

3 Presentations

- A. Meeting #2
- B. Meeting #3
- C. Meeting #4

West Acton Baptist Church

Master Plan

A. Meeting #2

The West Acton Baptist Church

Meeting #2 July 22 2013



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Master Plan Process

Groundwork

- Prepare Contract
- Obtain all available/pertinent documents & codes
- Prepare draft of schedule and work plan

Step # 1 Project Start-Up

Meeting #1 – June 3, 2013

Objectives

- Review budget, schedule and process
- Discuss goals, values, priorities, & other issues
- Discuss possible community usages

Follow-up

- Perform building walkthroughs and prepare analysis narratives
- Meet with selected user groups and congregation prior to mid-June
- Prepare draft program & inventory existing space
- Develop organizational diagram

Step # 2 Review Program & Existing Conditions

Meeting #2 – July 22, 2013

Objectives

- Review goals & values
- Review draft of program and space needs
- Review organizational diagram
- Present building analysis

Follow-up

- Finalize program
- Identify and prepare Master Plan options
- Prepare evaluation of options

Step # 3 Present Master Plan Options

Meeting #3 – Sept 9, 2013

Objectives

- Present Master Plan options
- Review, evaluate, and compare options
- Agree on approach/select best option

Follow-up

- Develop selected option into final Mater Plan
- Prepare phasing and implementation strategies
- Prepare budget estimates
- Sept 23rd or 30th – Meet with Committee to discuss final option decisions

Step # 4 Present Final Master Plan

Meeting #4 – Oct 21 2013

Objectives

- Review final Master Plan
- Review phasing, budgets, and implementation strategies
- Discuss final graphics

Follow-up

- Prepare final graphics
- Present final Master Plan report
- Discuss next steps
- Oct 27th - Presentation to Congregation



We are here

Goals and Values

A Welcoming Congregation

- Create an experience that embraces West Acton Baptist's **commitment to represent different communions, but one fellowship**; varied beliefs, but one faith; many viewpoints, but one Christ
- Demonstrate the ways in which **West Acton Baptist's programs are unique** – showcasing the mission, the history, and the faith that are part of the inspiration for the congregation.
- Include **inspirational displays of events and missions**
- Design a place that is warm, inviting, and which creates **a sense of welcome** to young children and possible new families.
- Create a long range plan for **how to use all the spaces more effectively** to allow the Church to thrive and move forward.

Goals and Values

A Building that Works

- **Improve signage, security and wayfinding** to make the building a safer, more visible, more understandable place
- **Explore bringing the building up to code** and improving accessibility (and identify triggers that would require code or ADA upgrades)
- Evaluate **building systems** and propose options to provide for healthier air, better energy efficiency and lighting, and long term ease of maintenance and reliability.
- **Upgrade existing spaces:** by resolving the technical issues that currently limit possible uses and impede the congregation from doing their work.

Goals and Values

Fiscal Responsibility & Development

- Develop options to allow the Church to understand how to get the **best value for money spent**.
- Consider phasing to **ensure the projects can succeed** with various levels of fundraising and prioritize work to meet project goals.
- Develop ways the project can help to **generate revenue** through renting out spaces and enabling growth in Community programs.
- Make the Church Building **more efficient, sustainable, and less expensive to maintain** by utilizing efficient systems and fixtures, and low VOC, renewable, recycled, and local materials.
- Create a shared vision of transformation to energize and unite the West Acton Baptist Church Community and **provide strong direction for future planning** and fundraising.

Existing Space/Program Summary

Program Element	Existing Area	Proposed Area	Variance	Comments
Date: July 19, 2013	(Net Square Feet)	(Net Square Feet)	req'd (-over)	
1.0 Lower Entry	223	223	0	Provides Handicapped access, elevator, and bathroom
2.0 Fellowship Hall	1314	1314	0	Also used by school (has 194 SF of storage attached)
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9.0 Pulpit/Choir/Baptismal Area	367	367	0	Includes area which currently houses organ and drumset
10.0 Choir Room/Music Storage	381	381	0	Includes storage closet
11.0 Nursery	254	534	280	Proposal for WABC reclaiming the small 280 SF classroom on the lower level (larger 1162 SF classroom would remain part of COOP)
TOTAL	6036	6316	280	Net Square Footage (does not include hallways, stairs, restrooms, etc)

Program Priorities

Worship: Provide a better experience

- Better lighting and sound systems for sanctuary
 - Ability to use audio and video for services and also to record services
- More flexible space for services
 - Ability to reconfigure for various music and presentation options
- Repairs to sanctuary (• ⌘ | ceiling, floor)

Education: Be more welcoming to children

- Dedicated space for nursery and preschool space
- Space for Upper level CE closer to kitchen and bathrooms
- Space for teen programs

Program Priorities

Music – Provide higher sound quality and more flexibility

- Better lighting and sound systems
- Better storage space
- More flexible space for choir, handbells, pageants etc

Community – Support current programs

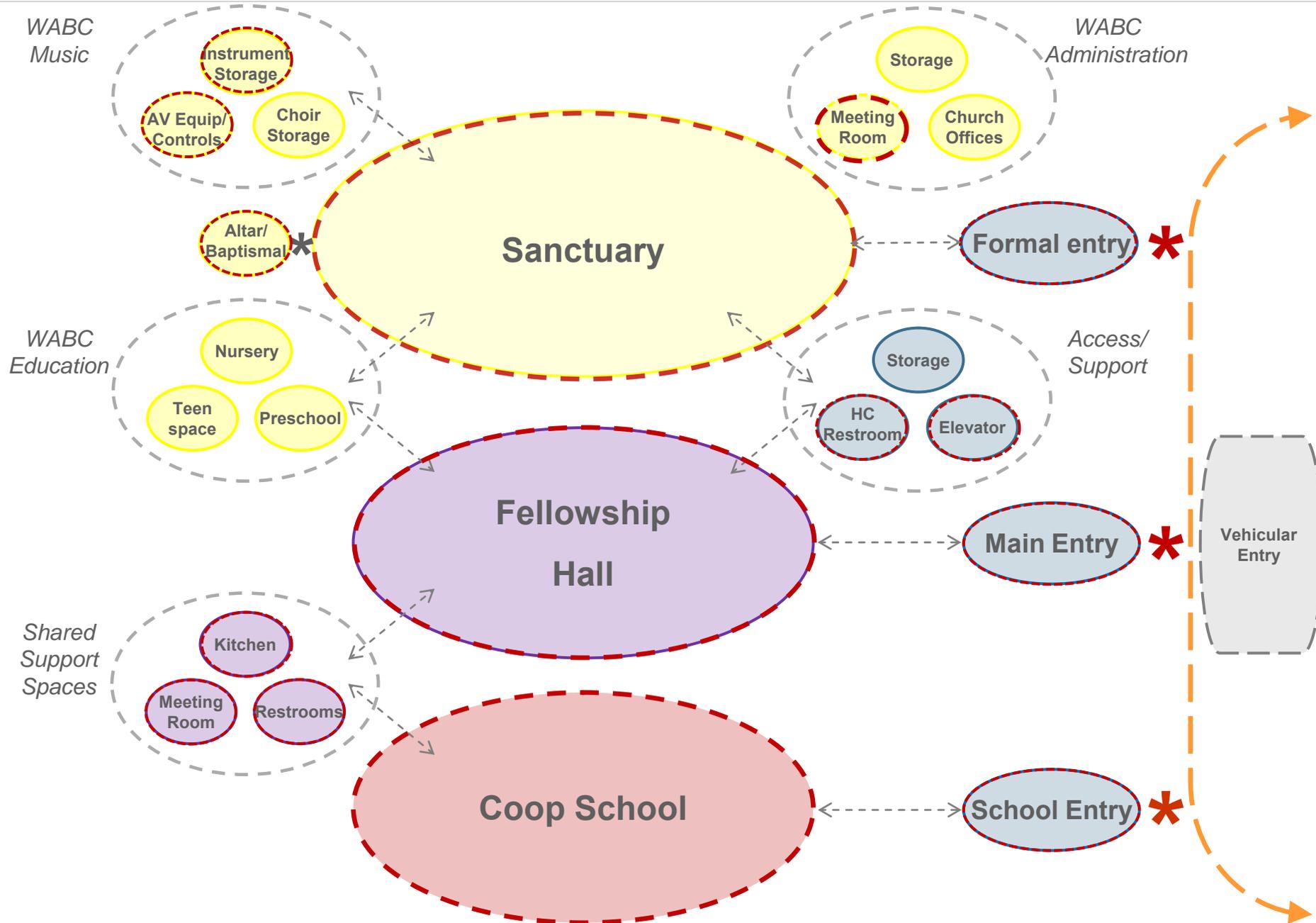
- Updates to fellowship hall and library (improve acoustics)
- Renovations to kitchen
- Improved accessibility
- Improved entry/presentation to welcome in new members

