

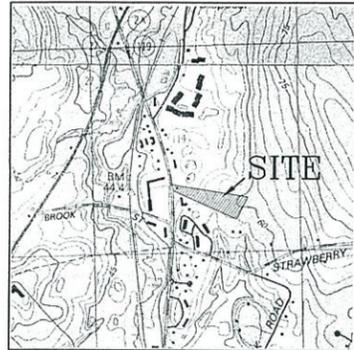
CONCEPTUAL
SUBDIVISION PLAN
263 & 265 GREAT ROAD
IN
ACTON, MASSACHUSETTS
(MIDDLESEX COUNTY)

SCALE: 1"=80' MARCH 28, 2012

STAMSKI AND MCNARY, INC.
1000 MAIN STREET ACTON, MASSACHUSETTS
ENGINEERING - PLANNING - SURVEYING



COMPREHENSIVE PERMIT PLAN FOR THE MEADOWS AT ACTON ACTON, MASSACHUSETTS



LOCUS PLAN
SCALE: 1"=1,200'

- INDEX:**
- SHEET 1 OF 9 - TITLE SHEET, MASTER PLAN, NATURAL FEATURES AND EXISTING CONDITIONS PLAN
 - SHEET 2 OF 9 - RECORD PLAN
 - SHEET 3 OF 9 - SITE DEVELOPMENT PLAN
 - SHEET 4 OF 9 - SITE DEVELOPMENT PLAN
 - SHEET 5 OF 9 - PLAN AND PROFILE
 - SHEET 6 OF 9 - EROSION AND SEDIMENTATION CONTROL PLAN
 - SHEET 7 OF 9 - DETAIL SHEET
 - SHEET 8 OF 9 - DETAIL SHEET
 - SHEET 9 OF 9 - LANDSCAPE PLAN

ZONING DISTRICT:
RESIDENCE 8 (R-8), LIMITED BUSINESS (LB)
GROUNDWATER PROTECTION DISTRICT ZONE 2 & 3

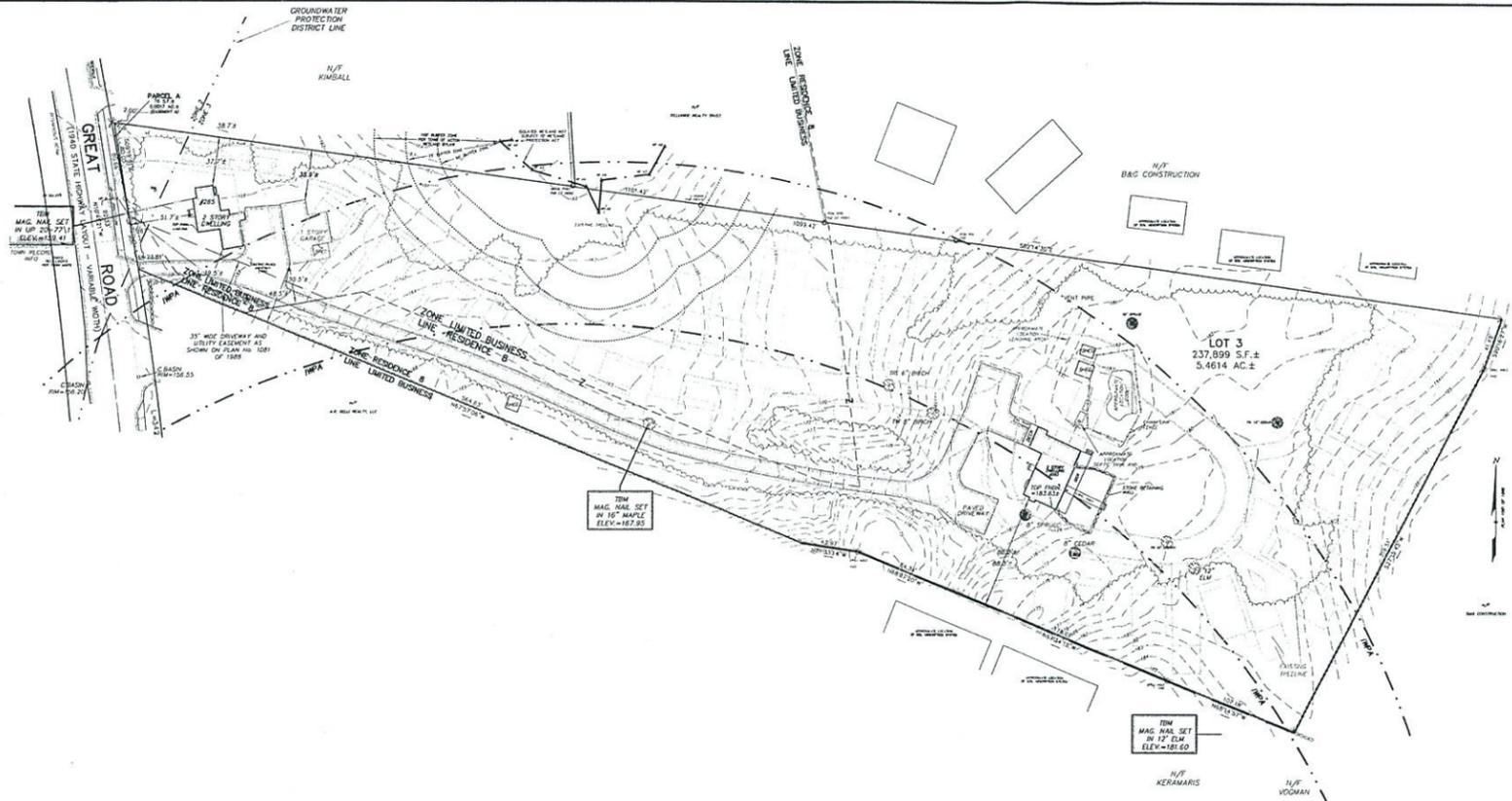
REFERENCE
MIDDLESEX REGISTRY OF DEEDS
SOUTH DISTRICT
TOWN MAP E5 PARCEL 18
DEED BOOK 33151 PAGE 328
TOWN MAP E5 PARCEL 18-1
DEED BOOK 31244 PAGE 284
PLAN No. 426 OF 1932
PLAN No. 1081 OF 1988

RECORD OWNER:
ANTHONY J. RUGGIERO, JR.
263 GREAT ROAD
ACTON, MA 01720

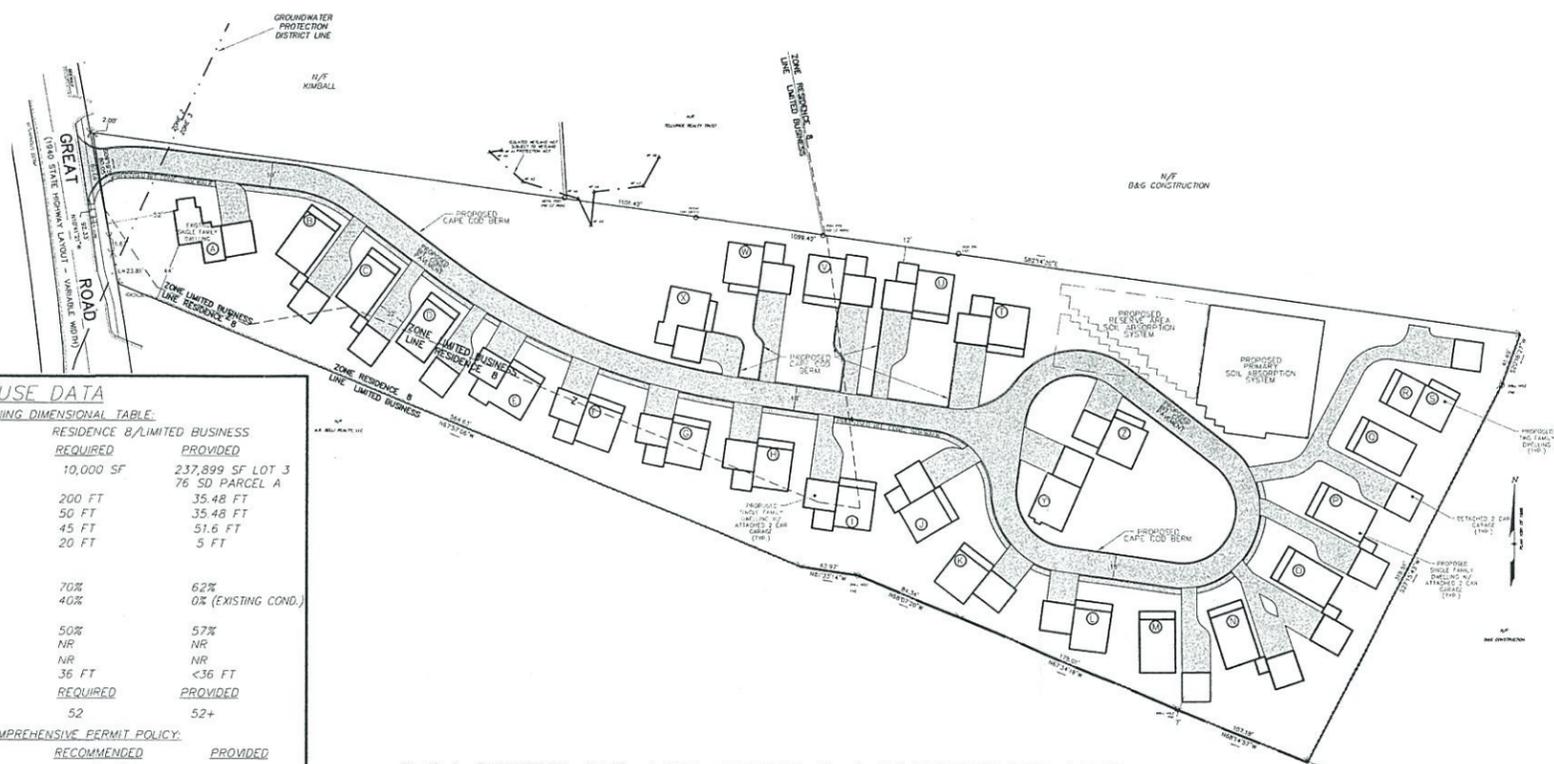
APPLICANT:
263 GREAT ROAD, LLC.
P.O. BOX 2350
69 GREAT ROAD
ACTON, MA 01720

ENGINEER/SURVEYOR:
STAMSKI AND MCNARY, INC.
1000 MAIN STREET
ACTON, MASSACHUSETTS 01720
(978) 263-8585

DATE: MARCH 29, 2012



NATURAL FEATURES AND EXISTING CONDITIONS PLAN
SCALE: 1"=60'



