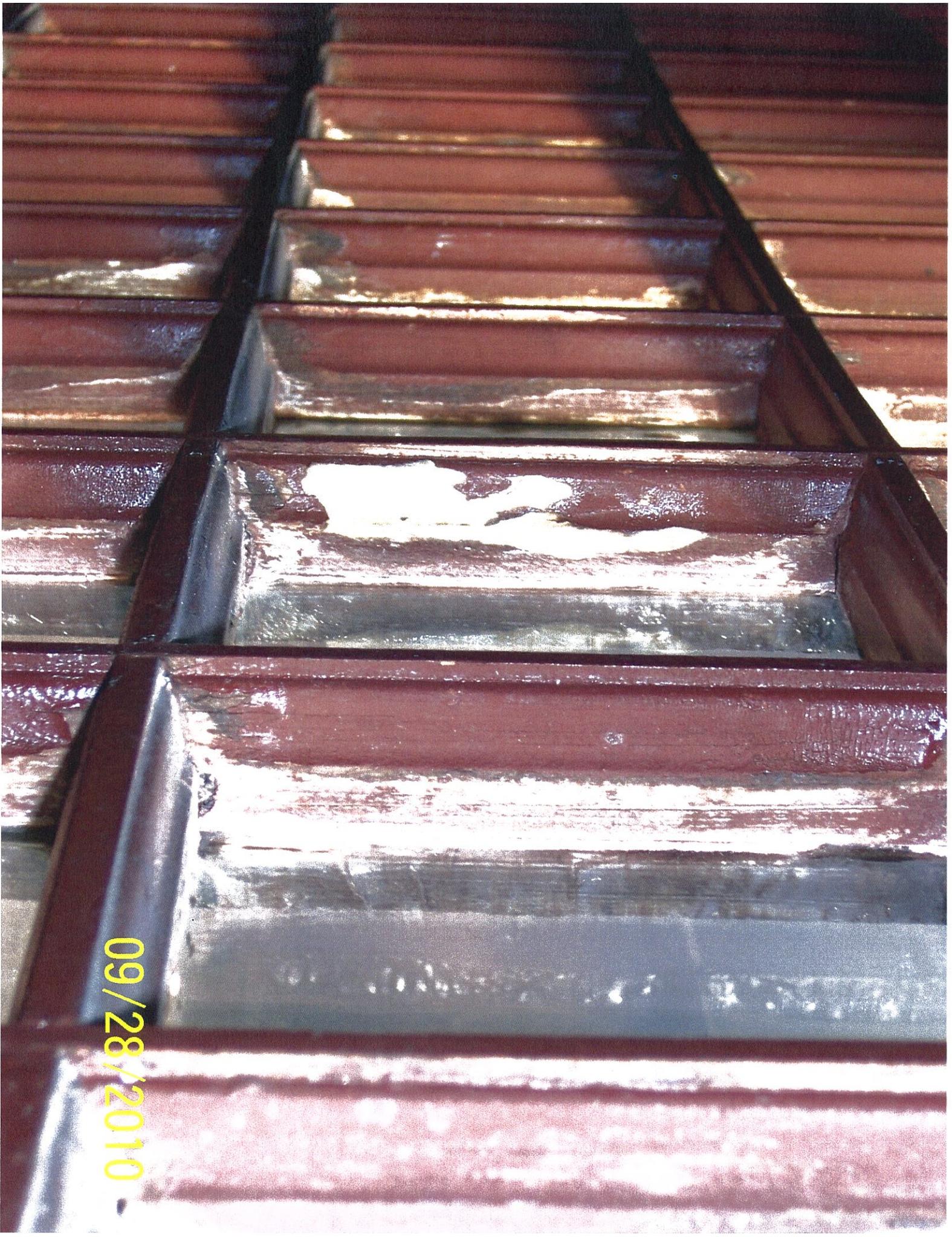
"Getting Home" I considered the most impor
P... ..