Program Priorities

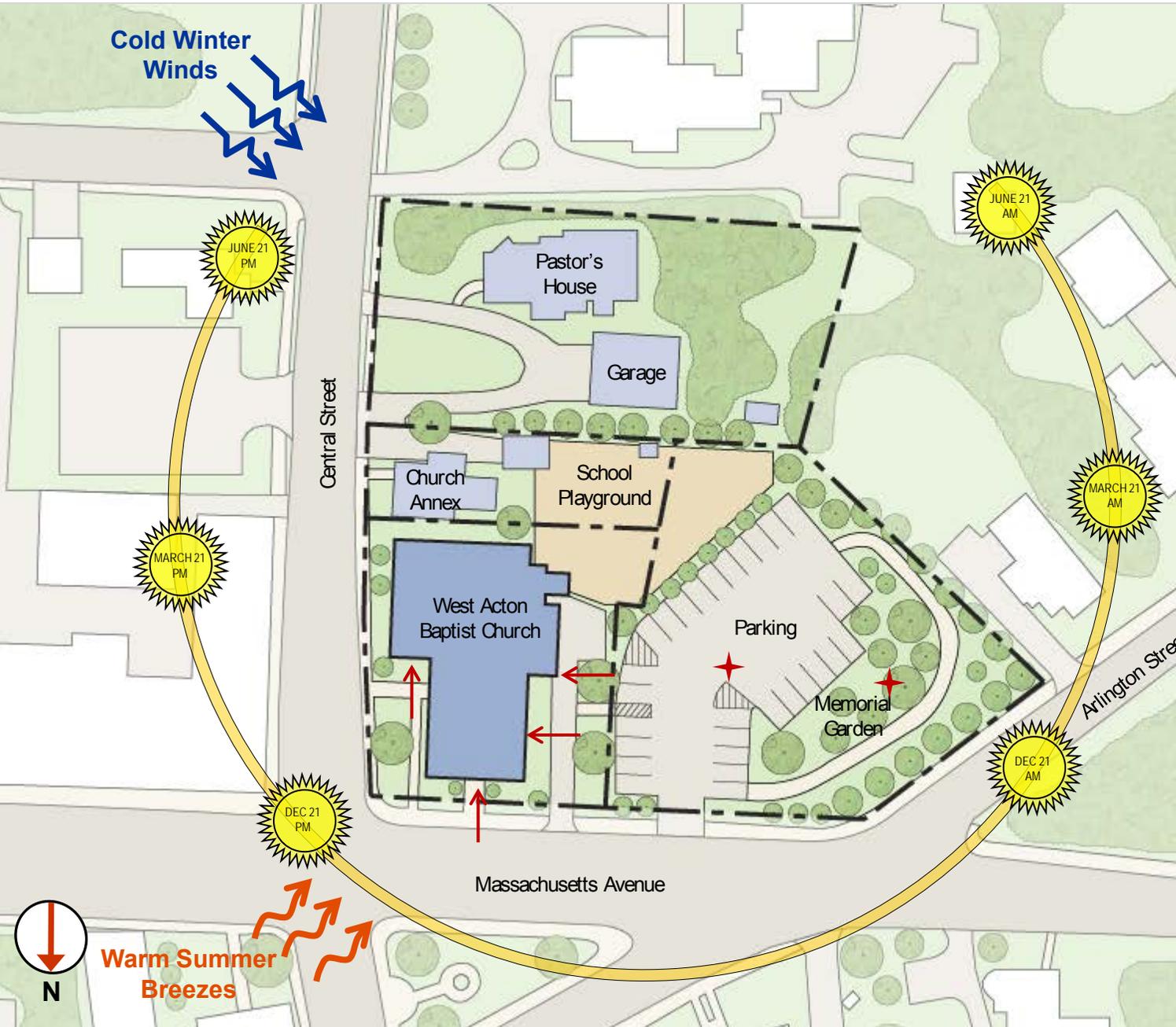
Outreach – increase Revenue Generating Opportunities

- Better lighting and sound/video systems for possible rentals
- Updates to fellowship hall to make it more attractive for rentals
- Updates to kitchen to allow for more functions
- Improved acoustics to improve flexibility of meeting spaces
- Explore better signage to advertise events

Organizational Diagram



Site Analysis:



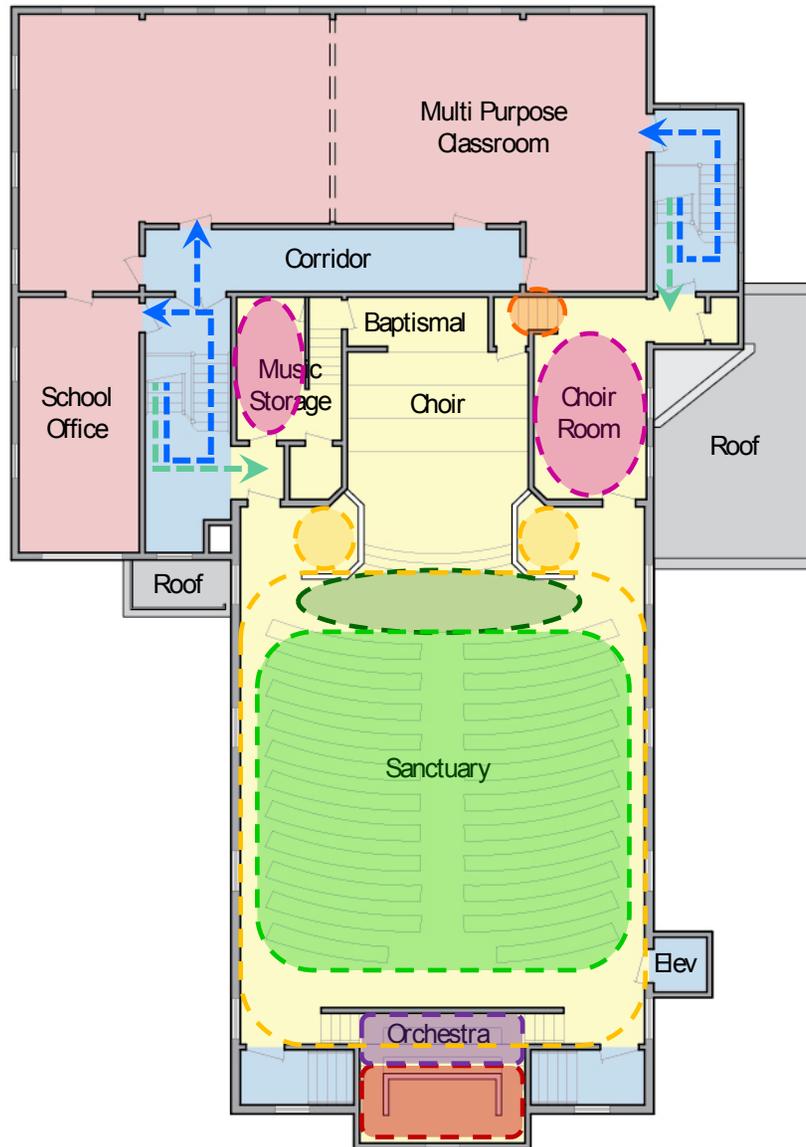
- Formal entry faces South offers opportunity to welcome
- Main entry difficult to locate
- School entry not well marked
- Parking is adequate
- Memorial plantings; beautiful and connect to church mission
- Office entry confusing