MASTER PLAN AND LAYOUT PLAN
SCALE: 1"=60'

LAND USE DATA		
DIMENSIONAL REQUIREMENTS UNDER ZONING DIMENSIONAL TABLE:		
ZONING DISTRICT	RESIDENCE 8/LIMITED BUSINESS REQUIRED	PROVIDED
TRACT SIZE	10,000 SF	237,899 SF LOT 3 76 SD PARCEL A
MIN. FRONTAGE	200 FT	35.48 FT
MIN. LOT WIDTH	50 FT	35.48 FT
MIN. FRONT YARD	45 FT	51.6 FT
MIN. SIDE AND REAR YARD	20 FT	5 FT
MINIMUM OPEN SPACE		
ZONE 2		
OPEN SPACE	70%	62%
UNDISTURBED OPEN SPACE	40%	0% (EXISTING COND.)
ZONE 3		
LIMITED BUSINESS	50%	57%
RESIDENCE 8	NR	NR
MAXIMUM FLOOR AREA RATIO	NR	NR
MAXIMUM HEIGHT	36 FT	<36 FT
PARKING REQUIREMENTS:	REQUIRED	PROVIDED
2 SPACES/DWELLING UNIT	52	52+
CONSISTENCY WITH TOWN OF ACTON COMPREHENSIVE PERMIT POLICY:		
	RECOMMENDED	PROVIDED
NUMBER OF UNITS	50 OR LESS	26
	SMALL SCALE PROJECT	
LOT COVERAGE:	EXISTING	PROPOSED
BUILDING COVERAGE	4,317 SF±	44,330 SF
OTHER IMPERVIOUS COVERAGE (WALKS, DRIVES, ETC.)	13,714 SF±	52,893 SF

RECORD OWNER

ANTHONY J. RUGGIERO, JR.
263 GREAT ROAD
ACTON, MA

REFERENCE

MIDDLESEX REGISTRY OF DEEDS
SOUTH DISTRICT
TOWN MAP E5 PARCEL 18
DEED BOOK 33151 PAGE 328
TOWN MAP E5 PARCEL 18-1
DEED BOOK 31244 PAGE 284
PLAN No. 426 OF 1932
PLAN No. 269 OF 1933
PLAN No. 521 OF 1940
PLAN No. 80 OF 1948
PLAN No. 883 OF 1948
PLAN No. 1659 OF 1953
PLAN No. 792 OF 1969
PLAN No. 1042 OF 1977
PLAN No. 1252 OF 1984
PLAN No. 1081 OF 1988

ZONING DISTRICT

RESIDENCE 8
LIMITED BUSINESS
GROUNDWATER PROTECTION DISTRICTS
ZONES 2 AND 3

SEE "TOWN OF ACTON ZONING BOARD OF APPEALS COMPREHENSIVE PERMIT DECISION", RECORDED WITH MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS IN BOOK _____ PAGE _____

APPROVED BY:
TOWN OF ACTON
PLANNING BOARD

DATE

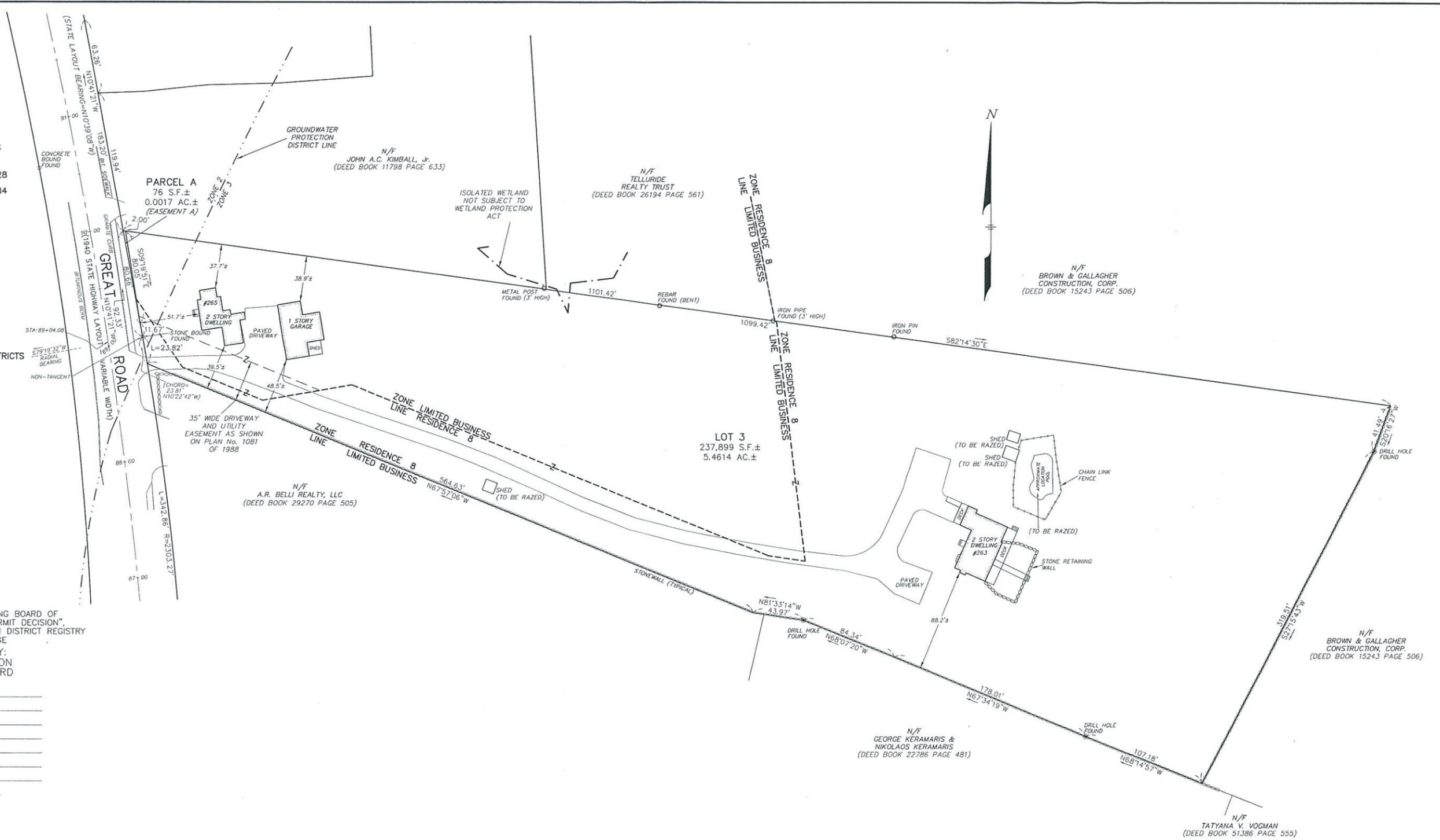
NOTES:

- THIS PLAN IS BASED ON AN ON THE GROUND SURVEY. THE CERTIFICATION HEREON IS INTENDED TO MEET THE REQUIREMENTS OF THE REGISTRY OF DEEDS ONLY, AND IS NOT CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN, OR AS TO THE EXISTENCE OF RECORDED OR UNRECORDED EASEMENTS. OWNERSHIP OF ABUTTING PROPERTIES ARE FROM CURRENT ASSESSOR'S RECORDS.
- PARCEL A IS NOT A LEGAL BUILDING LOT. IT IS SHOWN FOR CONVEYANCE PURPOSES.

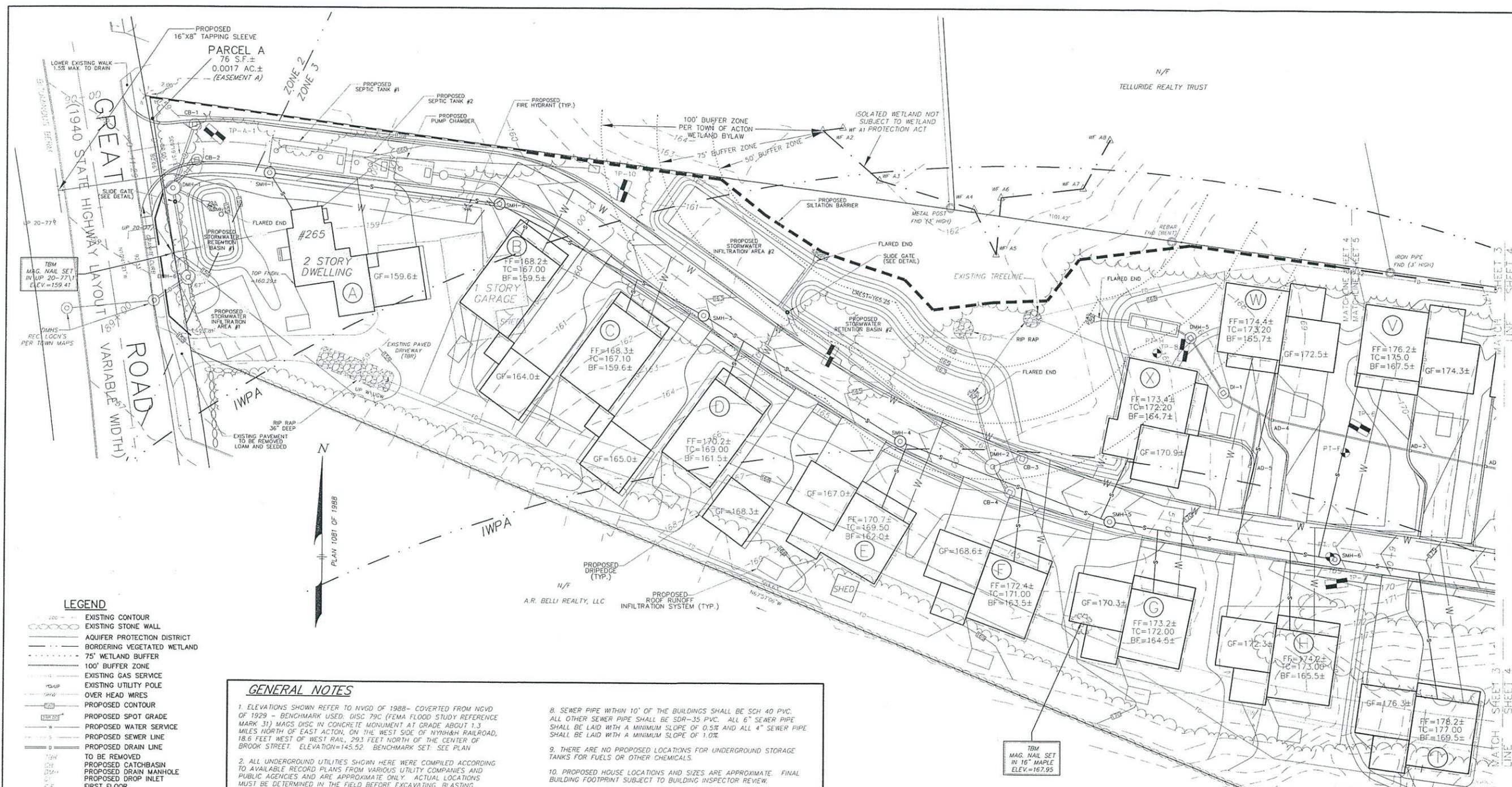
I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE

