

DEFINITIVE SUBDIVISION PLAN OF POST OFFICE CROSSING IN ACTON, MASSACHUSETTS

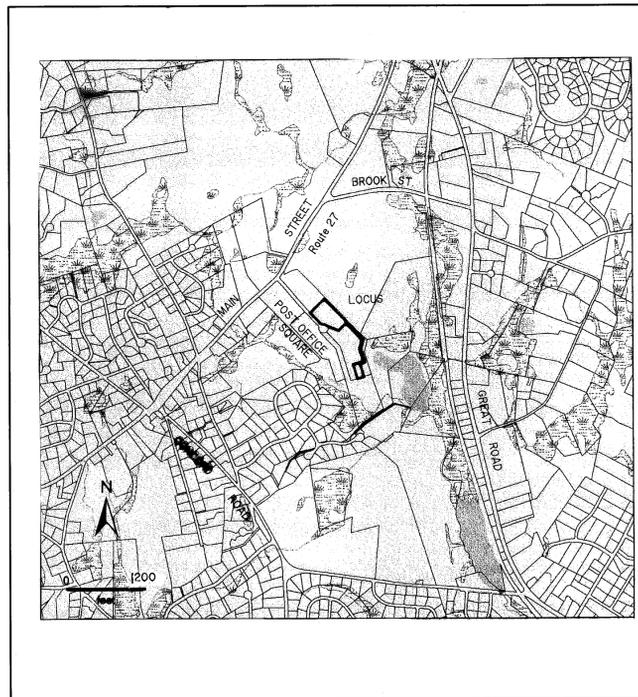
GENERAL NOTES

- 1) THIS PLAN IS THE RESULT OF AN ON THE GROUND FIELD SURVEY AND PUBLIC AND PRIVATE PLANS.
- 2) UTILITIES SHOWN ARE BASED UPON FIELD SURVEY AND RECORD PLANS AND ARE NOT NECESSARILY INDICATIVE OF UNDERGROUND CONDITIONS.
- 3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BEFORE PROCEEDING WITH THE WORK.
- 4) THIS PLAN IS BASED ON THE REFERENCED PLANS, DEEDS AND THE RESULTS OF A FIELD SURVEY AS OF THIS DATE. NO CERTIFICATION IS INTENDED AS TO PROPERTY TITLE OR AS TO THE EXISTENCE OF UNWRITTEN OR UNRECORDED EASEMENTS.
- 5) THE OWNER SHALL CONFIRM COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE MATERIALS AND/OR METHODS OF INSTALLATION OF ANY IMPROVEMENTS DEPICTED ON THIS PLAN.

REFERENCES

ASSESSORS MAP E-4 PARCEL 59-1
 ZONING DISTRICT: INDUSTRIAL LI-1
 A PORTION OF THE SITE IS LOCATED IN GROUNDWATER PROTECTION ZONE 2 AND 4
 RECORD OWNER: MARK BROOKS, Tr. 6 POST OFFICE SQUARE REALTY TRUST
 DEED REFERENCE: BOOK 49866 PAGE 235
 PLAN REFERENCE: BOOK 15931 PAGE 567 (LOT 2)
 ELEVATIONS REFER TO 1929 NGVD

FOR REGISTRY USE ONLY



LOCUS MAP 1" = 1200'

LEGEND

- | | | |
|------------|-----|-------------------------|
| o | SMH | EXISTING SEWER MANHOLE |
| o | DMH | EXISTING DRAIN MANHOLE |
| □ | | EXISTING CATCH BASIN |
| ⊕ | | EXISTING HYDRANT |
| ⊕ | | EXISTING WATER GATE |
| — 100 — | | EXISTING CONTOUR |
| — 100.00 — | | EXISTING SPOT GRADE |
| ⊕ | | UTILITY POLE |
| ⊕ | | STREET LAMP |
| — | | CURB |
| — x — x — | | FENCE |
| ● | SMH | PROPOSED SEWER MANHOLE |
| ● | DMH | PROPOSED DRAIN MANHOLE |
| ■ | | PROPOSED CATCH BASIN |
| — 100 — | | PROPOSED CONTOUR |
| — 100x0 — | | PROPOSED SPOT GRADE |
| ⊕ | | PROPOSED LIGHT |
| — S — | | PROPOSED SANITARY SEWER |
| — D — | | PROPOSED STORM DRAIN |
| — W — | | PROPOSED WATER LINE |
| — WS — | | PROPOSED WATER SERVICE |
| — | | PROPOSED RETAINING WALL |

DRAWING INDEX

SHEET 1	INDEX SHEET
SHEET 2	EXISTING CONDITIONS PLAN
SHEET 3	DEFINITIVE SUBDIVISION PLAN
SHEET 4	SITE GRADING PLAN
SHEET 5	ROADWAY PLAN
SHEET 6	ROADWAY PROFILE, NOTES & DETAILS
SHEET 7	STORM DRAINAGE PLAN
SHEET 8	EROSION CONTROL DETAILS
SHEET 9	SITE DETAILS
SHEET 10	AFFORDABLE DISTRIBUTION PLAN

DEFINITIVE SUBDIVISION PLAN	
POST OFFICE CROSSING	
ACTON, MASSACHUSETTS	
INDEX SHEET	
Prepared For Philip Singleton c/o Attorney John R. Kelly 40 Lowell Street Peabody, Mass. 01960	Prepared By Eastern Land Survey Assoc., Inc. Christopher R. Mello P.L.S. 104 Lowell St, Peabody, Mass, 01960 (978) 531-8121
SCALE AS NOTED 	
DATE OCTOBER 22, 2012	Christopher R. Mello PLS 31317
REVISIONS	
F 16387 SHEET 1 OF 10	

ACTON ZONING BOARD OF APPEALS
 APPROVAL UNDER MGL CH. 40B BY THE ACTON ZONING BOARD

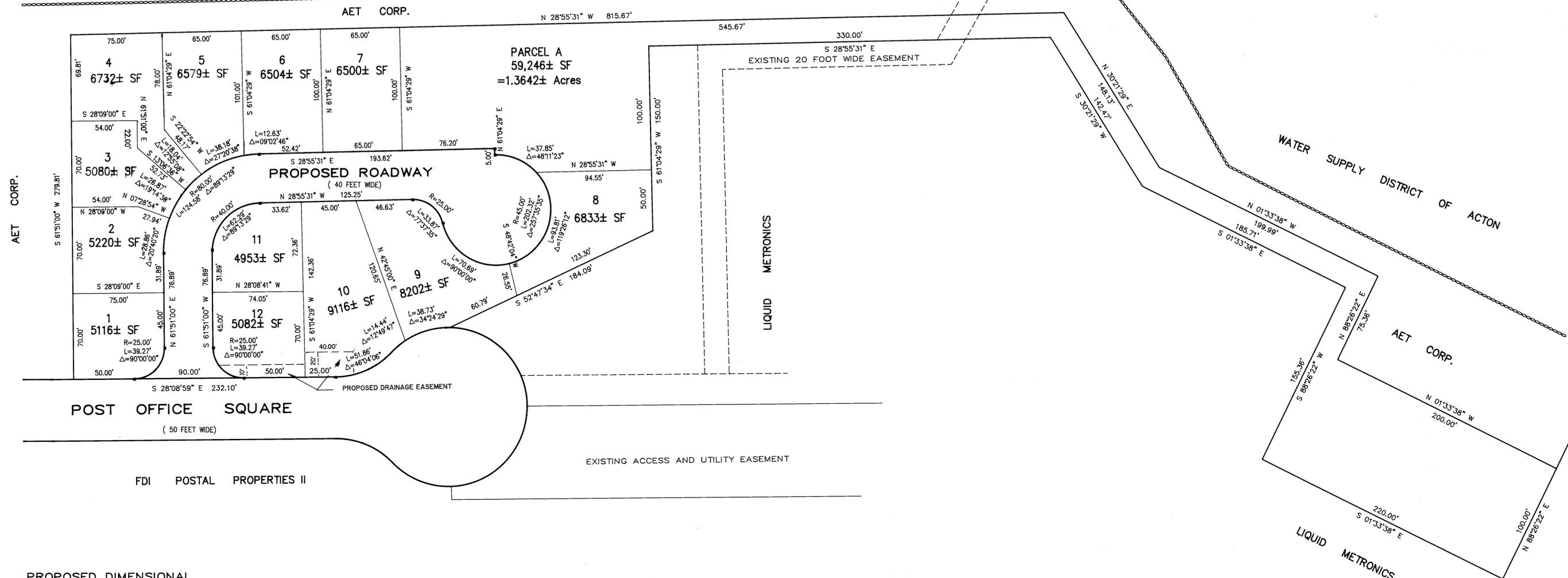
I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I, EVA SZKARDEK, CLERK OF THE TOWN OF ACTON, MASS. HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE Acton Zoning Board of Appeals HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE

WATER SUPPLY DISTRICT OF ACTON

■ DENOTES STONE BOUND TO BE SET UNDER THE SUPERVISION OF A MASSACHUSETTS REGISTERED PROFESSIONAL LAND SURVEYOR.



PROPOSED DIMENSIONAL ZONING CHARACTERISTICS

ITEM	MINIMUM
Frontage	20.91'±
Area	4953± SF
Front Yard	10 Feet
Side Yard	5 Feet
Rear Yard	10 Feet

REFERENCES

ASSESSORS MAP E-4 PARCEL 59-1
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ACTON ZONING BOARD OF APPEALS
 APPROVAL UNDER MGL CH. 40B BY THE ACTON ZONING BOARD

DEFINITIVE SUBDIVISION PLAN
 POST OFFICE CROSSING
 ACTON, MASSACHUSETTS
 DEFINITIVE SUBDIVISION PLAN

Prepared For:
 Philip Singleton
 c/o Attorney John R. Kelly
 40 Lowell Street
 Peabody, Mass. 01960

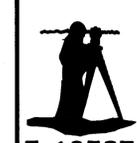
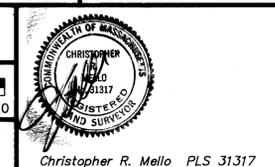
Prepared By:
 Eastern Land Survey Assoc., Inc.
 Christopher R. Mello P.L.S.
 104 Lowell St, Peabody, Mass, 01960
 (978) 531-8121

SCALE
 1" = 40'

0 20 40 80 120

DATE
 OCTOBER 22, 2012

REVISIONS



F 16387

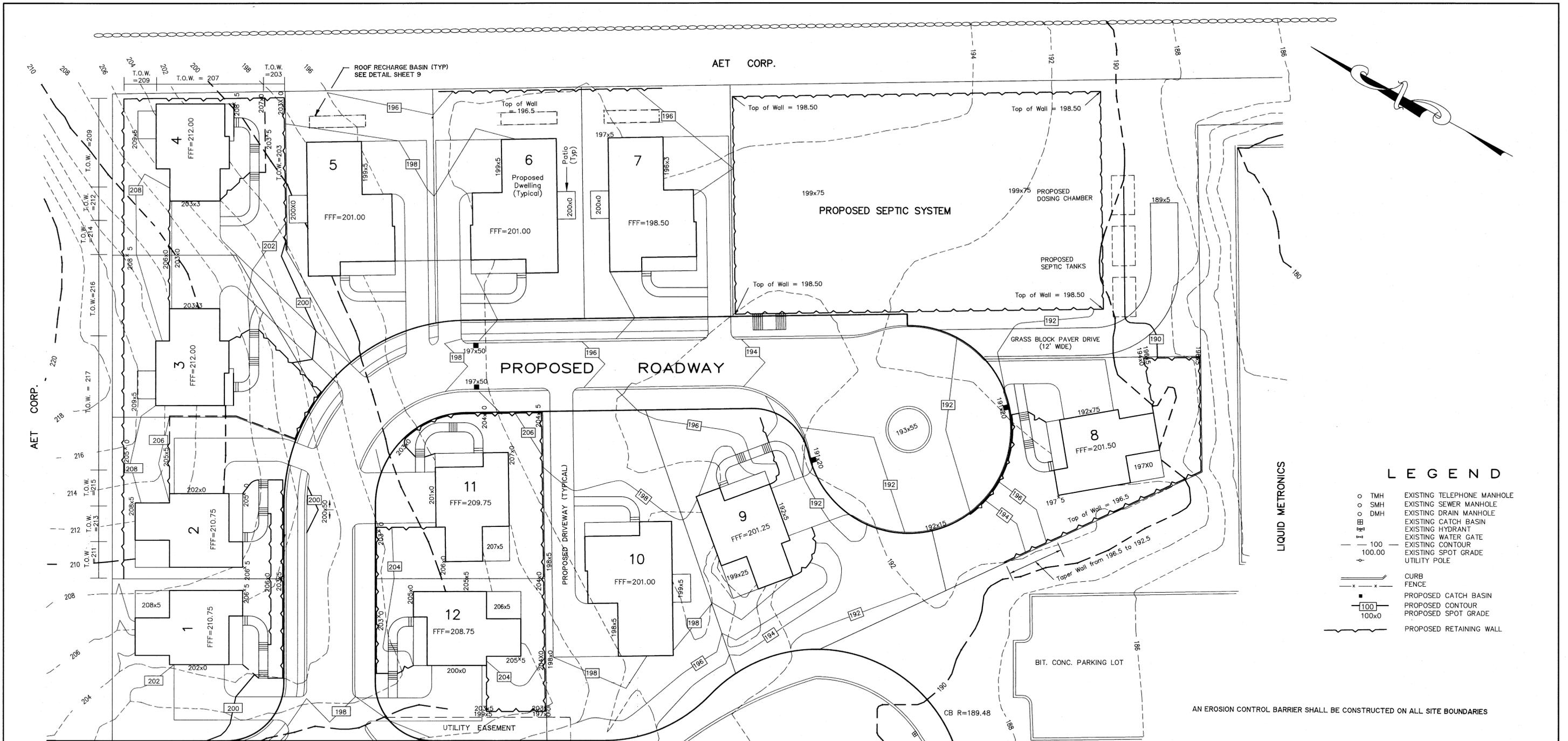
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DATE

SHEET 3 OF 10



LEGEND

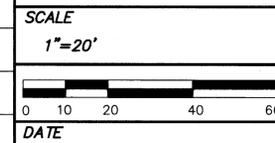
- TMH EXISTING TELEPHONE MANHOLE
- SMH EXISTING SEWER MANHOLE
- DMH EXISTING DRAIN MANHOLE
- CB EXISTING CATCH BASIN
- EXH EXISTING HYDRANT
- 100 EXISTING WATER GATE
- 100.00 EXISTING CONTOUR
- ↑ EXISTING SPOT GRADE
- UTILITY POLE
- CURB
- FENCE
- PROPOSED CATCH BASIN
- 100 PROPOSED CONTOUR
- 100x0 PROPOSED SPOT GRADE
- PROPOSED RETAINING WALL