Building Observations: Main Level



- Entry Hard to Find - Not Welcoming
- Lobby is not inspiring/connected
- Stairs at Entry and elevator are small and unpredictable
- Formal entry rarely used (only for weddings and funerals)
- HC bathroom in good location
- Fellowship hall is spacious but run down / not inspirational
- Kitchen tired but functional
- Library serves many purposes– but does not have defined function for WABC
- Chapel serves as meeting room and CE room
- Circulation is shared with Coop
- Church office functions but needs updates
- Side entry difficult to navigate no doorbell, no handle (does not look active)

Building Observations: Upper Level

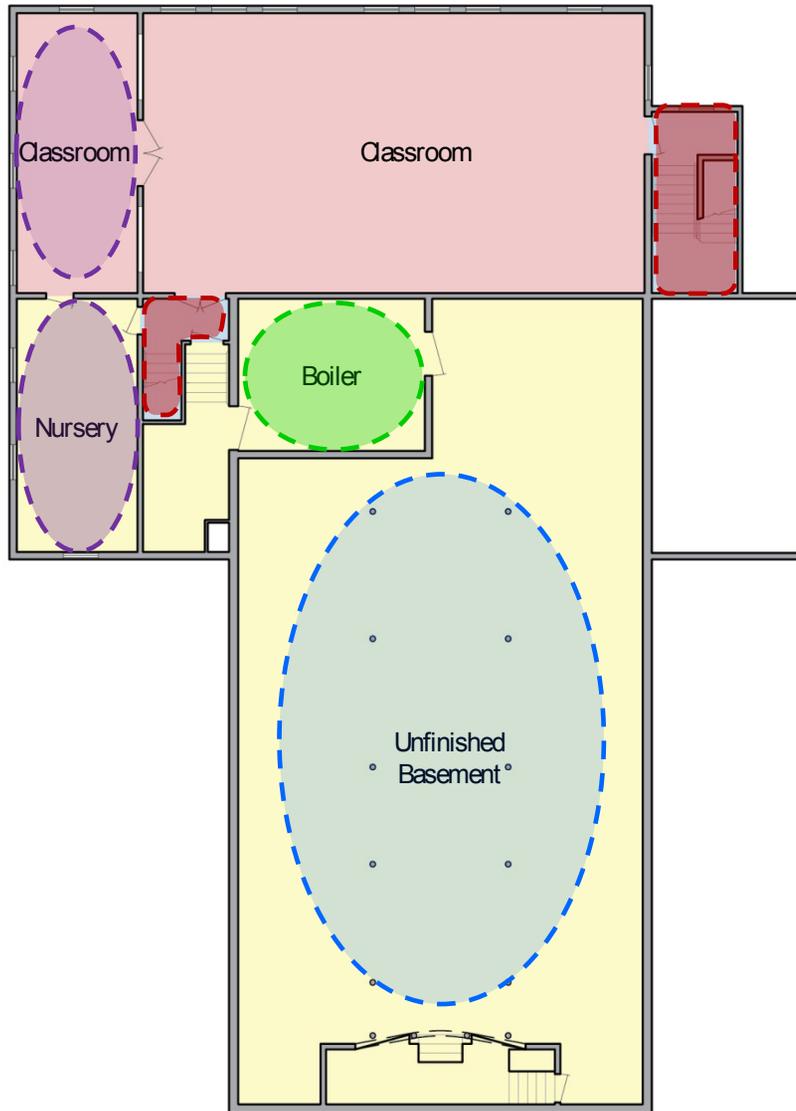


- Sanctuary is beautiful and historic
- Pews work well for seating
- Lack of space at front limits flexibility
- Organ/Drum areas also take up floor space/ limit flexibility
- Stairs Not Code Compliant
- Choir storage lacks music storage
- AV system inadequate
- Ceiling and floor are not in good shape - need to be rehabilitated
- Lighting is inadequate esp. over congregation seating
- Back area rarely used
- Hallways shared with Coop
- High Ceilings, Large Windows & Good acoustics



Upper Level

Building Observations: Lower Level



- Main basement space is very damp
- Systems are outdated
- Nursery is down stairs and feels isolated
- Shared CE Area with Coop Problematic
- Classrooms share access with WABC

Lower Level

Building Analysis: Exterior

Exterior Conditions

Siding and Trim

- Vinyl siding installed in the 70's is in fair condition- it could benefit from cleaning and minor repairs
- Wood canopies and trim located around exterior doors should be repaired and painted
- Existing Belfry will be repaired in the Fall 2013

Windows and Doors

- Storm window enclosures over stain glass windows are in fair condition and have operable sashes for ventilation
- Main entry wood doors appear to be the original doors and will require refurbishment and new hardware
- Wood doors on east side entry are small and in need of new accessible hardware, suggest replacing the doors entirely
- Wood door on west side entry should have accessible hardware

Roof

- 3 tab asphalt roof appears to be in good condition. Water leaks around the Belfry will be repaired in the Fall.



Main Entry on Mass Ave.



West Elevation



Railing and Trim at Main Entry



East Entry on Central Street

Building Analysis: Interior

Interior Conditions at Main Level

Floors

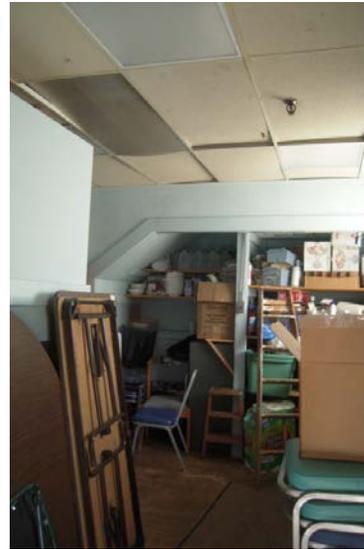
- Carpeted west side entry and stairs (possibly replace with a more durable floor finish)
- VCT floor over reconstructed subfloor in Fellowship Hall is in fair condition.
- Library floor is VCT (carpeting might help acoustics and make it more welcoming)

Walls

- Existing plaster walls are in reasonable condition (patch and paint)
- Wall between Fellowship Hall and Library should be treated for better acoustical separation
- Acoustical wall panels could be added to Fellowship Hall to provide better acoustics.

Ceilings

- Fellowship Hall, Lobby and Library have a plaster ceiling with surface mounted fluorescent lights, installing an acoustical ceiling tile system (ACT) with recessed lights would improve acoustics and appearance.
- New sprinkler heads would need to be installed (change from upright to semi-recessed)



Storage & Custodial Room



West Entry Lobby



Library



Fellowship Hall

Building Analysis: Interior

Interior Conditions at Kitchen & Basement

Floors

- Kitchen: Sheet flooring may need to be updated to meet current BOH requirements
- Basement: Partial concrete and dirt floor allows water to flow through basement at times. Installation of better sump would improve condition (or installation of a perimeter foundation drain system).