REGISTERED PROFESSIONAL LAND SURVEYOR



THE MEADOWS AT ACTON COMPREHENSIVE PERMIT ACTON, MASSACHUSETTS (MIDDLESEX COUNTY)	
RECORD PLAN	
FOR: 263 GREAT ROAD, LLC. SCALE: 1"=40' MARCH 29, 2012	
STAMSKI AND McNARY, INC. 1000 MAIN STREET ACTON, MASS. ENGINEERING - PLANNING - SURVEYING 978-263-8585	
0 10 20 40 60 80 FT	
SM-4810 (4810RECORD.DWG) SHEET 2 OF 9	



- LEGEND**
- EXISTING CONTOUR
 - EXISTING STONE WALL
 - AQUIFER PROTECTION DISTRICT
 - BORDERING VEGETATED WETLAND
 - 75' WETLAND BUFFER
 - 100' BUFFER ZONE
 - EXISTING GAS SERVICE
 - EXISTING UTILITY POLE
 - OVER HEAD WIRES
 - PROPOSED CONTOUR
 - PROPOSED SPOT GRADE
 - PROPOSED WATER SERVICE
 - PROPOSED SEWER LINE
 - PROPOSED DRAIN LINE
 - TO BE REMOVED
 - PROPOSED CATCHBASIN
 - PROPOSED DRAIN MANHOLE
 - PROPOSED DROP INLET
 - FIRST FLOOR
 - TOP OF CONCRETE BASEMENT FLOOR
 - UNIT DESIGNATION

GENERAL NOTES

1. ELEVATIONS SHOWN REFER TO NAVD OF 1988 - COVERED FROM NAVD OF 1929 - BENCHMARK USED: DISC 79C (FEMA FLOOD STUDY REFERENCE MARK 31) MAGS DISC IN CONCRETE MONUMENT AT GRADE ABOUT 1.3 MILES NORTH OF EAST ACTON, ON THE WEST SIDE OF NYNH&H RAILROAD, 18.6 FEET WEST OF WEST RAIL, 29.3 FEET NORTH OF THE CENTER OF BROOK STREET. ELEVATION=145.52. BENCHMARK SET: SEE PLAN
2. ALL UNDERGROUND UTILITIES SHOWN HERE WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION OR REPAIRING. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963 MASS. WE ASSUME NO RESPONSIBILITY FOR DAMAGE INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN, BEFORE PLANNING FUTURE CONNECTIONS. THE APPROPRIATE PUBLIC UTILITY ENGINEERING DEPARTMENT MUST BE CONSULTED. DIG-SAFE TELE. NO. (888) 344-7233.
3. ALL ROOF DRAINAGE SHALL BE PIPED TO SUBSURFACE ROOF DRAIN DRYWELL. PROPOSED GARAGE ROOF WITHOUT GUTTERS SHALL HAVE A DRIPEDGE.
4. ALL LIMITS OF WORK SHALL BE LOCATED IN THE FIELD PRIOR TO CONSTRUCTION.
5. ALL STUMPS AND OTHER CONSTRUCTION DEBRIS SHALL BE PROPERLY REMOVED FROM THE SITE.
6. ANY FILL MATERIAL USED SHALL BE FREE OF HAZARDOUS MATERIALS OR WASTE.
7. TRANSPORTATION OF FILL, EARTH, OR CONSTRUCTION DEBRIS TO OR FROM THE SITE SHALL BE RESTRICTED TO DAYTIME HOURS (9 AM TO 4 PM) MONDAY THROUGH FRIDAY.
8. SEWER PIPE WITHIN 10' OF THE BUILDINGS SHALL BE SCH 40 PVC. ALL OTHER SEWER PIPE SHALL BE SDR-35 PVC. ALL 6" SEWER PIPE SHALL BE LAID WITH A MINIMUM SLOPE OF 0.5% AND ALL 4" SEWER PIPE SHALL BE LAID WITH A MINIMUM SLOPE OF 1.0%.
9. THERE ARE NO PROPOSED LOCATIONS FOR UNDERGROUND STORAGE TANKS FOR FUELS OR OTHER CHEMICALS.
10. PROPOSED HOUSE LOCATIONS AND SIZES ARE APPROXIMATE. FINAL BUILDING FOOTPRINT SUBJECT TO BUILDING INSPECTOR REVIEW.
11. WATER LINES THAT CROSS SEWER LINES SHALL BE ENCASED IN CONCRETE FOR 10 FEET ON EITHER SIDE OF CROSSING UNLESS SEWER IS AT LEAST 18 INCHES BELOW WATER LINE.
12. ALL WATER PIPES, HYDRANTS, GATE VALVES AND OTHER APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE ACTON WATER SUPPLY DISTRICT REQUIREMENTS.
13. GAS, ELECTRIC, AND CABLE LOCATIONS TO BE DESIGNED BY UTILITY COMPANIES.
14. ANY PORTIONS OF THE ABANDONED SEPTIC SYSTEM ENCOUNTERED DURING EXCAVATION SHALL BE REMOVED FROM THE SITE.
15. ALL EXISTING MONUMENTS SHALL BE MARKED IN THE FIELD PRIOR TO CONSTRUCTION. ANY SURVEY MONUMENT DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE RESET AND ITS NEW LOCATION CERTIFIED BY A REGISTERED LAND SURVEYOR.

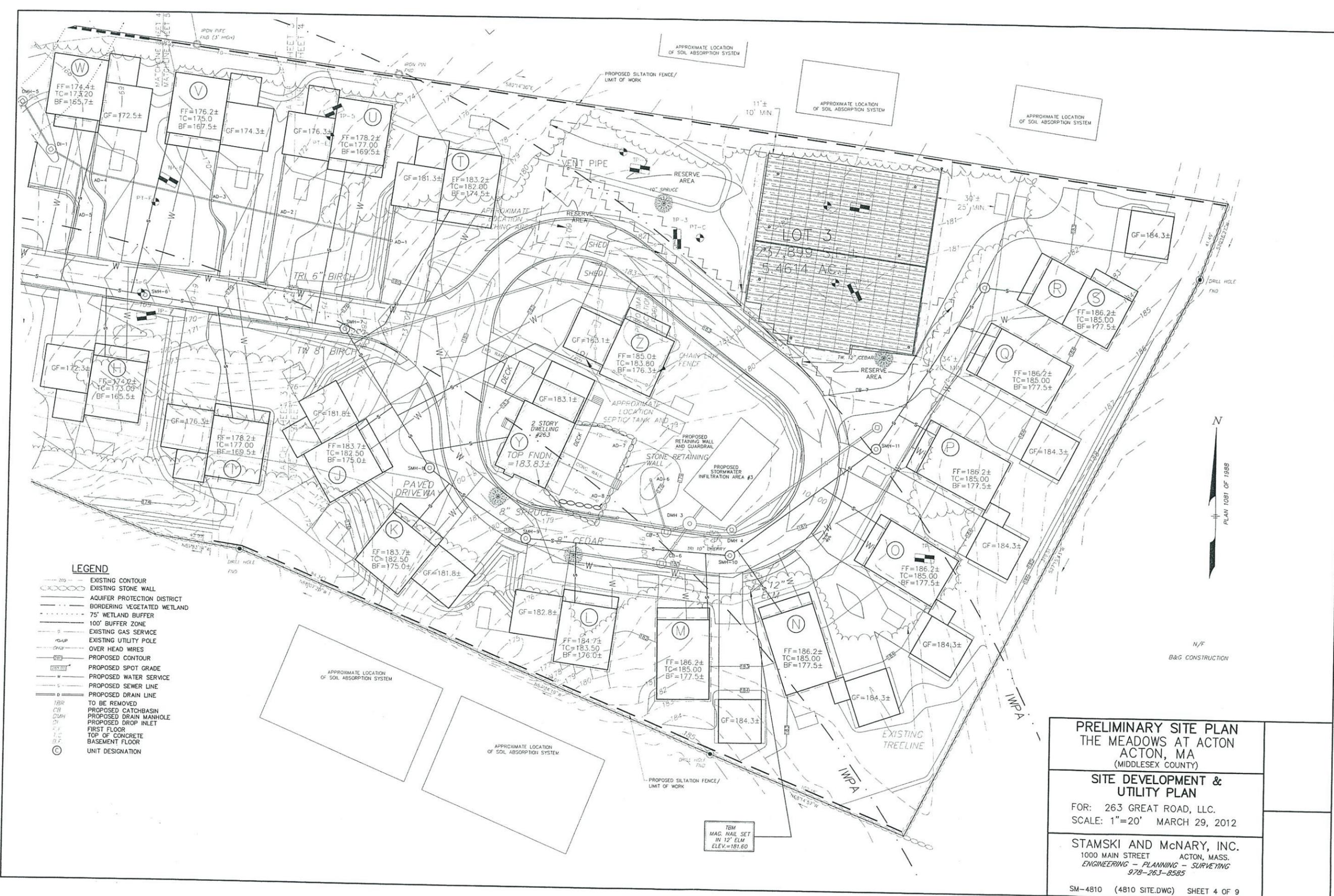
PRELIMINARY SITE PLAN
THE MEADOWS AT ACTON
 ACTON, MA
 (MIDDLESEX COUNTY)