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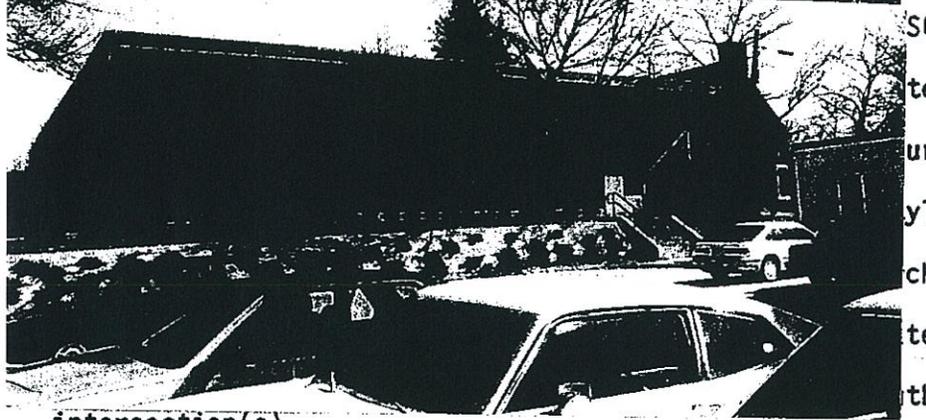
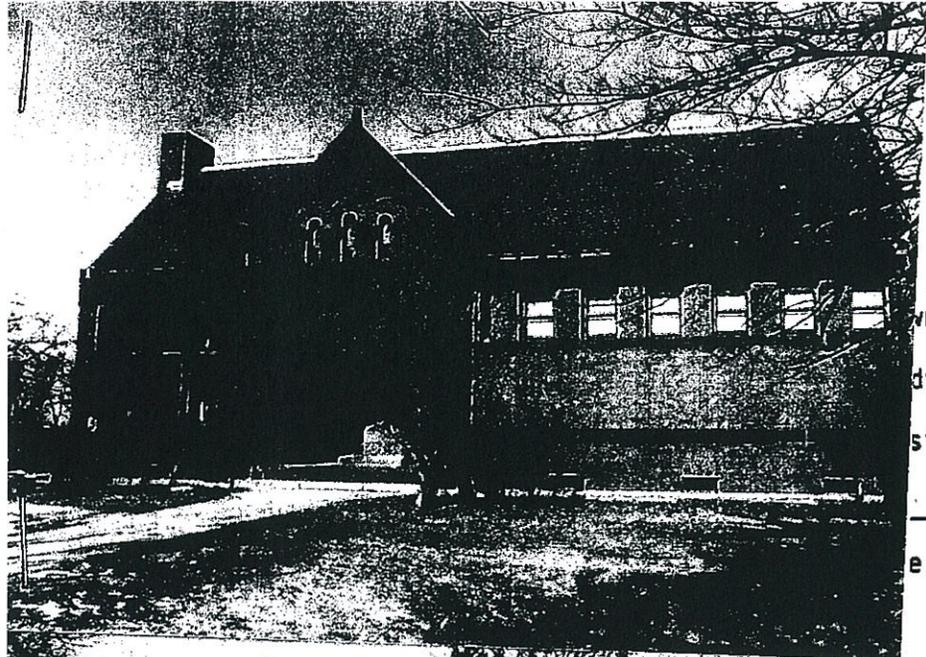