AN EROSION CONTROL BARRIER SHALL BE CONSTRUCTED ON ALL SITE BOUNDARIES

**DEFINITIVE SUBDIVISION PLAN
POST OFFICE CROSSING
ACTON, MASSACHUSETTS
SITE GRADING PLAN**

Prepared For
Philip Singleton
c/o Attorney John R. Kelly
40 Lowell Street
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Prepared By:
Eastern Land Survey Assoc., Inc.
Christopher R. Mello P.L.S.
104 Lowell St, Peabody, Mass, 01960
(978) 531-8121



DATE
OCTOBER 22, 2012



F 16387

REVISIONS

SHEET 4 OF 10

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POST OFFICE SQUARE

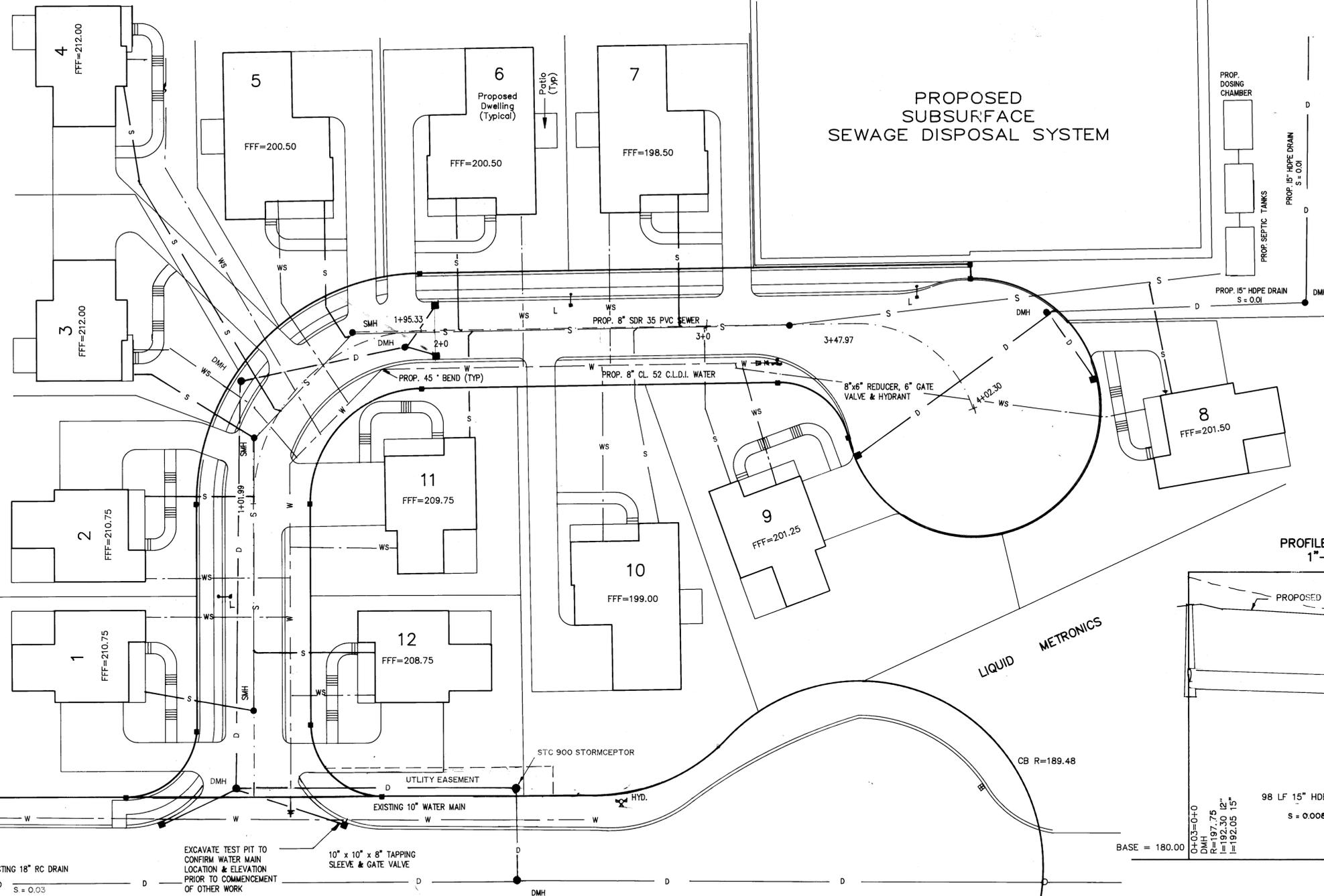
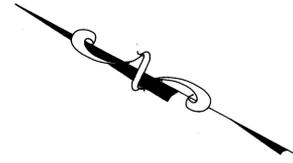
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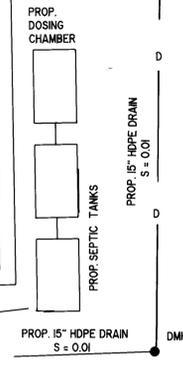
ACTON ZONING BOARD OF APPEALS
APPROVAL UNDER MGL CH. 40B BY THE ACTON ZONING BOARD