SITE DEVELOPMENT &
UTILITY PLAN

FOR: 263 GREAT ROAD, LLC.
 SCALE: 1"=20' MARCH 29, 2012

STAMSKI AND McNARY, INC.
 1000 MAIN STREET ACTON, MASS.
 ENGINEERING - PLANNING - SURVEYING
 978-263-8585

SM-4810 (4810 SITE.DWG) SHEET 3 OF 9



- LEGEND**
- 200 --- EXISTING CONTOUR
 - 100 --- EXISTING STONE WALL
 - AQUIFER PROTECTION DISTRICT
 - BORDERING VEGETATED WETLAND
 - 75' WETLAND BUFFER
 - 100' BUFFER ZONE
 - EXISTING GAS SERVICE
 - EXISTING UTILITY POLE
 - OVER HEAD WIRES
 - PROPOSED CONTOUR
 - PROPOSED SPOT GRADE
 - PROPOSED WATER SERVICE
 - PROPOSED SEWER LINE
 - PROPOSED DRAIN LINE
 - TO BE REMOVED
 - PROPOSED CATCHBASIN
 - PROPOSED DRAIN MANHOLE
 - PROPOSED DROP INLET
 - FIRST FLOOR
 - TOP OF CONCRETE
 - BASEMENT FLOOR
 - UNIT DESIGNATION

PRELIMINARY SITE PLAN
THE MEADOWS AT ACTON
 ACTON, MA
 (MIDDLESEX COUNTY)

**SITE DEVELOPMENT &
 UTILITY PLAN**

FOR: 263 GREAT ROAD, LLC.
 SCALE: 1"=20' MARCH 29, 2012

STAMSKI AND McNARY, INC.
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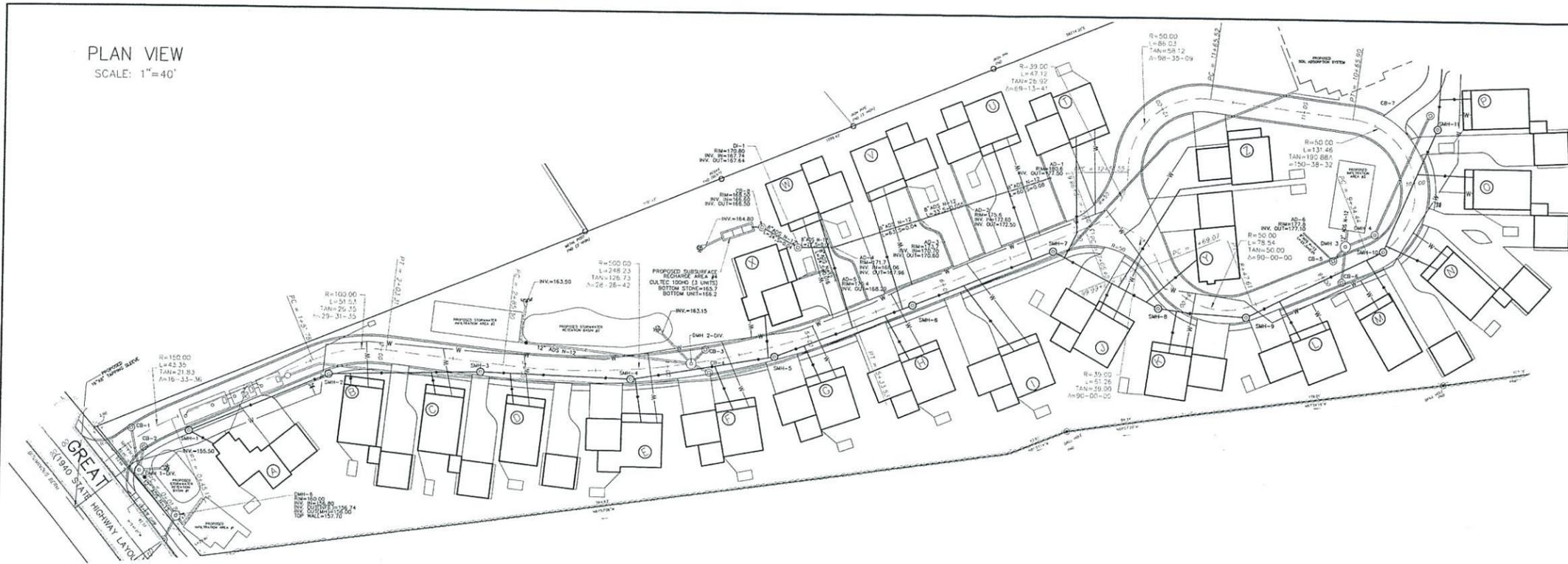
SM-4810 (4810 SITE.DWG) SHEET 4 OF 9



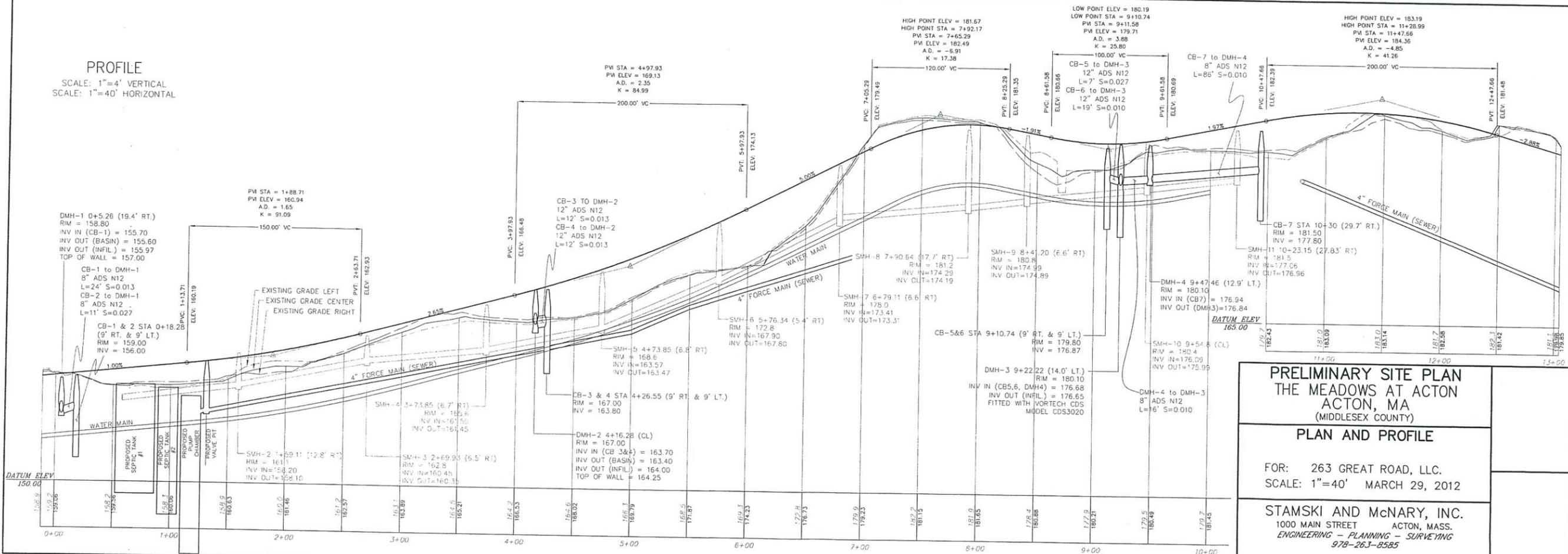
N/F
 B&G CONSTRUCTION

TBM
 MAG. NAIL SET
 IN 12" ELM
 ELEV.=181.60

PLAN VIEW
SCALE: 1"=40'



PROFILE
SCALE: 1"=4' VERTICAL
SCALE: 1"=40' HORIZONTAL



**PRELIMINARY SITE PLAN
THE MEADOWS AT ACTON
ACTON, MA
(MIDDLESEX COUNTY)**

PLAN AND PROFILE

FOR: 263 GREAT ROAD, LLC.
SCALE: 1"=40' MARCH 29, 2012

STAMSKI AND McNARY, INC.
1000 MAIN STREET ACTON, MASS.
ENGINEERING - PLANNING - SURVEYING
978-263-8585

RECORD OWNER

ANTHONY J. RUGGIERO, JR.
263 GREAT ROAD
ACTON, MA

REFERENCE

MIDDLESEX REGISTRY OF DEEDS
SOUTH DISTRICT
TOWN MAP E5 PARCEL 18
DEED BOOK 33151 PAGE 328
TOWN MAP E5 PARCEL 18-1
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PLAN No. 426 OF 1932
PLAN No. 1081 OF 1988

ZONING DISTRICT

RESIDENCE B
LIMITED BUSINESS
GROUNDWATER PROTECTION DISTRICTS
ZONES 2 AND 3

DRAINAGE SYSTEM OPERATION AND MAINTENANCE PLAN

THE IMPLEMENTATION, INSPECTION, AND REPAIR OF THE EROSION CONTROLS IS THE RESPONSIBILITY OF THE SITE CONTRACTOR DURING CONSTRUCTION.
THE INSPECTION AND OPERATION OF THE STORM WATER MANAGEMENT SYSTEM UPON COMPLETION OF CONSTRUCTION IS THE RESPONSIBILITY OF THE OWNER.

SITE OWNER:
263 GREAT ROAD LLC
P.O. BOX 2350
69 GREAT ROAD
ACTON, MA 01720
(OR ANY FUTURE OWNER)

PARTIES RESPONSIBLE FOR LONG TERM OPERATION/MAINTENANCE:
263 GREAT ROAD LLC
P.O. BOX 2350
69 GREAT ROAD
ACTON, MA 01720
(OR ANY FUTURE OWNER)

SCHEDULE FOR INSPECTION AND MAINTENANCE

DEEP SUMP AND HOODED CATCH BASIN
THE DEEP SUMP FOR THE CATCH BASIN SHALL BE INSPECTED AND CLEANED ANNUALLY. THE CATCH BASINS HAVE A FOUR FOOT DEEP SUMP AND THE WATER LEVEL IS MAINTAINED BY THE DISCHARGE PIPE AT FOUR FEET. THE DISCHARGE PIPE IS HIDDEN FROM VIEW BY A HOODED OUTLET.

THE DEPTH OF THE SEDIMENT IN A BASIN SHALL NOT EXCEED A DEPTH OF 18 INCHES AS DETERMINED BY PROBING WITH A STICK. IF THE STICK HITS THE BOTTOM WITHIN 30 INCHES OF THE WATER LEVEL, MORE THAN 18 INCHES OF SEDIMENT HAS ACCUMULATED AND MUST BE REMOVED. LICENSED PERSONS SHOULD REMOVE AND DISPOSE OF THE CONTENTS OF THE SUMP IN ACCORDANCE WITH APPLICABLE REGULATIONS.