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AREA B FORM NO. 95

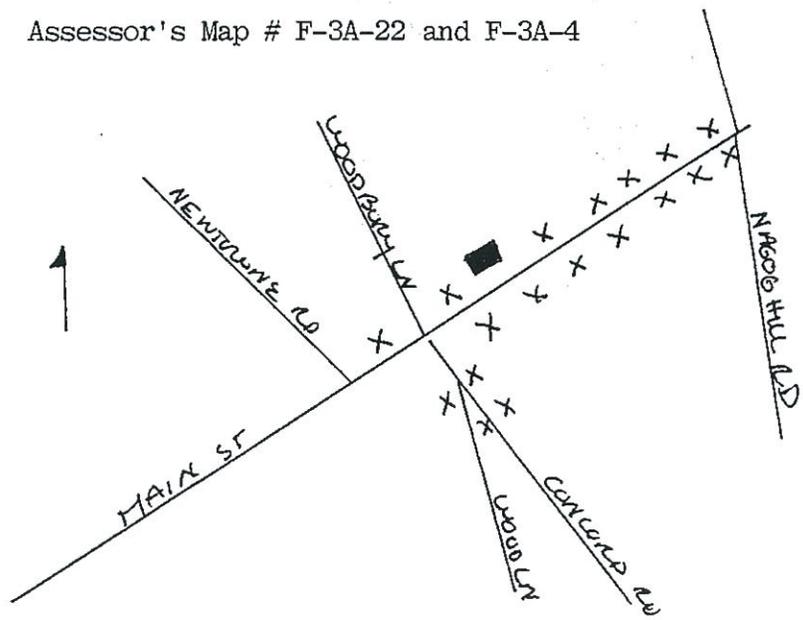
Town ACTON
 Address 486 Main Street
 Historic Name Acton Memorial Library
 Use: Present educational / civic
 Original educational / civic

DESCRIPTION
 Date 1889
 Source cornerstone
 Style Richardsonian Romanesque
 Architect Hartwell and Richardson
 Exterior Wall Fabric brick / brownstone
 Outbuildings none

Major Alterations (with dates) major
 addition _____
 Condition good
 Moved no Date n/a
 Acreage 2.08 acres
 Setting At town center - opposite Common
and next to Town Hall and the commercial
building at center - among 19th century
residential buildings
 Recorded by Gretchen G. Schuler
 Organization Acton Historical Commission
 Date March 1990

intersection(s).
 Indicate north

Assessor's Map # F-3A-22 and F-3A-4



UTM REFERENCE _____
 USGS QUADRANGLE _____
 SCALE _____

NATIONAL REGISTER CRITERIA STATEMENT (if applicable)

LISTED ON THE NATIONAL REGISTER IN 1983
ACTON CENTRE HISTORIC DISTRICT

ARCHITECTURAL SIGNIFICANCE Describe important architectural features and evaluate in terms of other buildings within the community.

SEE CONTINUATION SHEET

HISTORICAL SIGNIFICANCE Explain the role owners played in local or state history and how the building relates to the development of the community.

Acton Centre, once known as Acton Village, developed as the civic and institutional center of the large sprawling town which has several 19th century village centers. Acton Centre took on its suburban institutional form around an elongated Common from 1806 when the Second Meeting House was built and several local citizens bought surrounding farms and laid out house lots and built an hotel and some commercial buildings around the Common. The only industrial site was a shoe factory (no longer extant) opposite the Common. Most Acton industrial properties were located in South and West Acton due to the water power and location of the railroad in 1844 both of which bypassed Acton Centre. Subsequent development included the Evangelical Church, the Town Hall replacing the Second Meeting House, and finally the Library as well as many mid-19th century Greek Revival houses for artisans and professionals. Acton Centre is the approximate geographic center of Acton and appropriately remains the civic center.

SEE CONTINUATION SHEET

BIBLIOGRAPHY and/or REFERENCES

- Atlas/Map: 1889.
- Fletcher, Acton In History, 1890.
- Phalen, History of the Town of Acton, 1954.
- National Register Nomination, MHC, 1983.
- Notebooks, Acton Library.

INVENTORY FORM CONTINUATION SHEET

MASSACHUSETTS HISTORICAL COMMISSION
Office of the Secretary, Boston

Community: ACTON	Form No: B-95
Property Name: 486 Main Street	

Indicate each item on inventory form which is being continued below.