Walls

- Kitchen: existing walls have ceramic tile and wall paper.. Wall paper would need to be replaced with tile or coated panels to meet current codes
- Basement: has rubble foundation walls in reasonable condition

Ceilings

- Kitchen: ACT ceiling is stained and not coated, BOH would require clean room tiles in this space if it is to be brought up to code.
- Basement: Exposed wood floor joists and no fixed lighting. Adding permanent lights would be helpful but are not required by the state building code.



Kitchen/Dish Cleaning Area



Kitchen



Basement



Rubble walls, Dirt Floor, Steel columns

Building Analysis: Interior

Interior Conditions at Sanctuary

Floors

- Carpeted aisles and old linoleum flooring under pews. There appears to be a wood plank floor below existing linoleum floor - it is unclear if the wood planks could be refinished if the linoleum was removed

Walls

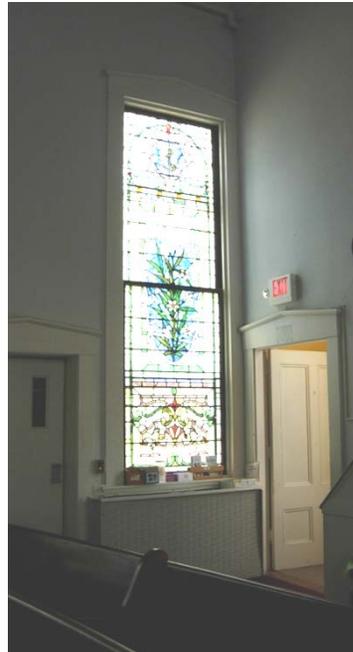
- Plaster walls in the sanctuary have stress cracks along the exterior walls, but there are no signs of leaks or water damage. Should be patched and repainted.

Ceilings

- Steel ceiling appears to be part of the original architecture. Signs of water damage are apparent in the ceiling. Ceiling should be refurbished to maintain historic character

Other Features

- Existing wooden pews are in good condition
- Minor repairs on stain glass window units maybe needed
- Retractable treads at choir appear to be in good condition



Stained Glass Windows



Tin Ceiling / Pendant Light Fixtures



Wooden Pews with Raised Orchestra



Wood Plank Floor w/ Linoleum Over

Building Analysis: Code Review

Code Compliance

Exterior Accessibility

- Public entrances are not handicapped accessible
- The existing elevator on the west side of the building provides access from the parking lot to the main and upper levels. (Elevator does not meet current accessibility requirements)

Exterior Doors

- Many egress doors lack proper hardware, push and pull-side clearances, and minimum width requirements
- West entry doors does not have proper clearances on pull side of door
- East entry doors are not the proper width (this could be an accessible entry if doors are replaced and a small ramp is added)
- Main entry doors have no door closers
- Exterior elevator door does not have proper pull clearances and door hardware
- Exit signs are not installed at the exterior doors (not required at main entry doors)



West Entry Lobby



West Entry and Elevator Entry



East Entry



Main Entry Lobby

Building Analysis: Code Review

Code Compliance

Interior Accessibility

- Outdated door hardware should be replaced. Door closers exceed the required pressure to operate
- Some of the interior exit signs are not illuminated
- Some interior egress doors do not have the proper clearances
- Many of the doors have “door knobs” instead of accessible lever handles
- Access door to belfry does not open 90 degrees
- Stair access to belfry is not safe (repair and add railings for safety)
- Illumination in belfry access needs to be improved



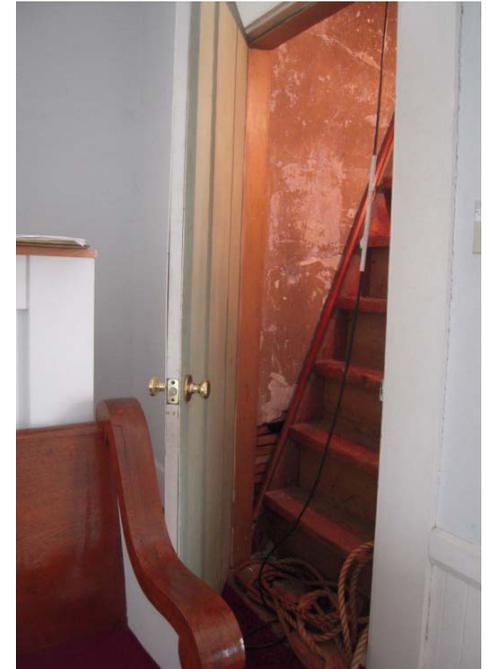
Outdated Door Closers



Belfry Access Stair



Egress door at Sanctuary



Access Door to Belfry stair

Building Analysis: Code Review

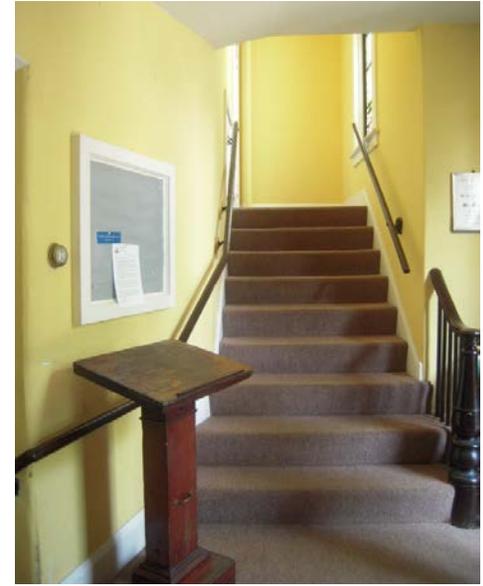
Code Compliance

Stair Accessibility

- Stairs and stair handrails do not meet current accessibility or building code requirements.
 - Stair tread height is over 7" in many locations but International Existing Building Code (IEBC) will allow for these stairs to remain
 - Most railings exceed 1 ½" width and do not have a 1 ½" clearance between the wall and handrail
 - Handrails are not set at the proper height.
 - Some railing brackets are not properly fastened to the wall (blocking should be added and brackets should be reinstalled at the proper height)
 - Stairs do not have visual transition at top tread
 - Stairs to baptismal do not have handrails or proper landing size at doorways, EIBC will allow this existing condition to remain
 - Most railings do not extend the proper length beyond top and bottom tread



Stairs to Orchestra



Stairs to Sanctuary from Main Entry



Railings



Stair to Baptismal

Building Analysis: Electrical

Electrical Distribution System:

- The existing main service needs to be completely upgraded.

Interior Lighting System:

- The existing interior lighting system is in fair condition. It may not be advantageous to replace existing lighting without changes to ceilings or finishes in the spaces.
- Existing fixtures could be re-lamped to allow for better, more efficient lighting

Emergency Lighting System:

- A new emergency battery system should be provided with sufficient capacity to serve emergency lighting and exit signs. Exit signs should be provided with LED lamps installed.
- New emergency light fixtures should be installed in all egress areas such as corridors, intervening spaces, toilets and above exterior doors.
- New receptacles and switches should be installed as areas are renovated.