DMH R=189.66

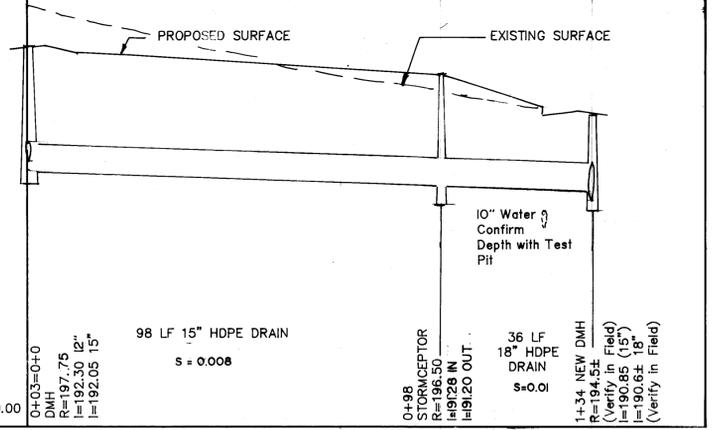
DATE



**PROPOSED
SUBSURFACE
SEWAGE DISPOSAL SYSTEM**



PROFILE UTILITY EASEMENT LOTS 10 & 12
1" - 20' Horizontal 1" - 4' Vertical



POST OFFICE SQUARE

ACTON ZONING BOARD OF APPEALS
APPROVAL UNDER MGL CH. 40B BY THE ACTON ZONING BOARD

FOR REGISTRY USE ONLY

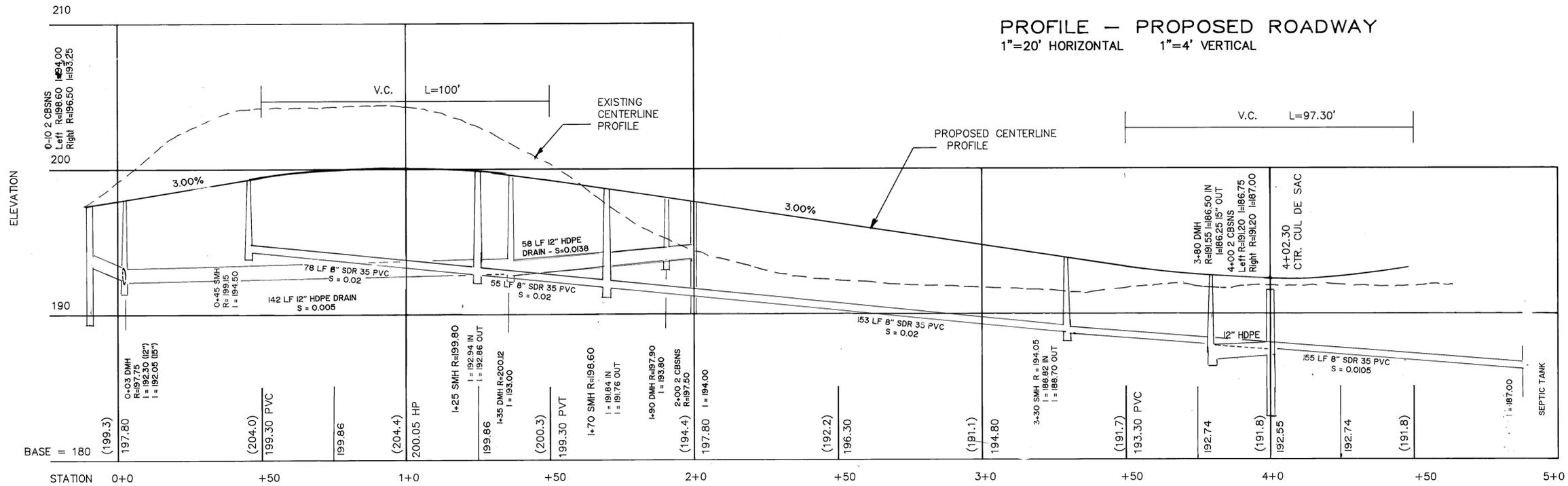
■ DENOTES STONE BOUND TO BE SET UNDER THE SUPERVISION OF A MASSACHUSETTS REGISTERED PROFESSIONAL LAND SURVEYOR.

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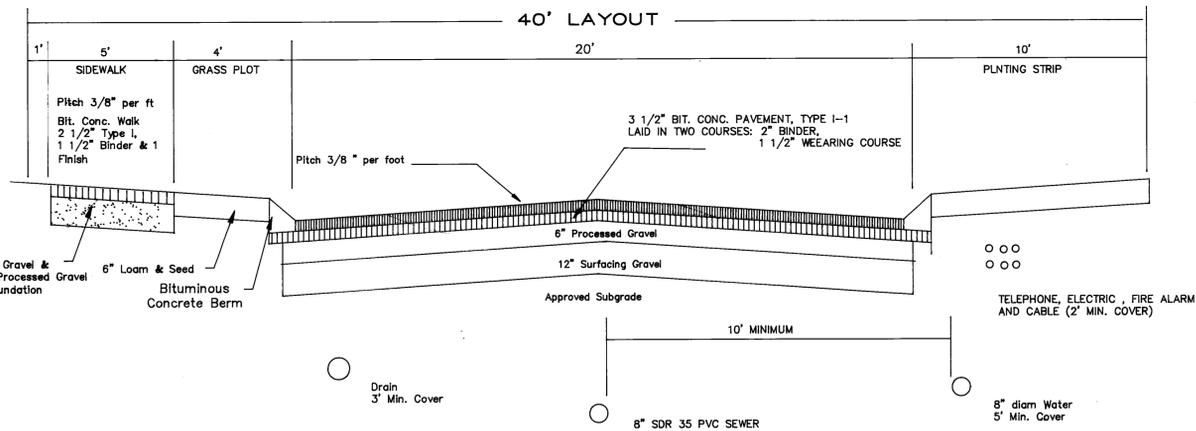
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DEFINITIVE SUBDIVISION PLAN	
POST OFFICE CROSSING	
ACTON, MASSACHUSETTS	
ROADWAY PLAN	
Prepared For Philip Singleton c/o Attorney John R. Kelly 40 Lowell Street Peabody, Mass. 01960	Prepared By Eastern Land Survey Assoc., Inc. Christopher R. Mallo P.L.S. 104 Lowell St, Peabody, Mass. 01960 (978) 531-8121
SCALE 1"=20' 	
DATE OCTOBER 22, 2012	REVISIONS
DATE	F 16387 SHEET 5 OF 10

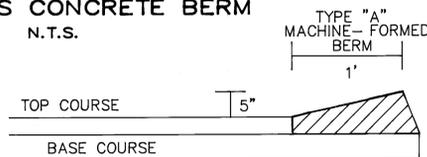
PROFILE — PROPOSED ROADWAY
1"=20' HORIZONTAL 1"=4' VERTICAL



TYPICAL CROSS SECTION
PROPOSED ROADWAY
no scale



DETAIL
BITUMINOUS CONCRETE BERM
N.T.S.



CONSTRUCTION NOTES

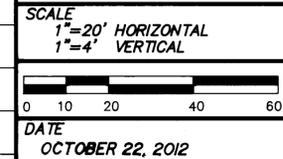
- Water main shall be 8" Diam. Thickness Class 52, Cement Lined Ductile Iron
- All water main fittings shall be restrained with appropriately sized thrust blocks or restraining glands.
- Testing, flushing and disinfection of new water mains shall be in accordance with the requirements of the Acton Department of Public Works
- Water and sewer lines shall be constructed with a minimum horizontal separation of 10 feet and a minimum vertical separation of 18 inches where the lines cross.
- Trenches cut into existing pavement shall be heat patched.
- All sanitary sewer mains shall be 8" diameter SDR 35 PVC.
- All storms drains shall be HDPE except as otherwise noted hereon.
- Minimum pitch from catch basins to drain manholes shall be 0.005 feet per foot.
- The contractor shall be responsible for verifying and determining the location, size and elevation of all existing utilities, shown or not shown on these plans, prior to any construction. The engineer shall be notified in writing of any utilities found interfering with the proposed construction and appropriate remedial action before proceeding with the work.
- Proposed roof drains shall be located and routed as shown
- Electric, telephone and cable service shall be installed underground in accordance with the requirements of the utility agency having jurisdiction over the particular utility.
- Newly constructed slopes at or steeper than 2 horizontal to 1 vertical shall be stabilized with erosion control blankets until vegetative cover has become established.
- Retaining walls over 6 feet height shall be designed by a Massachusetts Registered Professional Engineer and permitted in accordance with the requirements of the Acton Building Inspector.