ARCHITECTURAL DESCRIPTION - 486 MAIN STREET

The Acton Public Library is the only Romanesque building in Acton. The building displays traditional Romanesque Revival materials with its brick wall surfaces, brown stone and terra cotta trim, and slate roof. All are in tact. It is set back from the road and framed by the Town Hall on one side and Centre Store on the other. The gable roof long building has a major modern rear addition which is only partially viewed from Main Street; however, it is the main focus when viewing the Library from the Town Hall parking lot. The rectangular original building rests on a raised foundation with flared watertable forming a solid visual anchor for the structurally and decoratively heavy building.

Horizontal lines, string courses of brick and brownstone accentuate and elongate the main facade while the vertical line is recalled by the corner quoins and the narrow engaged columns of a slightly projecting off-center pavilion on the main facade. The 2-story pavilion with gable roof is punctuated by three narrow roundheaded windows that are framed by an arched brownstone trim suggestive of a trefoil design. The corners of the pavilion are articulated by narrow engaged round columns. The wide Romanesque arch marks the recessed entrance and is trimmed in a wide band of brownstone blocks. The area surrounding the arch is decorated by a foliated pattern in terra cotta. The top of the gable is trimmed with brownstone coping. Within the open arched entrance are granite steps leading to multi-panelled wood doors which are not easily visible from the public way. To the left of the entrance pavilion are three windows of 1/1 sash topped by a square transom light punched into the brick walls. On the right side of the entrance there is a string of six small 1/1 recessed windows and one lancet-like window above the bandcourse marking the first story.

The gable end of the main block has a centered tapered exterior chimney with brownstone quoins. There is a 1/1 first story window with transom on each side of the chimney and a narrow roundheaded on each side in the gable peak. These two are marked by the exaggerated wide arch trim similar to that on the entrance pavilion gable peak.

The addition includes a projecting narrow linking ell, which is the entrance lobby and circulation desk on the inside, with wide steps and modern glass entrance doors on the west side and an enormous square 1-story flat roof building that is reminiscent of the International Style with its excessively wide overhang and recessed window bays. The modern windows are full length in height and have small casements at the bottom. The long solid brick walls articulate the interior use of space suggesting the library shelves or stacks.

Staple to Inventory form at bottom

INVENTORY FORM CONTINUATION SHEET

MASSACHUSETTS HISTORICAL COMMISSION
Office of the Secretary, Boston

Community: ACTON	Form No: B-95
Property Name: 486 Main Street	

Indicate each item on inventory form which is being continued below.

HISTORICAL STATEMENT - 486 MAIN STREET

The Acton Memorial Library was a gift of the Hon. William Allen Wilde (1827-1902) in 1889. It was built on land that had been the site of the Fletcher homestead, moved to 74 Nagog Hill Road when the land was acquired for the construction this library. The benefactor, a native of Acton who lived in Malden, purchased the Fletcher estate and built the library and stocked it with 4,000 volumes. Moses Taylor donated his services to move the Fletcher buildings, house and barn, and to clear the land. The Richardsonian Romanesque building was designed by Boston architectural firm of Hartwell and Richardson. (H.V. Hartwell and William Richardson). The builder of the 66' by 33' library was Charles H. Dodge of Groton and the cost was \$30,000.

Wilde was an educator who had taught and been superintendent of the Malden schools. He was a library trustee in Malden a town which already had a Richardsonian Romanesque library designed by Henry Hobson Richardson. Wilde was a successful publisher in Boston.

The issue of building a library had been discussed seriously since 1880. Through the generosity of Wilde Acton no longer had to struggle with the issue of whether to build such an edifice. Wilde proposed a memorial to Acton men who served in the Civil War, accounting for the two massive slate tablets within the freestone arched entrance which list the names of Acton men who died in service in the Civil War on the one hand and those who served and survived on the other.