Fire Alarm System:

- A new addressable fire alarm panel should be installed. The new system should be ADA compliant. Speaker/strobe appliances should be installed in Assembly Spaces per code requirements. Toilet rooms must be provided with fire alarm strobe lights for ADA compliance.
- Fire alarm system does not meet current NFPA or ADA requirements



Main Switch



Open Junction Boxes



Romex Wiring

Building Analysis: Mechanical

Mechanical:

- It would be good to provide 1-1/2" fiberglass insulation on all piping in the boiler room, crawl space, and within each space. An insulation cover should be provided in spaces where the piping system is exposed to prevent damage to the insulation.
- The entire control system should be modified to new electronic control valves which provide accurate temperature control. A standalone electronic control system can be provided which would include new wall-mounted thermostats and control valves. The accuracy and effectiveness of the newer style valves and thermostats would provide better temperature control throughout
- Consideration should be given to converting the entire steam system to hot water.
 - The current boilers can be converted, however pumps and an expansion tank would be required for hot water circulation and hot water expansion. All steam traps would have to be removed from the piping system to allow flow throughout the piping system.
- Areas utilizing cast iron radiators should be upgraded to fin tube radiation. This would provide a more even heat distribution throughout the space and allow exterior infiltration to be captured at the wall.



Steam Boiler



Condensate Receiver w/ Duplex Pumps



Fin Tube Radiator

Building Analysis: Plumbing

Plumbing

- It would be good to provide new high efficiency low flow plumbing fixtures throughout building.
- Due to age of existing piping, it is recommended to install new domestic water piping throughout the building.
- Provide new gas-fired high efficiency condensing water heater with thermostatic mixing valve and expansion tank.
- Provide proper backflow prevention at Janitor's cleaning solution systems.



Toilet with Grab Bars



Lavatory with Sensor Faucet



Gas Meter



Kitchen Sink



Water Heater

Building Analysis: Fire Protection

Fire Protection:

- Due to the age of sprinkler system it is recommended to do a full replacement. This would include new double check valve assembly on incoming service, new dry type alarm valve and air compressor.
- Due to the potential of corrosion inherent in dry sprinkler systems it is recommended to use galvanized pipe and fitting for new systems.
- All new sprinkler heads should be quick response type in accordance with NFPA 13 standard.



Vertical sidewall Sprinkler



Post Indicator Valve



Fire Service & Dry Alarm Valve

Building Analysis: Structural

Structural:

- Exterior walls of the original wood framed building appear to be relatively plumb
- The Belfry appears to be well constructed, with rational gravity load and lateral (wind) load systems. Reportedly, there have been some leaks and there may be areas where localized deterioration of framing members has occurred.
- The condition of the trussed roof construction over the Sanctuary appears to be satisfactory.
- The live load capacity of the wood framed floor construction at the Main Level of the original church appears to be as low as 40 to 50 psf. The present building code (8th Edition) would require a 100 psf live load for Fellowship Hall space and a 60 psf live load capacity for the Sanctuary. Further review is recommended. Additional supplemental beam supports in the crawl space would serve to increase the live load capacity.
- It is recommended that hangers be provided at all Main Level joist/beam connections. Further review is recommended at Upper Floors
- Wood subflooring of the Main Level was replaced by $\frac{3}{4}$ " plywood in some locations; this is structurally acceptable.
- Moisture in crawl space may continue to damage framing; consideration should be given to the installation of drains/pumps. Also recommend that the sill plate be drilled at periodic intervals to check its condition.
- The bases/base plates of steel columns in the crawl space have corroded, recommend that these areas be mechanically cleaned and evaluated



Wood Floor Joists



Steel Column and Base Plate



Timber Rafters



Rubble Foundation

Building Analysis: Summary

Preliminary Recommendations

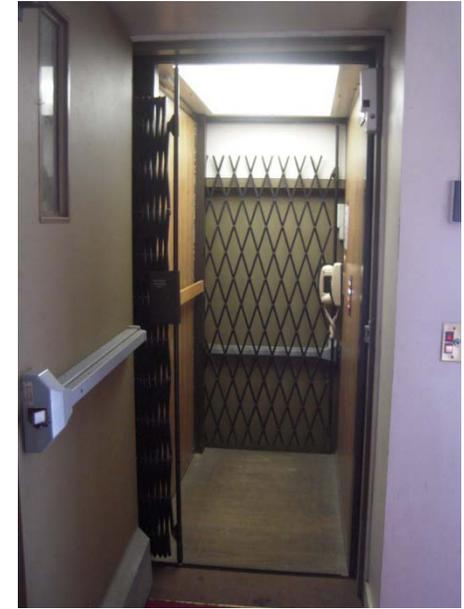
- Bring all life safety systems, including but not limited to, emergency lighting, exit signage, and fire alarm horn/strobes up to current code.
- Replace old plumbing fixtures throughout with accessible, low flow, water-efficient fixtures.
- Repair handrails at stairs
- A variance can be acquired for the elevator
- Consider electrical upgrades, converting to hot water, and adding supplemental structural support

ADA Considerations:

- 3.3.1 If the work being performed amounts to less than 30% of the *full and fair cash value* of the *building* and
- a. if the work costs less than \$100,000, then only the work being performed is required to comply with 521 CMR **or**
 - b. if the work costs \$100,000 or more, then the work being performed is required to comply with 521 CMR. In addition, an *accessible public entrance* and an *accessible toilet room*, telephone, drinking fountain (if toilets, telephones and drinking fountains are provided) shall also be provided in compliance with 521 CMR.
- 3.3.2 If the work performed, including the exempted work, amounts to 30% or more of the *full and fair cash value* (see **521 CMR 5.00**) of the *building* the entire *building* is required to comply with 521CMR.



Egress door at Stair Landing



Elevator



Baptismal



Toilet Rooms

Next Steps

WABC

- Review and confirm goals and values, program priorities and, site and building analysis

OMR

- Confirm building code triggers
- Develop concept options for how to best meet goals

All

- Review options at the next meeting Sept 9th 2013



Thank You!

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Meeting #3 Sept 9th 2013



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 - Ability to use audio and video for services and also to record services
- More flexible space for services
 - Ability to reconfigure for various music and presentation options
- Repairs to sanctuary (steel ceiling, floor, and walls)

Education: Be more welcoming to children (high priority!)

- Dedicated space for nursery and preschool space
- Space for Upper level CE closer to kitchen and bathrooms
- Space for teen programs
- Space for people with infants to participate in events (crying room)

Program Priorities

Music – Provide higher sound quality and more flexibility

- Better lighting and sound systems
- Better storage space
- More flexible space for choir, handbells, pageants etc

Community – Support current programs

- Updates to fellowship hall and library (improve acoustics)
- Renovations to kitchen: aim for total rehab so that space can be used by a licensed caterer
- Improved accessibility
- Improved entry/presentation to welcome in new members

Program Priorities

Outreach – increase Revenue Generating Opportunities

- Better lighting and sound/video systems for possible rentals
- Updates to fellowship hall to make it more attractive for rentals
- Updates to kitchen to allow for more functions
- Improved acoustics to improve flexibility of meeting spaces
- Explore better signage to advertise events

ADA Triggers

Work under \$100,000

- Only current work needs to comply w/ ADA standards

Work between \$100,000 and 30% of the full and fair cost of the building

- Need accessible entry and toilet

Work greater than 30% of the full and fair cost of the building

- Entire building must comply with ADA standards

Note: For religious buildings assistive listening systems are required by ADA

Master Plan Options

Base Renovation – Building Systems

- Mechanical
- Electrical
- Fire Protection
- Plumbing
- Structural
- Audio Visual

Base Renovation – Architectural Elements

- Lower Level
- Main Level
- Upper Level

Layout / Reconfiguration Options

- Options A – D

Possible Phasing

Base Renovation: Building Systems

Mechanical System Options

Estimated Costs

Repair Option (Recommended Repairs)