STREET SWEEPING
THE DRIVEWAY SHALL BE SWEEPED UPON THE COMPLETION OF CONSTRUCTION. DRIVEWAYS SHALL BE SWEEPED AT LEAST TWICE A YEAR, ONCE AT THE BEGINNING OF SPRING AND ONCE AT THE END OF AUTUMN. THE DRIVEWAY SHALL ALSO BE SWEEPED UPON THE DISCOVERY OF ANY SIGNIFICANT AMOUNTS OF SEDIMENT.

SUBSURFACE RECHARGE AREAS
THE SUBSURFACE RECHARGE AREA SHALL BE OPENED AND INSPECTED ANNUALLY. IF THE WATER LEVEL, AS OBSERVED IN THE INSPECTION PORTS, IS MORE THAN 3" ABOVE THE BOTTOM OF THE CHAMBERS, THEN THE CHAMBERS SHALL BE FLUSHED WITH A PRESSURE HOSE. IF AFTER 12 HOURS THE WATER LEVEL HAS NOT DROPPED, THEN CHECK THE OUTLET STRUCTURE FOR CLOGGING. THE SYSTEMS MAY NEED TO BE REPLACED. THIS INSPECTION SHOULD NOT BE DONE WITHIN 72 HOURS OF A RAIN EVENT.

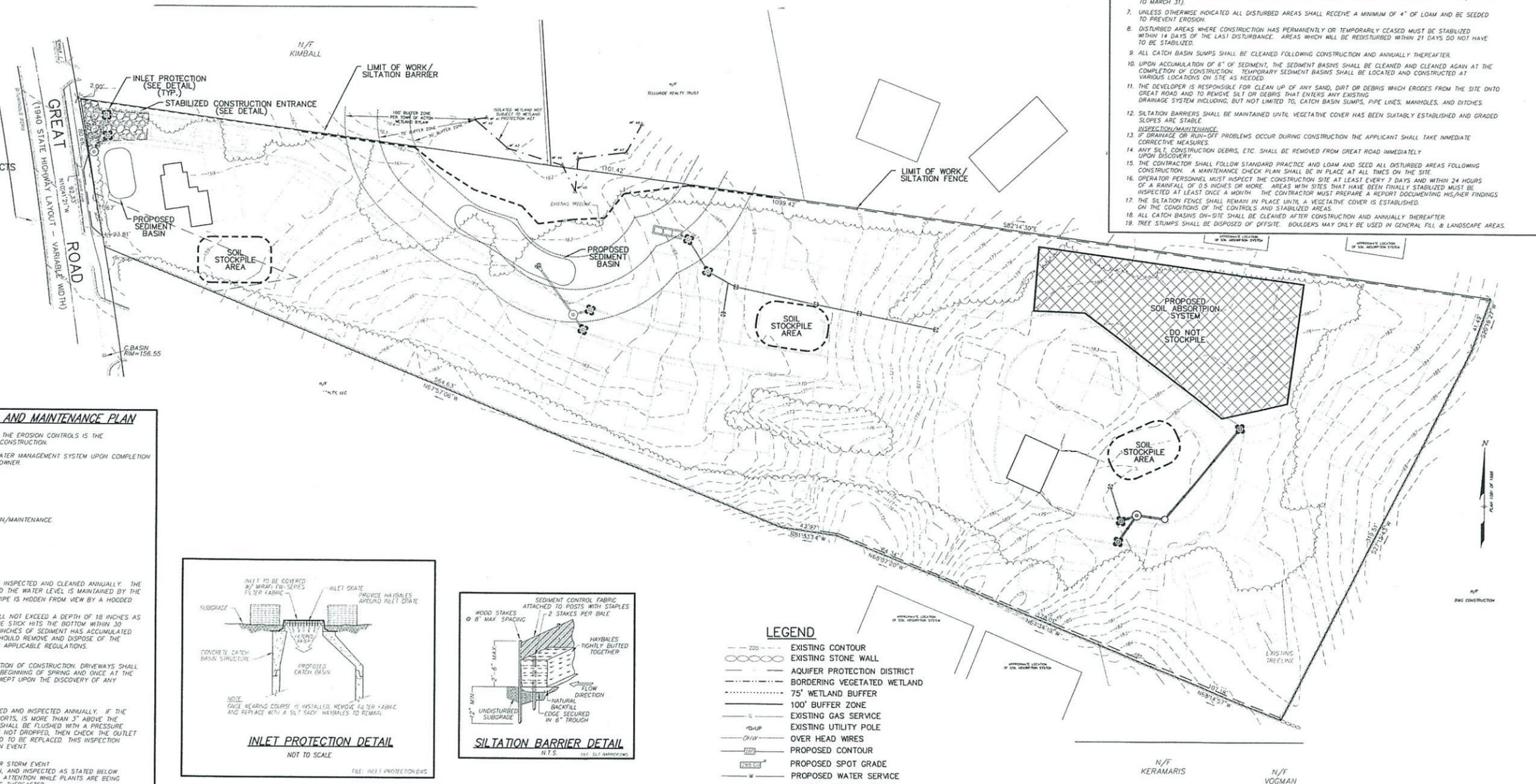
CLAY LINED RETENTION BASIN
THE BASIN SHALL BE INSPECTED AFTER EVERY MAJOR STORM EVENT FOR THE FIRST THREE MONTHS AFTER CONSTRUCTION, AND INSPECTED AS STATED BELOW THEREAFTER. BIORETENTION AREAS REQUIRE CAREFUL ATTENTION WHILE PLANTS ARE BEING ESTABLISHED AND SEASONAL LANDSCAPING MAINTENANCE THEREAFTER.

SEASONAL LANDSCAPING MAINTENANCE INCLUDES, BUT IS NOT LIMITED TO:
-INSPECTING AND REMOVING TRASH MONTHLY
-INSPECTING SOIL AND REPAIRING ERODED AREAS MONTHLY

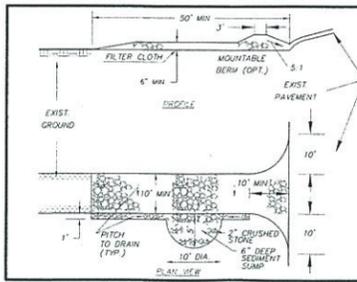
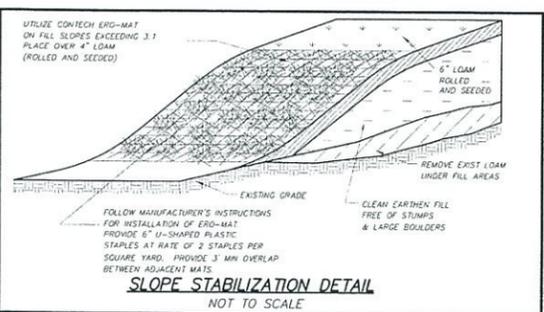
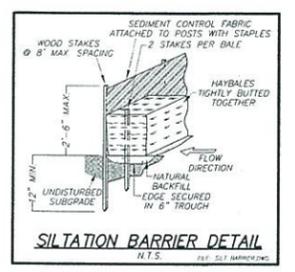
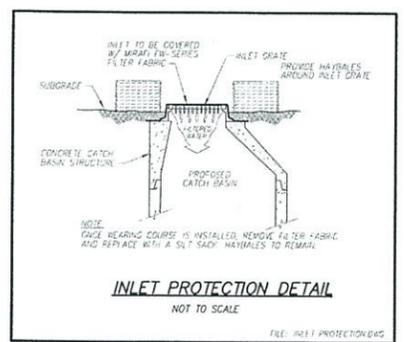
SIDE SLOPES OF THE CHANNEL SHALL BE INSPECTED FOR EROSION. ALL ERODED AREAS FOUND SHALL RECEIVE 6" OF LOAM AND BE RESEEDED PER ORIGINAL DESIGN PLAN. AREAS OF CONTINUED EROSION SHALL BE STABILIZED WITH 3" MINUS RIPRAP. BECAUSE THE SOIL MEDIUM FILTERS CONTAMINANTS FROM THE RUNOFF, THE CATION EXCHANGE CAPACITY OF THE SOIL MEDIA WILL EVENTUALLY BE EXHAUSTED. THIS IS NECESSARY TO REPLACE THE SOIL MEDIA TO PREVENT CONTAMINANTS FROM MIGRATING TO THE GROUNDWATER, AS NECESSARY.

EMERGENCY CONTACTS
IN THE EVENT OF A HAZARDOUS MATERIALS SPILL ON THE SITE THE FOLLOWING PARTIES SHALL BE CONTACTED.
FIRE DEPARTMENT, PH: 978-264-9645

RECORDS
THE OWNER SHALL MAINTAIN AN INSPECTION LOG OF ALL ELEMENTS OF THE STORM WATER MANAGEMENT PLAN. THE OWNER SHALL MAINTAIN A MAINTENANCE LOG DOCUMENTING THE INSPECTION AND MAINTENANCE OF THE DRAINAGE STRUCTURES UNDER HIS CONTROL. A COPY OF THE EROSION CONTROL AND STORM WATER MAINTENANCE PLAN AND INSPECTION LOGS SHALL BE KEPT ONSITE AT ALL TIMES.