DEFINITIVE SUBDIVISION PLAN
POST OFFICE CROSSING
ACTON, MASSACHUSETTS
ROADWAY PROFILE, NOTES & DETAILS

Prepared For
Philip Singleton
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Peabody, Mass. 01960

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Eastern Land Survey Assoc., Inc.
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ACTON ZONING BOARD OF APPEALS
APPROVAL UNDER MGL CH. 40B BY THE ACTON ZONING BOARD



DATE
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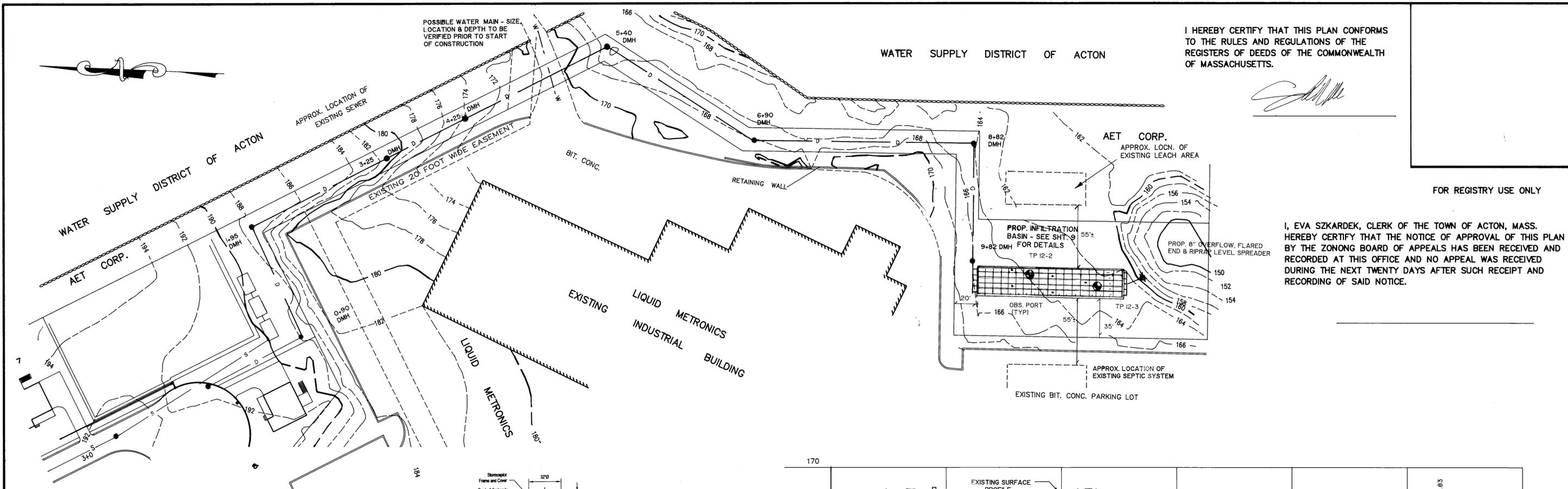
SHEET 6 OF 10

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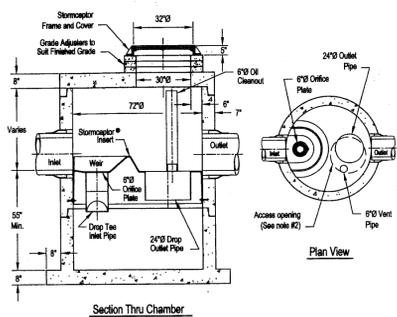
WATER SUPPLY DISTRICT OF ACTON

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[Signature]

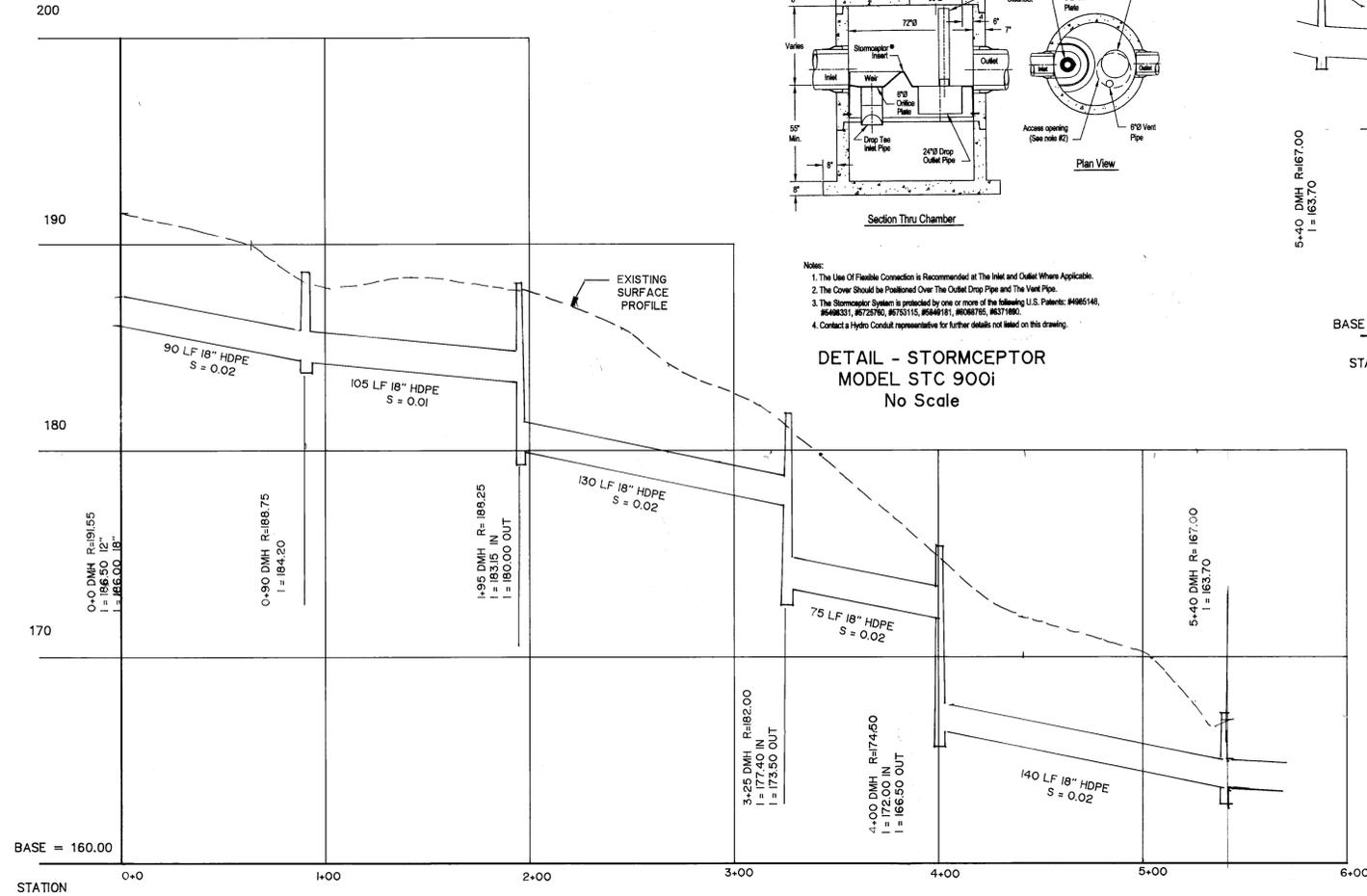
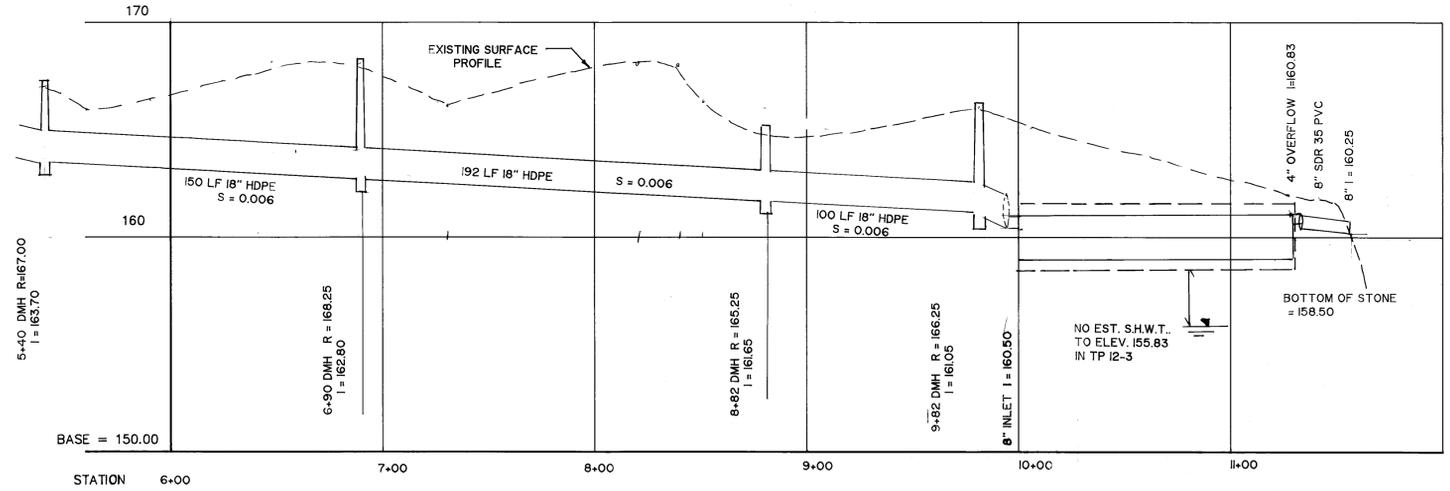
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- Note:
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
 2. The Cover Should Be Positioned Over The Outlet Drop Pipe and The Vent Pipe.
 3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4085148, #6498331, #6728780, #6753115, #6849181, #6966765, #6371880.
 4. Contact a Hydro Conduit representative for further details not listed on this drawing.