- **Provide 1-1/2” fiberglass insulation on all piping** in the boiler room, crawl space, and within each space. An insulation cover should be provided in spaces where the piping system is exposed to prevent damage to the insulation. \$15,000- \$18,000
- **The entire control system should be modified to new electronic control valves** which provide accurate temperature control. A standalone electronic control system can be provided which would include new wall-mounted thermostats and control valves. The accuracy and effectiveness of the newer style valves and thermostats would provide better temperature control throughout. \$52,500- \$70,500
- Areas utilizing cast iron radiators should be **upgraded to fin tube radiation**. This would provide a more even heat distribution throughout the space and allow exterior infiltration to be captured at the wall. \$36,800- \$45,500
(Approx. \$800 to convert a 250 s.f. space)
- **Clean, Repair and/or replace existing Toilet Exhaust Fans.** \$2,500 - \$6,100 (new)

Option 1 - Heating System Upgrade (Optional)

- **Conversion of the entire steam system to hot water.** The current boilers can be converted, however, new pumps, expansion tank, air separator and hydronic accessories would be required for hot water circulation and hot water expansion. All steam traps would have to be removed from the piping system to allow flow throughout the piping system. The existing condensate piping system would need to be replaced in sections for conversion to hot water return duty. The existing steam piping could be used for hot water supply service. \$120,000- \$150,000
- **Upgrade Piping Insulation, Control System, and terminal radiation equipment** as identified in Repair Option above. \$104,500- \$135,000

**Note: 3% Escalation should be added to estimated costs
Professional fees are not included in estimated costs – assume 20-30%*

Base Renovation: Building Systems

Mechanical System Options

Estimated Costs

Option 2 - Mechanical Ventilation System (Optional)

Provide new mechanical ventilation system to serve the Sanctuary, Fellowship Hall, Library/Multi-Purpose Room areas. The mechanical ventilation system should include supply and exhaust ductwork distribution, energy recovery air handling unit, associated power wiring and controls. It is estimated that the Mechanical Ventilation unit would have a capacity of approximately 3,500 CFM. Existing perimeter offices and classrooms with operable windows would still utilize operable windows for natural ventilation.

- | | |
|------------------------------|--------------------|
| • Sanctuary | \$47,500- \$57,300 |
| • Fellowship Hall: | \$30,000- \$36,200 |
| • Library/Multi Purpose Room | \$11,500- \$13,900 |

Option 3 - Air Conditioning Option (Optional)

Provide air conditioning for the Sanctuary, Fellowship Hall, Library/Multipurpose Room, and Office areas. The Air conditioning system will be of a high efficiency split system design, consisting of outdoor condensing units, indoor evaporator AC units, ductwork (for non-DCU (ductless cooling units)), refrigeration piping, power wiring and associated controls. It is estimated that the following system capacities are required:

- | | |
|--|--------------------|
| • Sanctuary:(2) 2000 CFM AHU Units connected to (2) 6 Ton ACC Units | \$60,250- \$72,600 |
| • Fellowship Hall: (1) 2800 CFM Unit connected to (1) 7.5 Ton Unit | \$37,600- \$45,400 |
| • Library and Offices: The Library, Multipurpose and Offices will have individual ductless AC units (estimate a total of 9 DCU Units) that will be connected to (1) 7.5 Ton ACC Unit. The AC system that serves these areas shall be a high efficiency Variable Refrigerant Flow (VRF) System. | \$63,500- \$76,600 |

**Note: 3% Escalation should be added to estimated costs
Professional fees are not included in estimated costs – assume 20-30%*

Base Renovation: Building Systems

Electrical System Options (Preliminary)	Estimated Costs
<p><u>Option 1 (Some Exit Lighting Elements May be Required)</u> Provide new emergency battery system with capacity to serve emergency lighting and exit signs and provide LED exit signs at all egress locations</p> <p>Provide new emergency light fixtures at all egress corridors, intervening spaces, exterior doors & toilet rooms</p> <p>New ADA compliant addressable fire alarm panel with speakers and strobes in assembly areas.</p> <p>Upgrade existing pendant light fixtures in sanctuary</p>	<p>\$19,200- \$23,000</p> <p>\$16,600- \$20,000</p> <p>\$49,900- \$60,200</p> <p>\$18,750-\$21,600</p>
<p><u>Option 2 (Optional)</u></p> <p>New three phase service with new pole-mounted transformer</p> <p>Update all receptacles and switches in spaces being renovated (provide new code compliant MC cable)</p> <p>Provide new lighting in renovated areas</p>	<p>\$26,700-\$32,200</p> <p>\$33,300-\$40,200 (Approx. \$650 to convert a 250 s.f. space)</p> <p>\$149,000-\$180,800 (Approx. \$3,000 to convert a 250 s.f. space)</p>
<p><u>Option 3 (Optional)</u> Complete upgrade of main electrical service (50 l.f. primary / 100 l.f. secondary)</p>	<p>\$23,700-\$28,600</p>

**Note: 3% Escalation should be added to estimated costs
 Professional fees are not included in estimated costs – assume 20-30%*

Base Renovation: Building Systems

Fire Protection System Options (Preliminary)

Estimated Costs

Option 1 (Required)

Provide new sprinkler heads
Install sprinklers in unprotected areas

\$16,600- \$20,100
\$25,000- \$30,100

Option 2 (Optional)

Install new backflow preventer

\$6,800-\$8,200

Option 3 (Optional)

Full replacement of sprinkler system

\$91,600- \$110,500

Plumbing System Options (Preliminary)

Estimated Costs

Option 1 (Optional)

New high efficiency low flow plumbing fixtures throughout building.
Install backflow prevention in custodial sink

\$58,300- \$70,300
\$3,500- \$4,300

Option 2 (Optional)

New domestic water distribution piping throughout

\$33,300- \$40,200

Option 3 (Optional)

New gas fired high efficiency condensing water valve and expansion tank

\$13,750-\$16,580

**Note: 3% Escalation should be added to estimated costs
Professional fees are not included in estimated costs – assume 20-30%*

Base Renovation: Building Systems

Structural System Options (Preliminary)

Estimated Costs

Option 1 (Optional)

Provide hangers at all Main and Upper Level joist/beam connections.

\$95,700- \$115,400

Option 2 (Optional)

Add additional supplemental beam support to crawl space to increase the load capacity

\$91,600- \$110,500

Option 3 (Optional)

Test sill plates and repair as required

\$32,500-\$40,200

Option 4 (Optional)

Mechanically clean and evaluate base plates of steel columns in crawl space, replace as required

\$45,000-\$54,200

Audio / Visual (Optional)

Estimated Costs

Sanctuary: Install steerable loud speakers for speech reinforcement, assistive listening system, portable loud speakers with stands, digital mixing console for music reinforcement, large projection screen and video projector