- EROSION AND SEDIMENTATION CONTROL NOTES:**
1. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY CONSTRUCTION OCCURRING ON SITE.
 2. SILTATION FENCE IS RECOMMENDED TO BE PLACED IN ALL AREAS AS SHOWN ON THE SITE DEVELOPMENT AND UTILITY PLAN AND IN ANY OTHER AREAS AS DETERMINED NECESSARY DURING CONSTRUCTION.
 3. TOPSOIL SHALL BE STRIPPED FROM DISTURBED AREAS AND STOCKPILED IN THE AREAS OUTSIDE OF THE 100' BUFFER ZONE. ALL SOIL STOCK PILES SHALL HAVE EROSION CONTROL MEASURES AROUND THEIR EDGES AT ALL TIMES. SOIL STOCK PILES SHALL BE COVERED WITH TEMPORARY VEGETATION OR PASTED TARPULIN SHEETS.
 4. TEMPORARY SEDIMENTATION BASINS SHALL BE ROUGHLY CONSTRUCTED DURING THE EARLIEST STAGES OF THE PROJECT AS NEEDED TO PREVENT AND CONTROL EROSION.
 5. ANY CATCH BASIN GRATES ON SITE SHALL BE COVERED WITH SILTATION FABRIC DURING CONSTRUCTION.
 6. ALL CUT AND FILL SLOPES SHALL BE IMMEDIATELY COVERED WITH 4" OF LOAM AND SEEDING DURING THE GROWING SEASON (APRIL 1 TO SEPTEMBER 30) OR COVERED WITH HAY MULCH DURING THE NON-GROWING SEASON (OCTOBER 1 TO MARCH 31).
 7. UNLESS OTHERWISE INDICATED ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF LOAM AND BE SEEDING TO PREVENT EROSION.
 8. DISTURBED AREAS WHERE CONSTRUCTION HAS PERMANENTLY OR TEMPORARILY CEASED MUST BE STABILIZED WITHIN 14 DAYS OF THE LAST DISTURBANCE. AREAS WHICH WILL BE REDISTURBED WITHIN 21 DAYS DO NOT HAVE TO BE STABILIZED.
 9. ALL CATCH BASIN SUMPS SHALL BE CLEANED FOLLOWING CONSTRUCTION AND ANNUALLY THEREAFTER.
 10. UPON ACCUMULATION OF 6" OF SEDIMENT, THE SEDIMENT BASINS SHALL BE CLEANED AND CLEANED AGAIN AT THE COMPLETION OF CONSTRUCTION. TEMPORARY SEDIMENT BASINS SHALL BE LOCATED AND CONSTRUCTED AT VARIOUS LOCATIONS ON SITE AS NEEDED.
 11. THE DEVELOPER IS RESPONSIBLE FOR CLEAN UP OF ANY SAND, DIRT OR DEBRIS WHICH ERODES FROM THE SITE ONTO GREAT ROAD AND TO REMOVE SILT OR DEBRIS THAT ENTERS ANY EXISTING DRAINAGE SYSTEM INCLUDING, BUT NOT LIMITED TO, CATCH BASIN SUMPS, PIPE LINES, MANHOLES, AND DITCHES.
 12. SILTATION BARRIERS SHALL BE MAINTAINED UNTIL VEGETATIVE COVER HAS BEEN SUITABLY ESTABLISHED AND GRADED SLOPES ARE STABLE.
 13. IF DRAINAGE OR RUN-OFF PROBLEMS OCCUR DURING CONSTRUCTION THE APPLICANT SHALL TAKE IMMEDIATE CORRECTIVE MEASURES.
 14. ANY SILT, CONSTRUCTION DEBRIS, ETC. SHALL BE REMOVED FROM GREAT ROAD IMMEDIATELY.
 15. THE CONTRACTOR SHALL FOLLOW STANDARD PRACTICE AND LOAM AND SEED ALL DISTURBED AREAS FOLLOWING CONSTRUCTION. A MAINTENANCE CHECK PLAN SHALL BE IN PLACE AT ALL TIMES ON THE SITE.
 16. OPERATOR PERSONNEL MUST INSPECT THE CONSTRUCTION SITE AT LEAST EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5 INCHES OR MORE. AREAS WITH SITES THAT HAVE BEEN FINALLY STABILIZED MUST BE INSPECTED AT LEAST ONCE A MONTH. THE CONTRACTOR MUST PREPARE A REPORT DOCUMENTING HIS/HER FINDINGS ON THE CONDITIONS OF THE CONTROLS AND STABILIZED AREAS.
 17. THE SILTATION FENCE SHALL REMAIN IN PLACE UNTIL A VEGETATIVE COVER IS ESTABLISHED.
 18. ALL CATCH BASINS ON-SITE SHALL BE CLEANED AFTER CONSTRUCTION AND ANNUALLY THEREAFTER.
 19. TREE STUMPS SHALL BE DISPOSED OF OFF-SITE. BOULDERS MAY ONLY BE USED IN GENERAL FILL & LANDSCAPE AREAS.



- LEGEND**
- EXISTING CONTOUR
 - EXISTING STONE WALL
 - AQUIFER PROTECTION DISTRICT BORDERING VEGETATED WETLAND
 - 75' WETLAND BUFFER
 - 100' BUFFER ZONE
 - EXISTING GAS SERVICE
 - EXISTING UTILITY POLE
 - OVER HEAD WIRES
 - PROPOSED CONTOUR
 - PROPOSED SPOT GRADE
 - PROPOSED WATER SERVICE
 - PROPOSED SEWER LINE
 - PROPOSED DRAIN LINE TO BE REMOVED

- CONSTRUCTION SPECIFICATIONS**
1. THE ENTRANCE OF THE PROPOSED ROAD SHALL INITIALLY HAVE 6" OF 2" CRUSHED STONE LAID DOWN AS A TRAFFIC SEDIMENT CONTROL SURFACE AS SHOWN IN THE STABILIZED CONSTRUCTION ENTRANCE DETAIL. THIS STONE PACK SHALL BE PLACED OVER THE ROADWAY FOR A MINIMUM DISTANCE OF 50 FEET FROM THE EDGE OF PAVEMENT AND SHALL BE REMOVED AND REPLACED WITH ROADWAY GRAVEL PRIOR TO THE PLACEMENT OF PAVEMENT.
 2. STONE SIZE - USE 2" CRUSHED STONE.
 3. WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS OF INGRESS OR EGRESS.
 4. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACEMENT OF STONE.
 5. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED NEAR CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 7. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS DONE IT SHALL BE DONE ON STABILIZED ENTRANCE WITH STONE AND WHICH DRAINS INTO THE SEDIMENT SUMP AS SHOWN.
 8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