DETAIL - STORMCEPTOR
MODEL STC 900i
No Scale



ACTON ZONING BOARD OF APPEALS
APPROVAL UNDER MGL CH. 40B BY THE ACTON ZONING BOARD

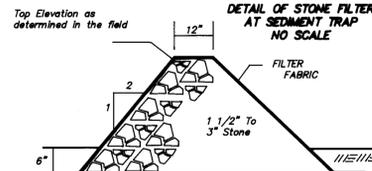
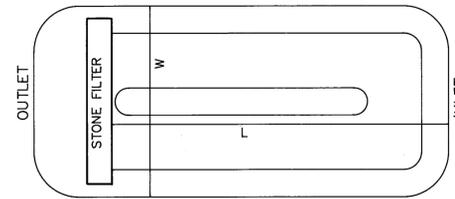
DEFINITIVE SUBDIVISION PLAN	
POST OFFICE CROSSING	
ACTON, MASSACHUSETTS	
STORM DRAINAGE PLAN	
<p><i>Prepared For</i> Philip Singleton c/o Attorney John R. Kelly 40 Lowell Street Peabody, Mass. 01960</p>	<p><i>Prepared By</i> Eastern Land Survey Assoc., Inc. Christopher R. Mello P.L.S. 104 Lowell St, Peabody, Mass. 01960 (978) 531-8121</p>
<p>SCALE 1" = 40'</p>	
<p>DATE OCTOBER 22, 2012</p>	<p>REVISIONS</p>
<p>DATE</p>	<p>F 16387</p>
SHEET 7 OF 10	

EROSION CONTROL PROGRAM

1. STAKED HAY BALES, SILT FENCE, TEMPORARY DIVERSION SWALES AND SEDIMENT BASINS SHALL BE INSTALLED IN ACCORDANCE WITH THIS PLAN OR AS OTHERWISE DIRECTED BY THE PROJECT ENGINEER, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. 40 ADDITIONAL HAY BALES AND 200 FT. OF SILT FENCE SHALL BE KEPT ON SITE FOR REPAIRS OR OTHER EROSION CONTROL NEEDS. THE CONTRACTOR SHALL INSPECT EROSION CONTROL FACILITIES WEEKLY AND AFTER EVERY RAINFALL EVENT TO CONFIRM THAT SAME ARE PROPERLY FUNCTIONING. ANY DEFICIENCIES IN THE EROSION CONTROL FACILITIES SHALL BE CORRECTED IMMEDIATELY.
2. ALL SOIL STOCKPILES SHALL BE PROTECTED AGAINST EROSION.
3. CATCH BASINS SHALL BE PROTECTED WITH FILTERS, AS SHOWN HEREON UNTIL NO SEDIMENT TRANSPORT IS VISIBLE DURING RAINFALL EVENTS. FILTERS SHALL BE INSPECTED WEEKLY AND MAINTAINED AS NECESSARY.
4. TEMPORARY EROSION CONTROL MEASURES TO BE TAKEN DURING CONSTRUCTION SHALL CONFORM WITH THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES, URBAN AND SUBURBAN AREAS" DATED MARCH, 1997, AND MAY INCLUDE SOME OR ALL OF THE FOLLOWING MEASURES:
TEMPORARY SEEDING, TEMPORARY MULCHING (STRAW), PERMANENT SEEDING, HYDROSEEDING, SODDING, AND PLACEMENT OF HAY OR JUTE NETTING DURING WINTER MONTHS.
5. DEBRIS AND/OR LITTER SHALL BE REMOVED FROM THE SITE ON A WEEKLY BASIS.
6. IF DUST IS GENERATED DURING CONSTRUCTION, IT SHALL BE CONTROLLED BY USE OF WATER TRUCKS, SPRINKLING OR TEMPORARY STABILIZATION METHODS.
7. AT THE COMPLETION OF THE PROJECT, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH LOAM AND SEED OR OTHER GROUND COVER.

DETAIL — SEDIMENT TRAP

No Scale



STONE FILTER SHALL ALSO BE USED IN PROP. SEDIMENT FOREBAYS — SEE SHEETS 10 & 11 FOR LOCATION AND ELEVATION.

CONSTRUCTION NOTES : PROPOSED SEDIMENT TRAPS

1. SEDIMENT TRAPS SHALL BE DESIGNED WITH A MINIMUM VOLUME OF 1800 CUBIC FEET PER TRIBUTARY ACRE BELOW THE FOREBAY SPILLWAY.
2. TRIBUTARY DRAINAGE AREA SHALL BE LESS THAN 5 ACRES
3. THE LENGTH TO WIDTH RATIO OF THE SEDIMENT TRAP SHALL BE 2 TO 1 OR GREATER

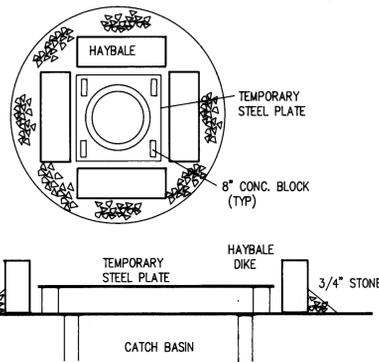
MAINTENANCE NOTES — PROPOSED SEDIMENT TRAPS

SEDIMENT TRAPS SHALL BE INSPECTED FOLLOWING RAINSTORMS OF GREATER THAN ONE INCH IN 24 HOURS, BUT AT LEAST WEEKLY. ANY OBERVED EROSION, OR CLOGGING OF THE FOREBAY SHALL BE REPAIRED IMMEDIATELY.

SEDIMENT TRAPS SHALL BE CLEANED OUT WHEN THE SEDIMENT DEPTH ACCUMULATES TO ONE — HALF OF THE DESIGN DEPTH.

CATCH BASIN FILTER DETAIL

no scale

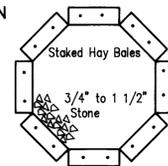


A Fabric Silt Sack or equivalent device may be used for catch basin protection in lieu of the above detail.