The first librarian was Ida Hale who worked until 1896. The most well known librarian was Arthur F. Davis who lived across the street and is well remembered for his paintings some of which hang in the library. Davis' term as librarian was from 1902 to 1945.

The large addition has constructed in 1965-1967. It was designed by Concord architect, Joseph Schiffer.

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HEARTWOOD WINDOW RESTORATION
26 forget Road
Hawley, MA 01339
Jade Mortimer 413-339-4298 p/f
Jade@heartwoodrestoration.com

June 14, 2010

Town of Acton
468 Main Street
Acton, MA 01720
ATTN: Dean Charter

~PROPOSAL~

Project: Memorial Library Window Restoration

Pricing reflects a complete restoration of one half round 128 pane fixed window with approximate dimensions of 60" x 108".

- Number, remove and transport sash and stops to Heartwood's shop
- Remove all glass and paint finishes from sash and stops to bare wood
- Repair and/or replace damaged wood components
- Sand and prep wood surfaces
- Clean glass
- Apply oil conditioner to all wood surfaces
- Apply one coat of oil based primer
- Reinstall glass with oil based putty
- Apply two coats of oil based finish paint
- Transport and install sash, stops and new weather stripping
- This proposal reflects work to be done on the sash and stops only. Sill, trim and jamb to be scraped and painted by others.

TOTAL \$ 7,755

PROPOSAL

D. P. AUTIO CO.
 P.O. Box 1451
 Littleton, MA 01460
 978-952-2644(phone/fax)
 978-852-4149(CEL)
 dpautiocompany@aol.com

PROPOSAL NO. #2623
SHEET NO.
DATE

PROPOSAL SUBMITTED TO: Mr. Dean Charter

WORK TO BE PERFORMED AT Acton Memorial Library

NAME Municipal Properties Department
ADDRESS 472 Main St.
Acton, MA 01720
PHONE NO. 508-277-6601(C) 978-264-9629(O) 978-264-9630(fax)

ADDRESS 486 Main St.
Acton, MA
DATE OF PLANS
ARCHITECT dcharter@acton-ma.gov

We hereby propose to furnish the materials and perform the labor necessary for the completion of repair of the damaged plaster around the window on the north east wall in the 1889 Wing.

SCOPE OF WORK:

- Protect the general work area. Cover all floors and carpets with cotton drop cloths or rosin paper. Hang 2 ml poly with blue masking tape cover all bookcases on both floors. Cover all displays with 2 ml poly.
- Provide an erect my own staging.
- Perform the work; Repair damaged plaster surface around a large window on the second floor balcony, one wall. The repair consist of scraping all loose paint, removing all damaged plaster, prime the entire wall with a primer to seal in the calcimine paint prior to repairing. Except where the damaged plaster is extreme. Thoses areas(two, lower, either side of the window) the plaster will be removed to the wood lath then reconstructed using conventional plasters and techniques to make good. The remainder of this wall will be made good using a drywall system(3 coats) covering the primed surface, smooth finish ready for painting.
- Upon completion the work area will be left vacuum clean an all related construction debris will be disposed. The work is expected to take 4 bus-days to complete. The Owner is responsible for the final cleaning.

All material is guaranteed to be as specified, and the above work to be performed in accordance with the drawings and specifications submitted for above work, and completed in a substantial workmanlike manner for the sum of _____

Thirty nine hundred _____ Dollars (\$ 3,900.**)

with payments to be made as follows: As billed for work completed. Terms; Net 30 days, service charge of 1.5%/mo.-18%/yr. on all 10 day old balances.

* 3 SQ. FT. ** This price was estimated without value for the new lead regulations.

Respectfully submitted David P. Autio

Any alteration or deviation from above specifications involving extra costs will be executed only upon written order, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control.

Per D.P. AUTIO CO.

Note - This proposal may be withdrawn by us if not accepted within 400 days.

ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

Signature _____

Date _____

Signature _____