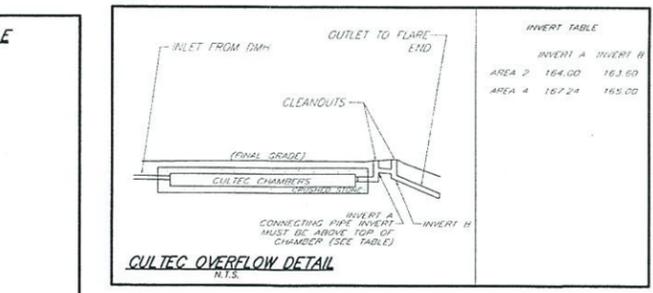
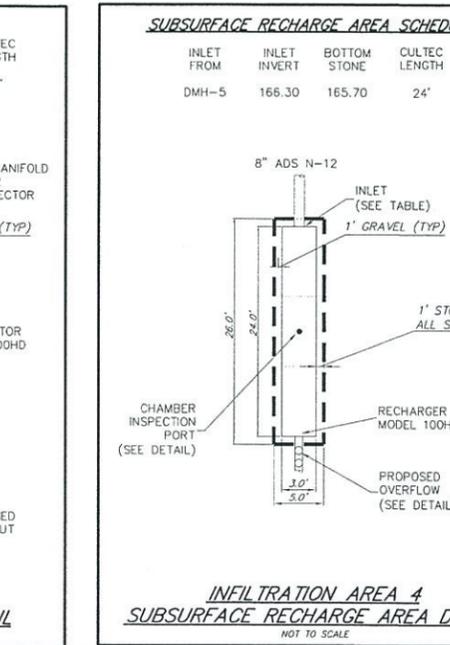
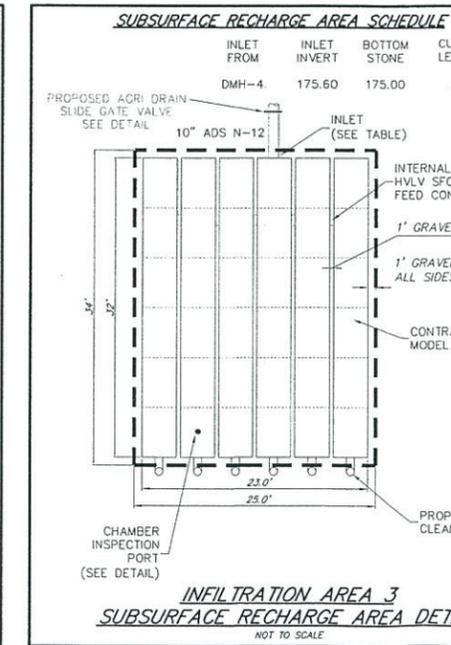
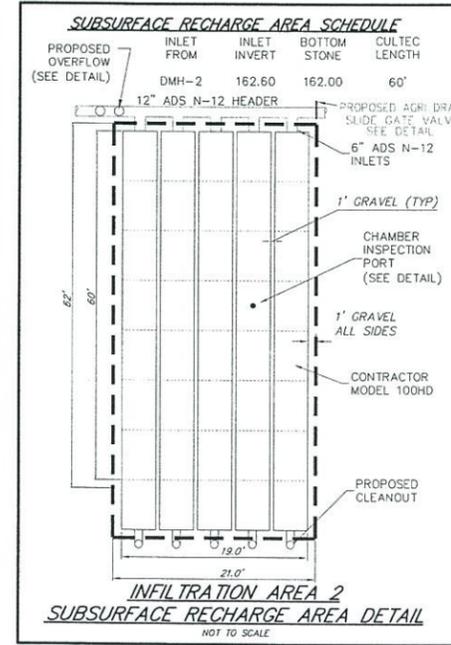
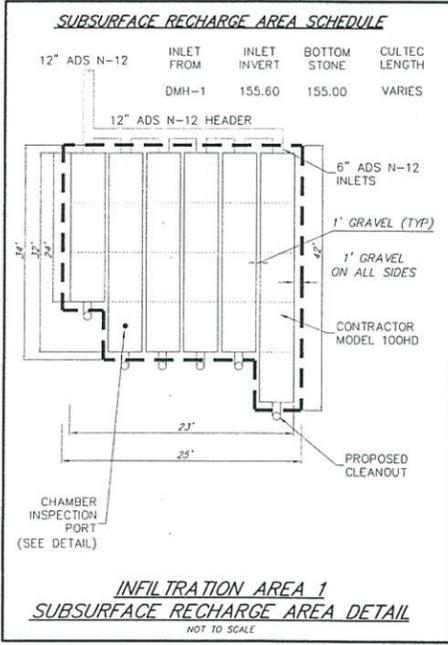
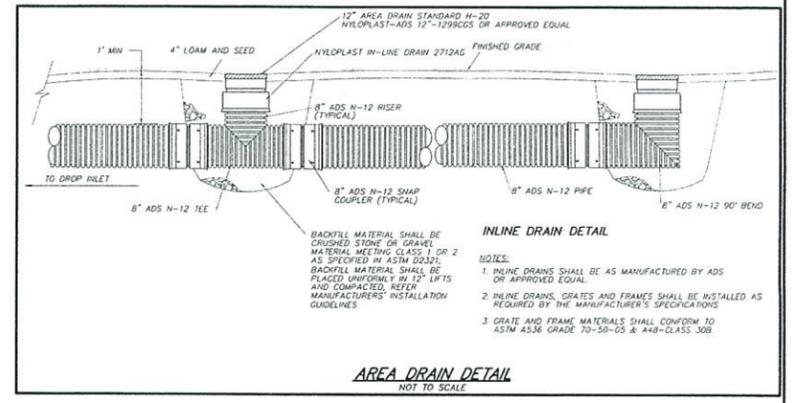
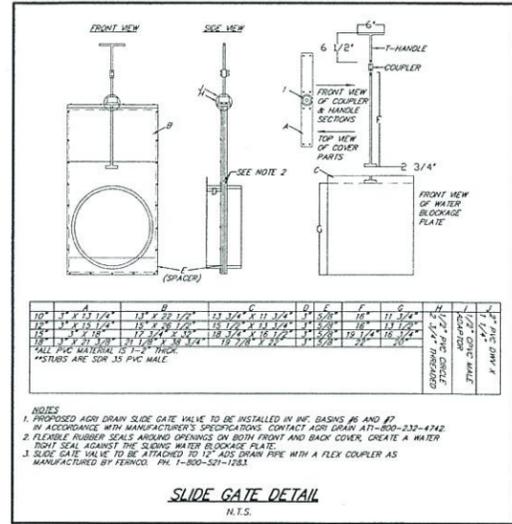
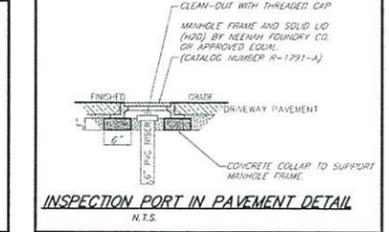
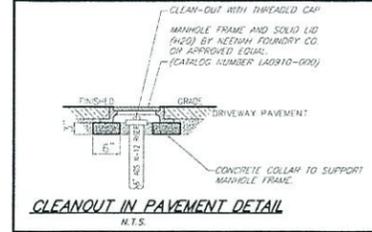
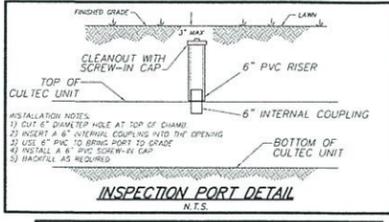
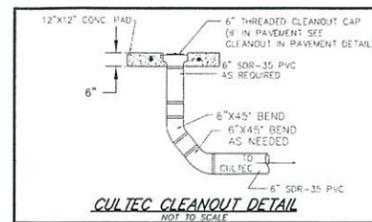
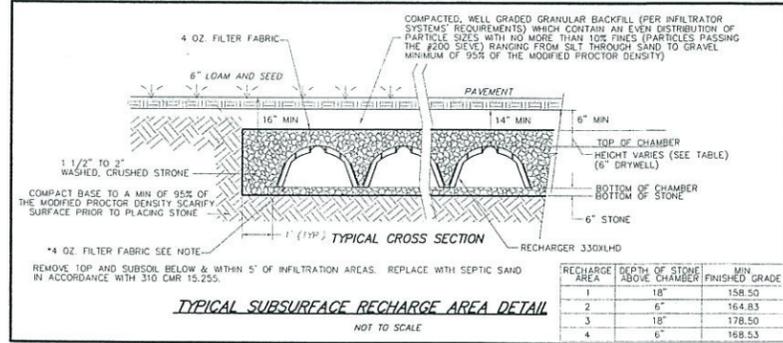
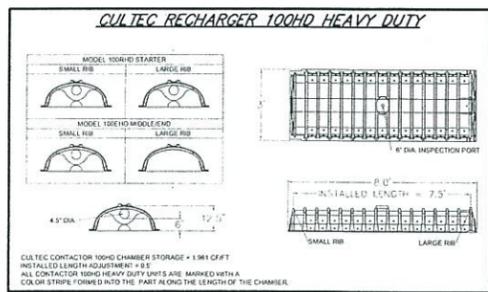
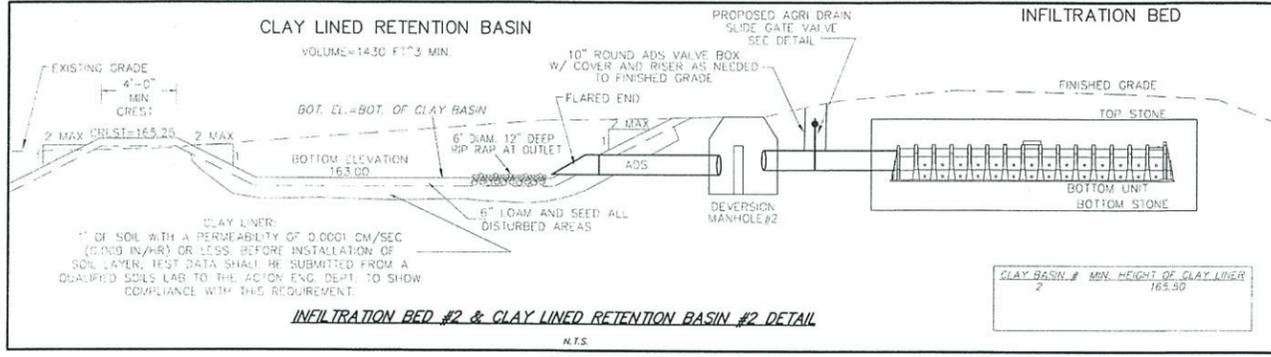
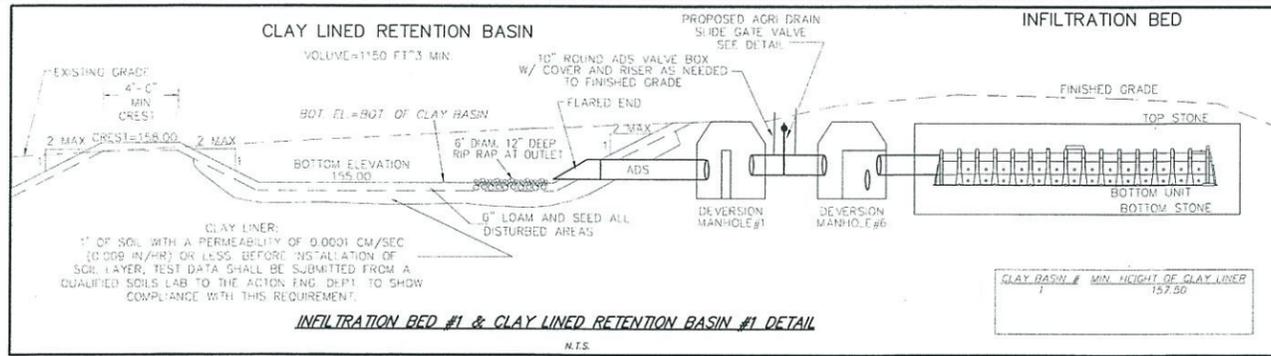
PRELIMINARY SITE PLAN
THE MEADOWS AT ACTON
ACTON, MA
(MIDDLESEX COUNTY)

EROSION AND SEDIMENT CONTROL PLAN

FOR: 263 GREAT ROAD, LLC.
SCALE: 1"=40' MARCH 29, 2012

STAMSKI AND McNARY, INC.
1000 MAIN STREET ACTON, MASS.
ENGINEERING - PLANNING - SURVEYING
978-263-8585

SM-4810 (4810 SITE.DWG) SHEET 6 OF 9



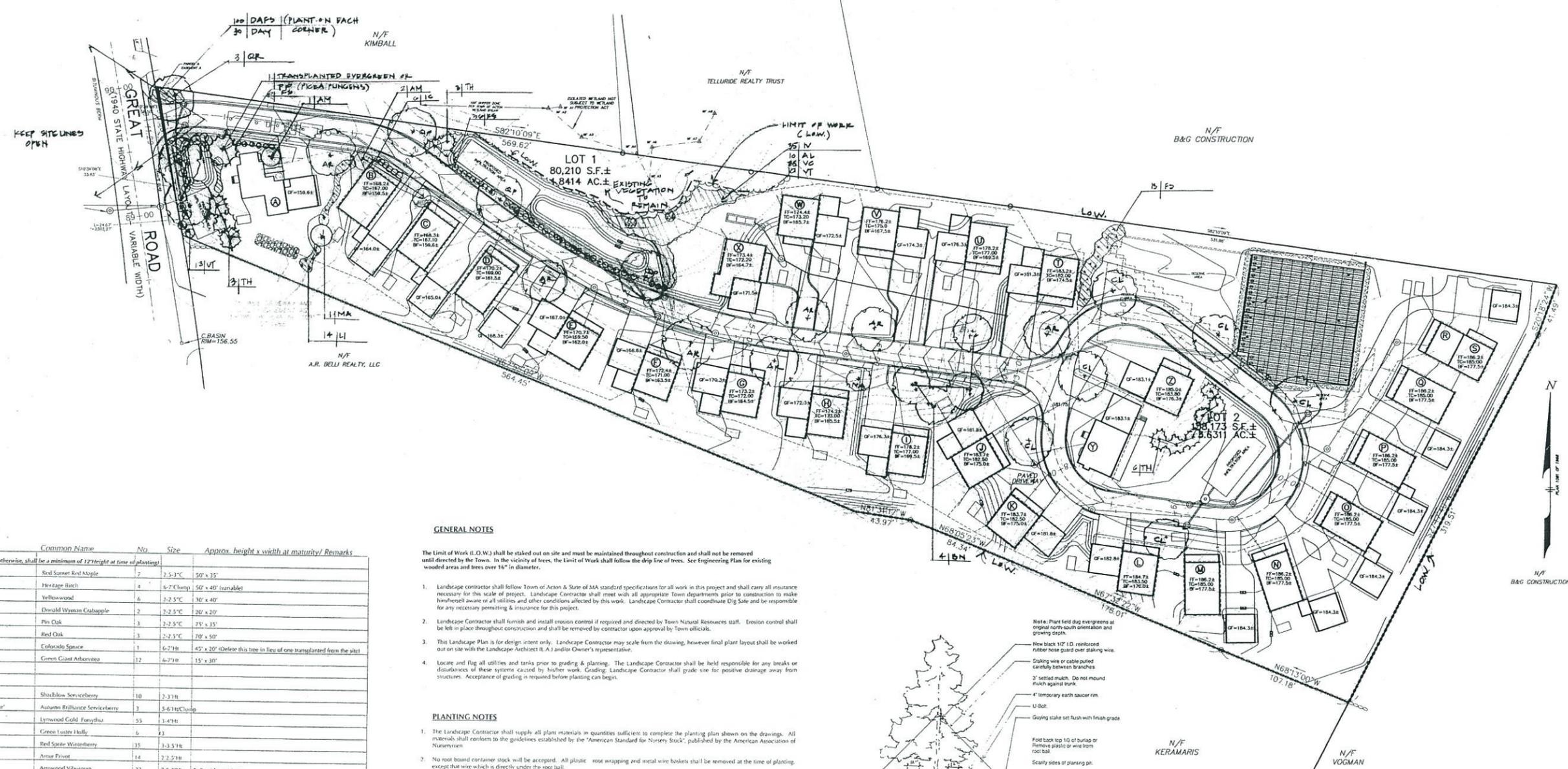
PRELIMINARY SITE PLAN
THE MEADOWS AT ACTON
ACTON, MA
(MIDDLESEX COUNTY)