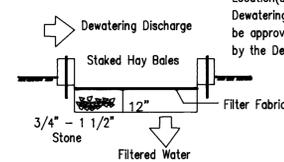
DETAIL DEWATERING BASIN

No Scale

PLAN



SECTION

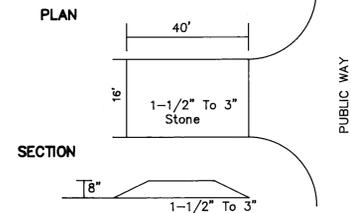


Location(s) of proposed Dewatering Basin(s) shall be approved in the field by the Design Engineer

NO DISCHARGE FROM ANY DEWATERING ACTIVITIES SHALL BE DIRECTED INTO EXISTING STORM DRAINAGE FACILITIES OR RESOURCE AREAS UNLESS FIRST ROUTED THROUGH A DEWATERING BASIN.

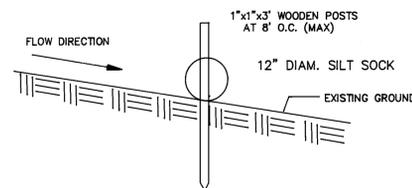
DETAIL CONSTRUCTION ENTRANCE

no scale



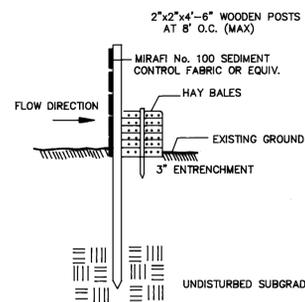
1. Geotextile Fabric shall be placed in the area of the construction entrance prior to placement of stone.
2. Areas of surface water flow toward the construction entrance shall be minimized.
3. The construction entrance shall be maintained so as to prevent the tracking or flow of sediment onto the adjacent public way. Measures may include top dressing of the entrance with additional stone and/or repair or cleaning of other site sediment control measures.
4. Any sediment spilled, washed or tracked onto adjacent public ways shall be removed immediately.
5. Vehicle wheels shall be cleaned of mud prior to the vehicle leaving the site. If washing is required, it shall be done on a stone stabilized surface which drains into a sediment trapping device.

SILT SOCK FOR EROSION CONTROL



UPSTREAM CONTRIBUTORY AREA SHALL NOT EXCEED .25 AC. PER 100 LF OF SOCK FOR 12" DIAM. SILT SOCK SHALL BE FILLED WITH A MIX OF 30-40% WEED FREE COMPOST AND 60 TO 70 % WOOD CHIPS.

DETAIL EROSION CONTROL SILT FENCE



UNDISTURBED SUBGRADE

FOR REGISTRY USE ONLY

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ACTON ZONING BOARD OF APPEALS
APPROVAL UNDER MGL CH. 40B BY THE ACTON ZONING BOARD

DATE

DEFINITIVE SUBDIVISION PLAN

POST OFFICE CROSSING

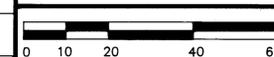
ACTON, MASSACHUSETTS

EROSION CONTROL DETAILS

Prepared For
Phillip Singleton
c/o Attorney John R. Kelly
40 Lowell Street
Peabody, Mass. 01960

Prepared By
Eastern Land Survey Assoc., Inc.
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SCALE
1"=20' HORIZONTAL
1"=4' VERTICAL