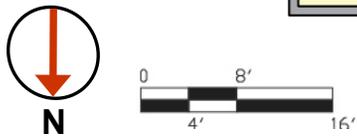
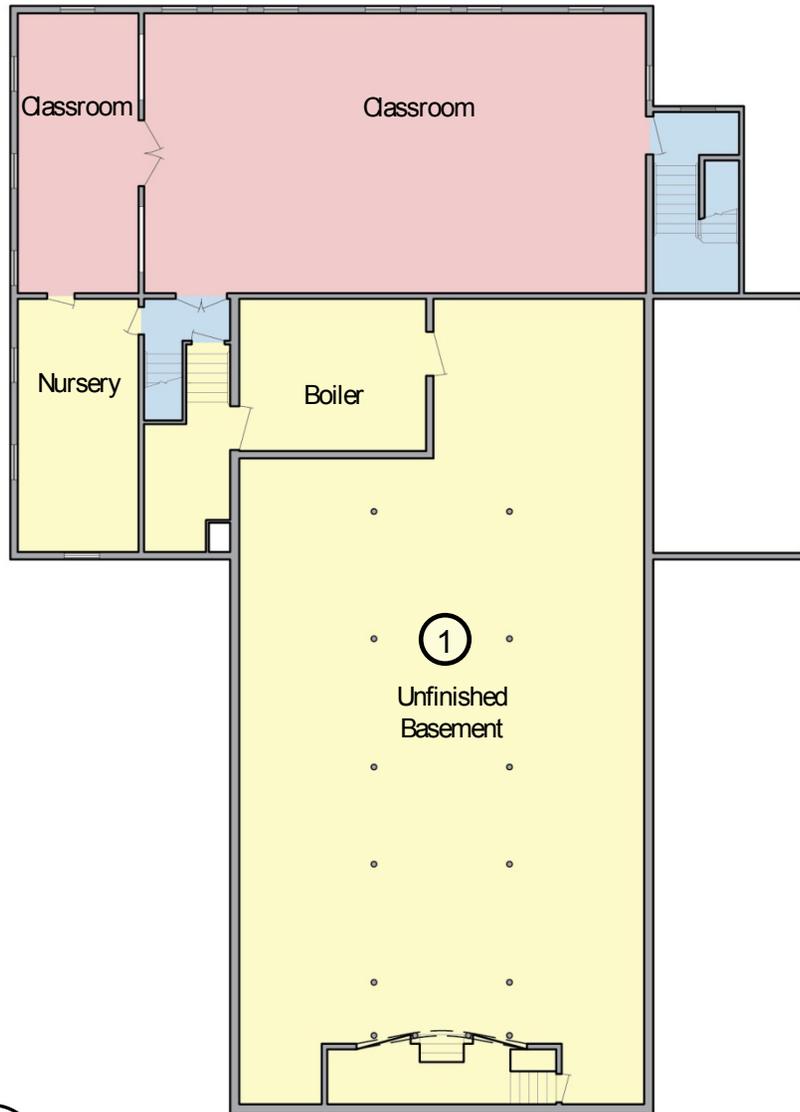
\$68,000- \$120,000

Fellowship Hall: Ceiling speakers for speech reinforcement and audio playback, assistive listening system, motorized screen and ceiling mounted projector.

\$22,000- \$40,000

**Note: 3% Escalation should be added to estimated costs
Professional fees are not included in estimated costs – assume 20-30%*

Base Renovation: Lower Level



Item

1. Control Moisture in Basement (Recommended)

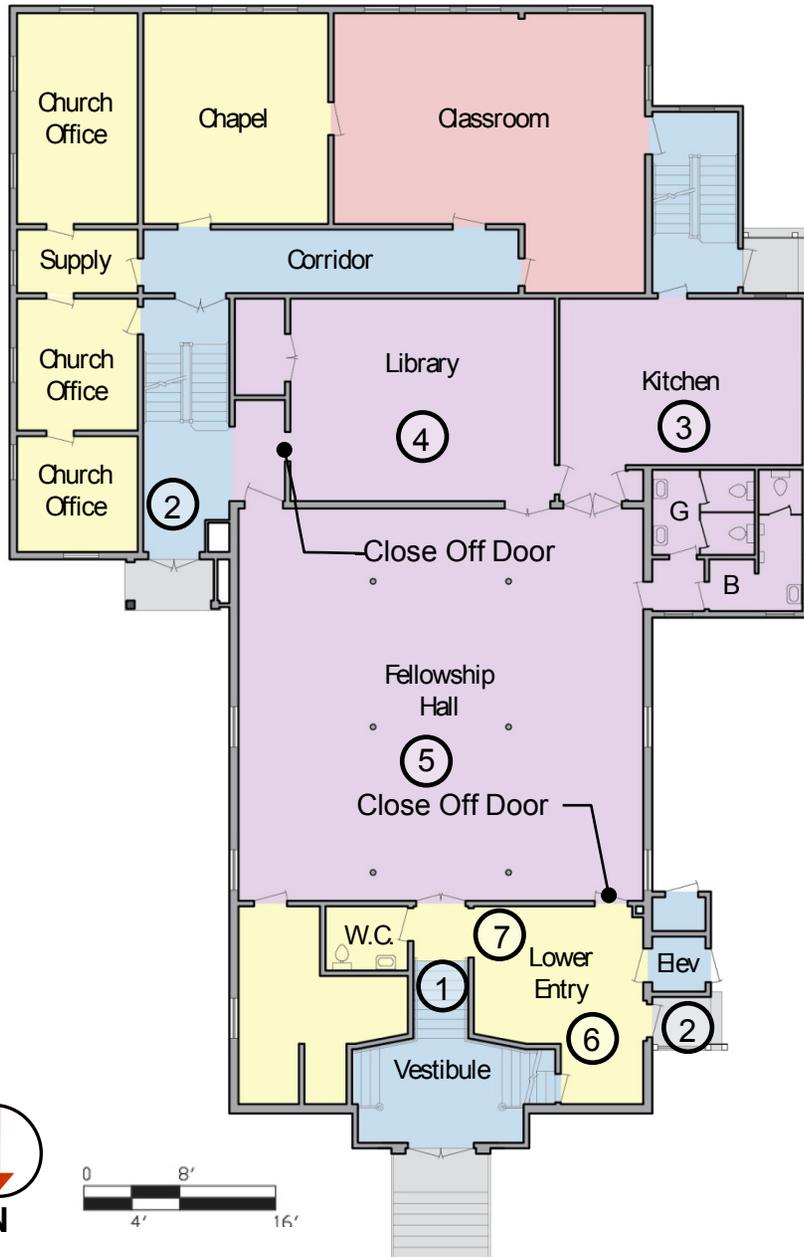
- Prevent Corrosion of Structure
- Install Sump Pump & Dehumidifier

Estimated Cost:

\$21,500 - \$25,900

**Note: 3% Escalation should be added to estimated costs
Professional fees are not included in estimated costs – assume 20-30%*