DETAIL SHEET

FOR: 263 GREAT ROAD, LLC.
SCALE: 1"=40' MARCH 29, 2012

STAMSKI AND McNARY, INC.
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SM-4810 (4810 SITE.DWG) SHEET 8 OF 9



PROPOSED PLANT LIST

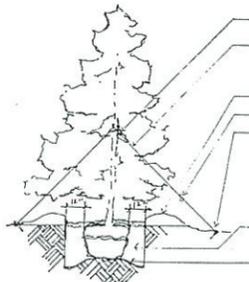
Symbol/Botanical Name	Common Name	No.	Size	Approx. height x width at maturity/ Remarks
TREES (Note: All trees, unless noted otherwise, shall be a minimum of 12" height at time of planting)				
AR/Rubus 'Red Sunset'	Red Sunset Red Maple	7	2.5'-3" C	50' x 35'
BI/Betula 'Heritage'	Heritage Birch	4	6-7' Clump	50' x 40' (variable)
CL/Celastrus lutea	Yellowwood	6	2-2.5' C	10' x 40'
MA/Malin 'Donald Wyman'	Donald Wyman Crabapple	2	2-2.5' C	20' x 20'
QU/Quercus paudstris	Pin Oak	3	2-2.5' C	25' x 35'
QU/Quercus rubra	Red Oak	3	2-2.5' C	20' x 50'
PP/Picea pungens	Colorado Spruce	1	6-7' H	45' x 20' (Delete this tree in lieu of one transplanted from the site)
TH/Thuja plicata 'Green Giant'	Green Giant Arborvitae	12	6-7' H	15' x 30'
SHRUBS				
AL/Amelanchier canadensis	Shadbowl Serviceberry	10	3-3' H	
AM/Amelanchier s.p. 'Autumn Brilliance'	Autumn Brilliance Serviceberry	3	3-6' H Clump	
FS/Forsythia 'Lynwood Gold'	Lynwood Gold Forsythia	55	3-4' H	
W/Wirea creata 'Green Luster'	Green Luster Holly	6	3'	
W/Wirea verticillata 'Red Sparc'	Red Sparc Winterberry	35	3-3.5' H	
LA/Laurenum amurensis	Amur Privet	14	2-2.5' H	
VA/Viburnum dentatum	Amwood Viburnum	22	2.5-3' H	Full, wide specimens
PERENNIALS/BIUBS/GROUNDCOVER				
DA/Day's Dafodils (Naturalizing Mix)	'The Works' White Flower Tans	100	bulbs	Fall planting only
DA/Day's Hemerocallis 'Happy Returns'	Happy Returns Daylily	30	bulbs	

GENERAL NOTES

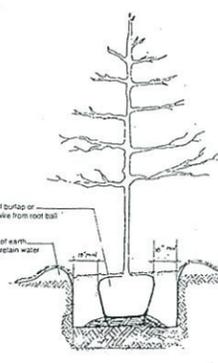
- The Limit of Work (L.O.W.) shall be staked out on site and must be maintained throughout construction and shall not be removed until directed by the Town. In the vicinity of trees, the Limit of Work shall follow the drip line of trees. See Engineering Plan for existing wooded areas and trees over 16" in diameter.
- Landscape contractor shall follow Town of Acton or State of MA standard specifications for all work in this project and shall carry all insurance necessary for the scale of project. Landscape Contractor shall meet with all appropriate Town departments prior to construction to make themselves aware of all utilities and other conditions affected by this work. Landscape Contractor shall coordinate Dig Safe and be responsible for any necessary permitting & insurance for this project.
- Landscape Contractor shall furnish and install erosion control if required and directed by Town Natural Resources staff. Erosion control shall be in place throughout construction and shall be removed by contractor upon approval by Town officials.
- This Landscape Plan is for design intent only. Landscape Contractor may scale from the drawing, however final plant layout shall be worked out on site with the Landscape Architect (L.A.) and/or Owner's representative.
- Locate and flag all utilities and tanks prior to grading & planting. The Landscape Contractor shall be held responsible for any breaks or disturbances of these systems caused by his/her work. Grading: Landscape Contractor shall grade site for positive drainage away from structures. Acceptance of grading is required before planting can begin.

PLANTING NOTES

- The Landscape Contractor shall supply all plant materials in quantities sufficient to complete the planting plan shown on the drawings. All materials shall conform to the guidelines established by the "American Standard for Nursery Stock", published by the American Association of Nurserymen.
- No root burl container stock will be accepted. All plastic root wrapping and metal wire baskets shall be removed at the time of planting except that wire which is directly under the root ball.
- All plants shall bear the same relationship to finished grade as to original grade before digging.
- The Landscape Contractor shall blend the new earthwork smoothly with existing contours.
- The Landscape Contractor is responsible for providing the required loam/planting mix.
- This Landscape Plan is for design intent only. Landscape Contractor may scale from the drawing; however, final plant layout shall be worked out on site with the Landscape Architect (L.A.) or Owner's representative. Landscape Contractor shall set out plants on grade generally as shown on the plan for approval. L.A. may direct landscape contractor to relocate plants until design intent is accomplished as determined by L.A./Rep.
- Care shall be taken not to disturb existing plant materials to remain. When digging near the base of existing materials, no roots shall be disturbed. Any plant injured or destroyed shall be replaced with a plant of equal or greater size at the Landscape Contractor's expense.
- Landscape Contractor shall water the plants thoroughly at the time of planting and twice during the first 24 hours after planting. The Landscape Contractor shall discuss ongoing watering and plant maintenance with the owner. Contractor shall check plants and site work once a week during the summer.
- Pruning: Lightly prune all woody plants ONLY if directed by L.A. A person qualified and experienced in this work shall do the pruning. Do not remove all terminal buds. All trees shall have a single leader unless specified by the Landscape Architect. Tree leaders shall not be pruned by the Landscape Contractor or the nursery/brower. Landscape Architect retains the right to reject any trees with pruned leaders and the Landscape Contractor shall replace such material at his/her own expense.
- All plants shall be sprayed with an anti-desiccant within 24 hours after planting, again the first week of November the first fall after planting.
- Mulch: Two to three inches of very dark brown shredded pine bark mulch shall be spread throughout all planting beds. Keep mulch away from tree trunks. Submit sample of mulch to Landscape Architect/Rep. for approval.
- This Landscape Plan is guaranteed for a minimum of one year from the date of final acceptance of planting by the Landscape Architect. Landscape Contractor shall replace, at his/her own expense, (materials and labor) any dead or diseased plants, or any plant material deemed by the Landscape Architect to be in poor condition.



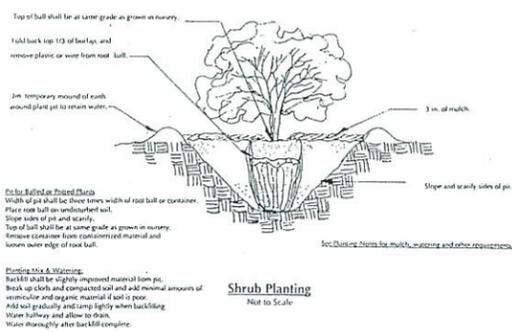
Evergreen Tree Planting
Not to scale



Deciduous Tree Planting
Not to scale

- Note: Plant field dug evergreens at original north-south orientation and growing direction.
- New black 1/2" I.D. reinforced rubber hose guard over staking wire.
- Staking wire or cable pulled steadily between branches.
- 3" mulch ring. Do not mound mulch against trunk.
- 4" temporary earth saucer rim.
- U-bolt.
- Guying stake set flush with finish grade.
- Foot back top 1/3 of burlap or remove plastic or wire from root ball.
- Scarcely sides of planting pit.
- Prepared soil mix.
- Side burlap meet with amendments if needed. Compact by light tamping.
- Subgrade - leave undisturbed under root ball.
- See Planting Notes for mulch, watering and other requirements.

- Tree pit:** Width of pit shall be 18" larger than diameter of tree ball. Planting hole shall be same depth as root ball.
- Scarcely sides of planting pit. Sides of pit shall be vertical. Bottom of pit shall be flat.
- Top of ball shall be at same grade as grown in nursery.
- Planting mix & watering:** Backfill shall be slightly amended material from tree or break up clods and compacted soil, add minimal amounts of vermiculite and organic material if soil is poor. Add soil gradually gently tamp and around root ball. Add water, let soil settle, break filling hole with loose soil.
- Staking:** Generally, large trees do not need staking or tree wrap. However, contractor may stake trees to protect from mowers and to provide anchorage, especially if wind is a problem. If stakes are necessary, use 3 stakes, 6-8 long, driven 2' into ground and 1' from trunk of tree. Guy material shall be wide fabric bands. Stakes should be fastened to allow some trunk movement. Stakes & guy should be removed within 1 year of planting.
- Mulch:** Place 2-4" depth of compacted mulch, 3/4" dia. circle, minimum, around each tree. Do not place any mulch against tree trunk.



Shrub Planting
Not to scale

**ACTON MEADOWS
ACTON, MA
(MIDDLESEX COUNTY)**

LANDSCAPE PLAN AND DETAILS

SCALE: 1"=40' MARCH ____, 2012

STAMSKI AND McNARY, INC.
1000 MAIN STREET ACTON, MASS.
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ENGINEERING - PLANNING - SURVEYING

KIM AHERN LANDSCAPE ARCHITECTS
40 FOSTER STREET - LITTLINGTON, MASSACHUSETTS
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SM-4810 (4810 LANDSCAPE.DWG) SHEET 9 OF 9