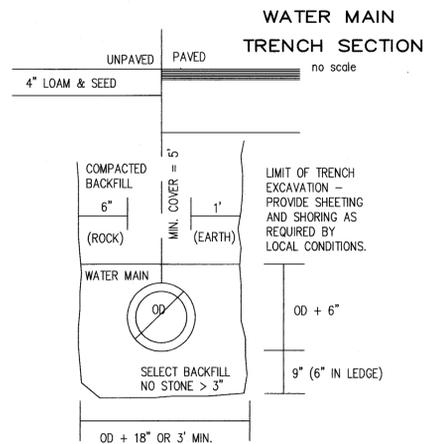
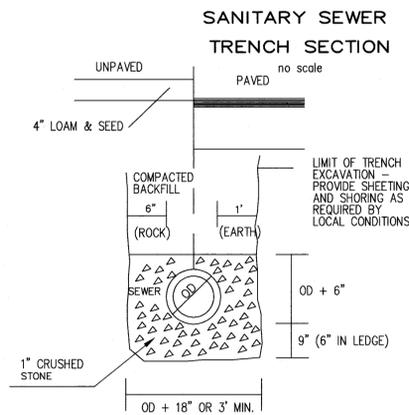
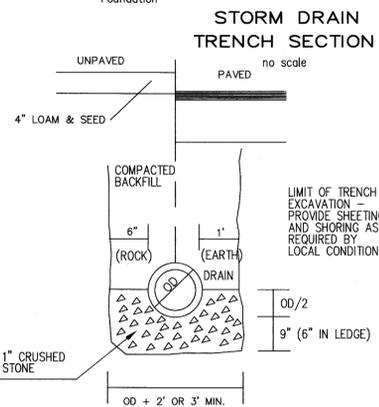
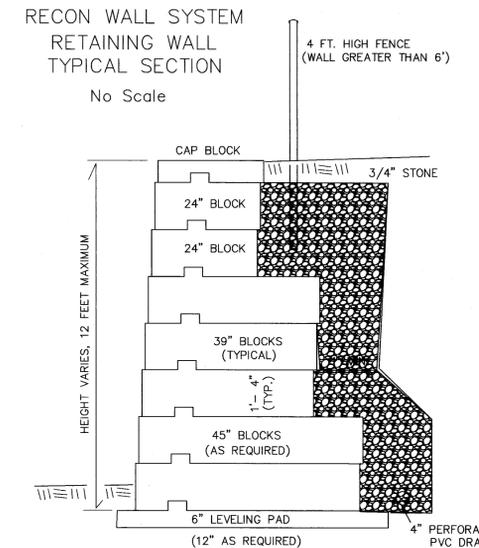
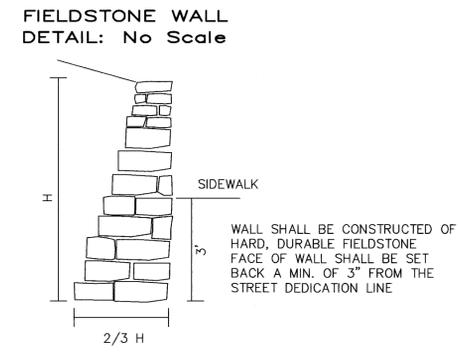
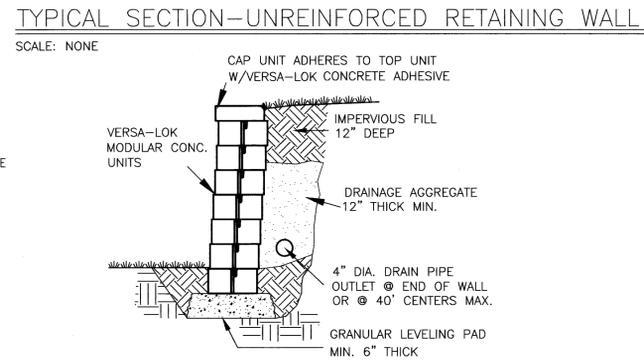
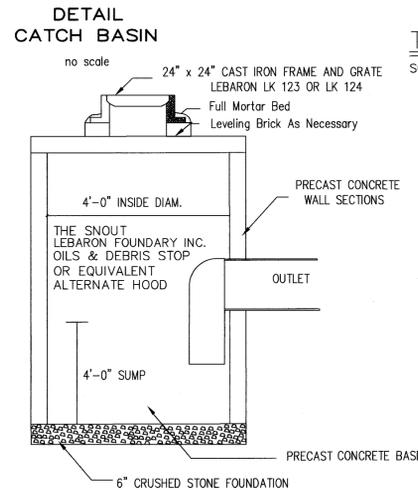
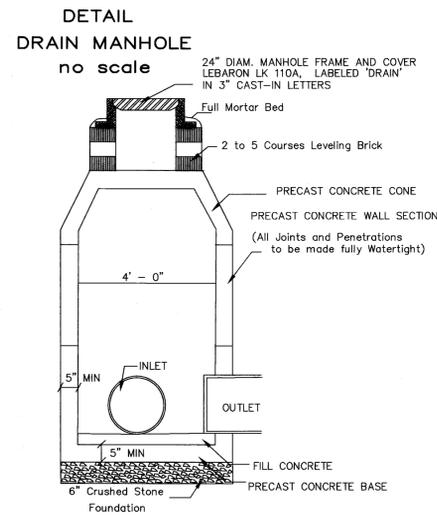
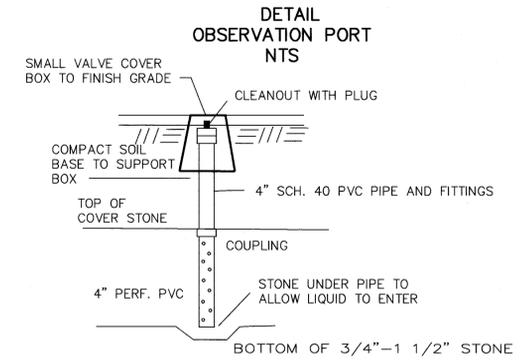
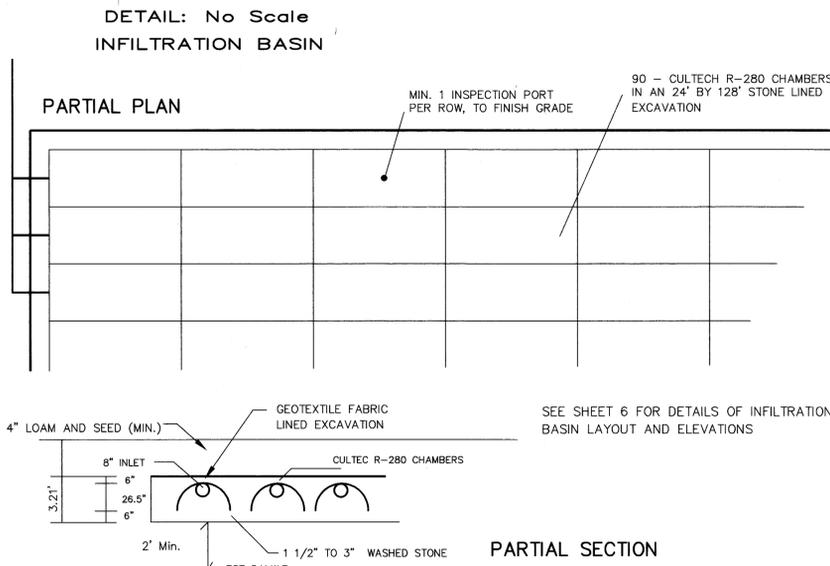
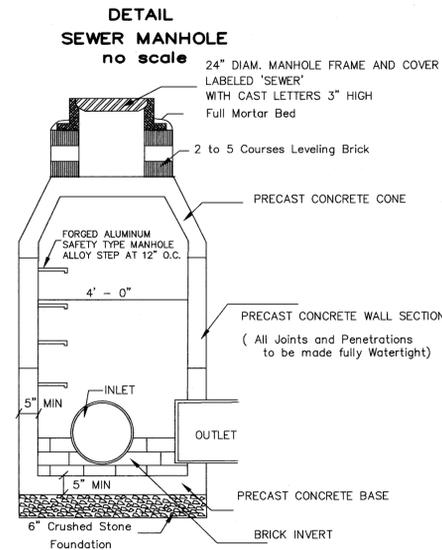
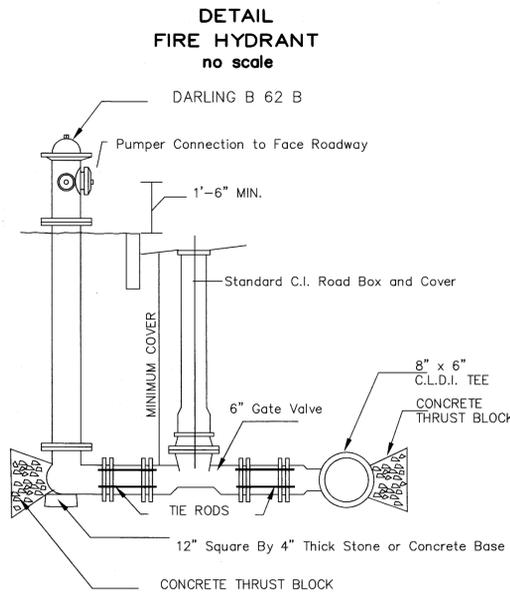
DATE
OCTOBER 22, 2012

REVISIONS

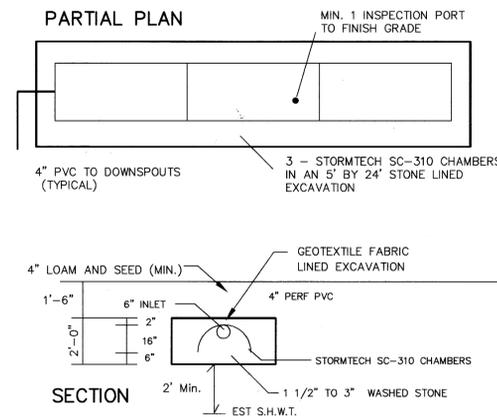


F 16387

SHEET 8 OF 10



ROOF RECHARGE BED
DETAIL: No Scale



FINAL DESIGN OF THE GRAVITY SEGMENTAL RETAINING WALL SHALL BE BY A MASSACHUSETTS PROFESSIONAL ENGINEER AUTHORIZED BY WALL COMPONENTS SUPPLIER AND PERMITTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING INSPECTOR.

DEFINITIVE SUBDIVISION PLAN
POST OFFICE CROSSING
ACTON, MASSACHUSETTS
SITE DETAILS

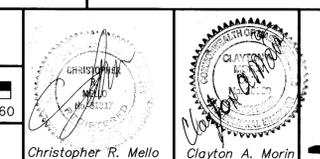
Prepared For
Philip Singleton
c/o Attorney John R. Kelly
40 Lowell Street
Peabody, Mass. 01960

Prepared By:
Eastern Land Survey Assoc., Inc.
Christopher R. Mello P.L.S.
104 Lowell St, Peabody, Mass, 01960
(978) 531-8121

SCALE
1"=20' HORIZONTAL
1"=4' VERTICAL



DATE
OCTOBER 22, 2012



REVISIONS

F 16387

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I, EVA SZKARDEK, CLERK OF THE TOWN OF ACTON, MASS. HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE Zoning Board of Appeals HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

ACTON ZONING BOARD OF APPEALS
APPROVAL UNDER MGL CH. 40B BY THE ACTON ZONING BOARD

DATE

SHEET 9 OF 10