Base Renovation: Main Level



Item

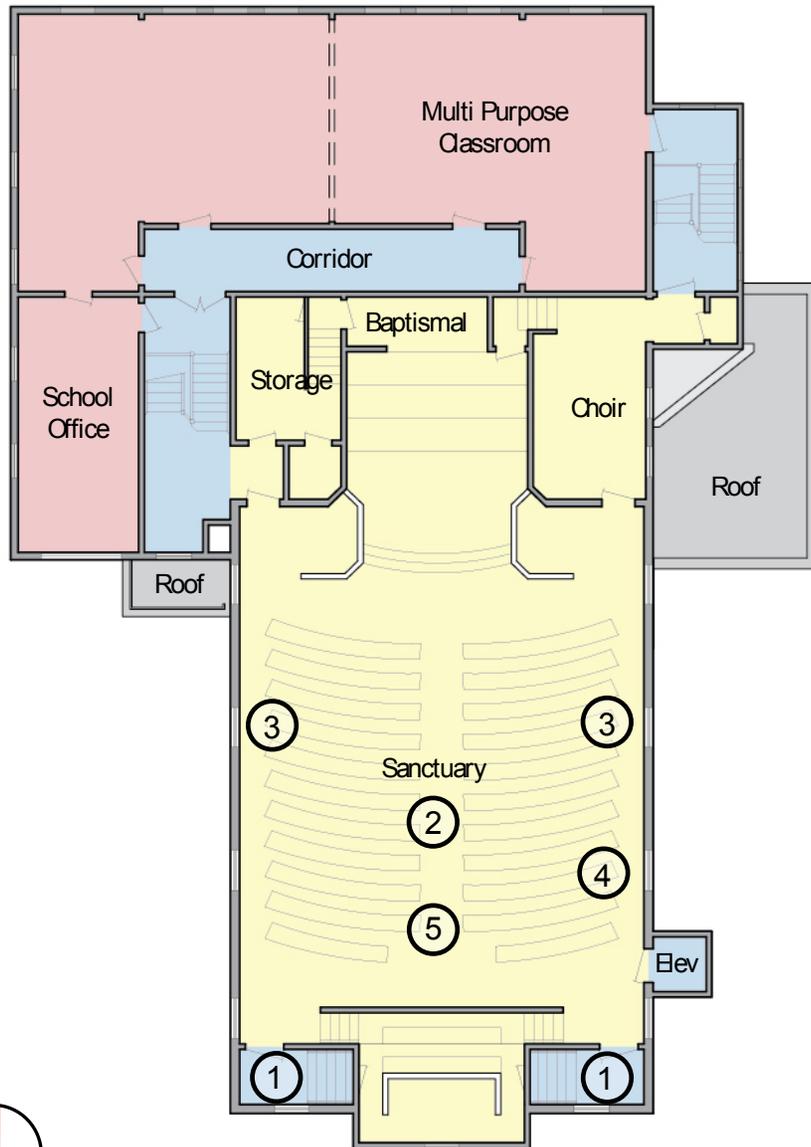
1. Repair Handrails where loose (Required)
2. Provide New Entry Doors at East & West Entry
3. Renovate Kitchen w/ New Cabinets, Appliances, Ceiling and Wall Coverings
4. Renovate Library w/ New Floor Finish, ACT Ceiling, Acoustical Wall and Acoustical Wall Panels
5. Renovate Fellowship Hall w/ New Floor, ACT Ceiling, Acoustical Wall Panel
6. Renovate West Side Entry Lobby w/ New Paint & Display, Relocated Pew, Woodwork to Match Sanctuary
7. New Wayfinding Signage

Estimated Cost:

\$133,900 - \$161,300

**Note: 3% Escalation should be added to estimated costs
Professional fees are not included in estimated costs – assume 20-30%*

Base Renovation: Upper Level



Item

1. Repair Handrails where loose (Required)
2. Repair & Refinish GYY Ceiling
3. Repair & Clean Stained Glass Windows
4. Provide Motorized Window Treatments at Exterior Windows
5. Patch and Repair all Finishes in Sanctuary

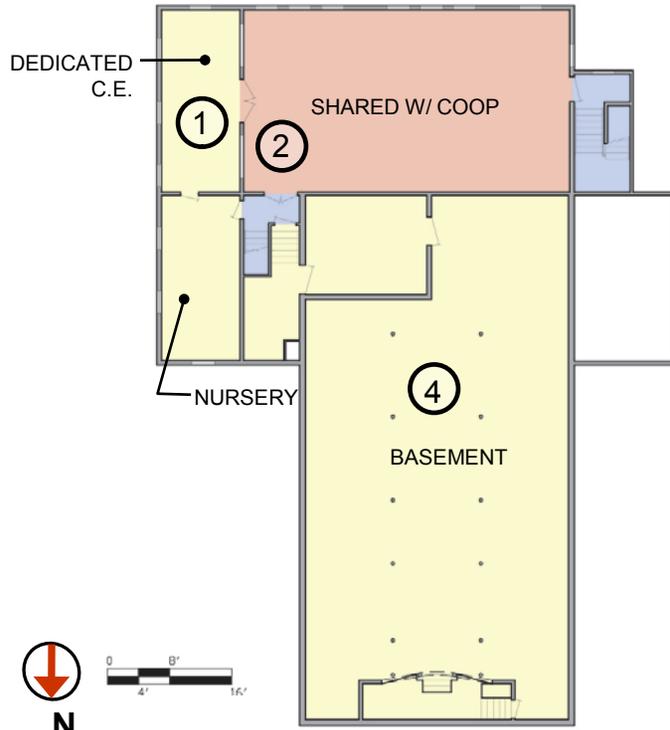
Estimated Cost:

\$199,500 - \$239,000

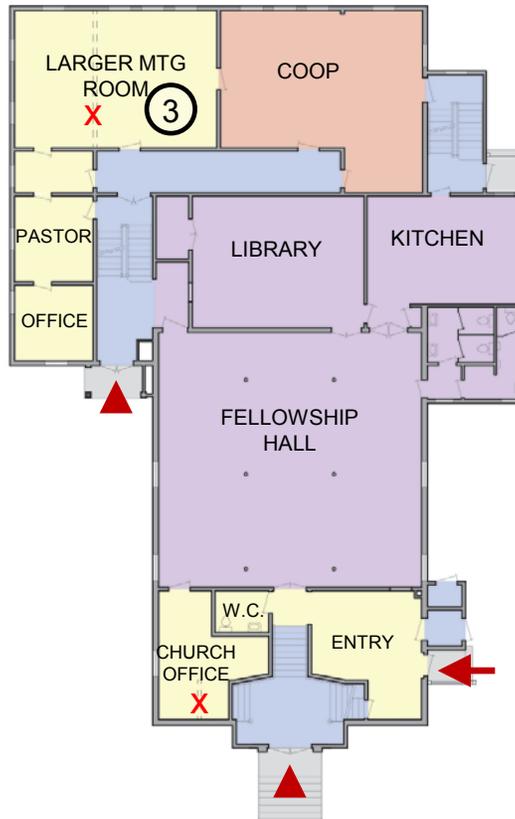
**Note: 3% Escalation should be added to estimated costs
Professional fees are not included in estimated costs – assume 20-30%*

Layout Option A

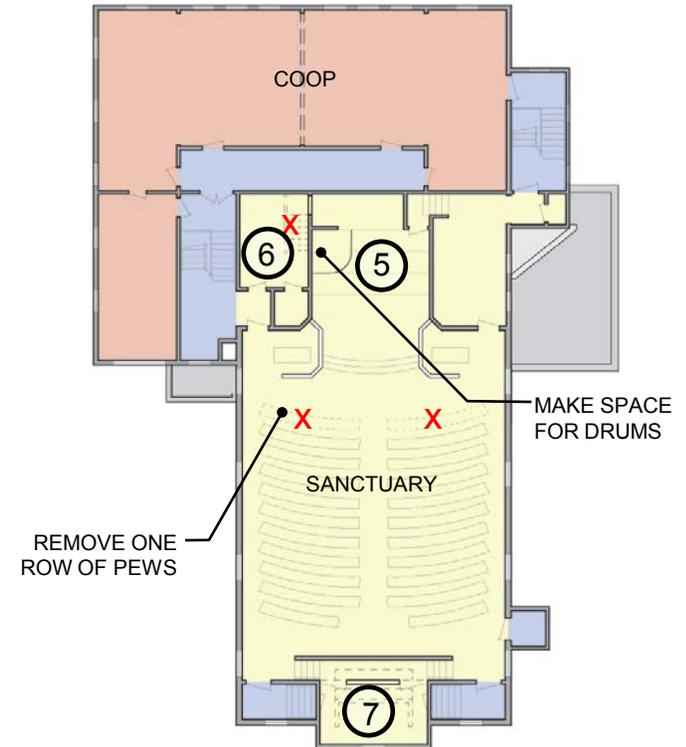
Lower Level



Main Level



Upper Level



Item

1. Renovation of CE Space
2. Replace Sink in COOP Space
3. Renovate Large Meeting Room
4. Provide Custodial Space in Basement
5. Renovate Altar
6. Modify Storage Room For Music - Demo Stair, Add Storage for Bells & Instruments
7. New Crying Room / Control Booth

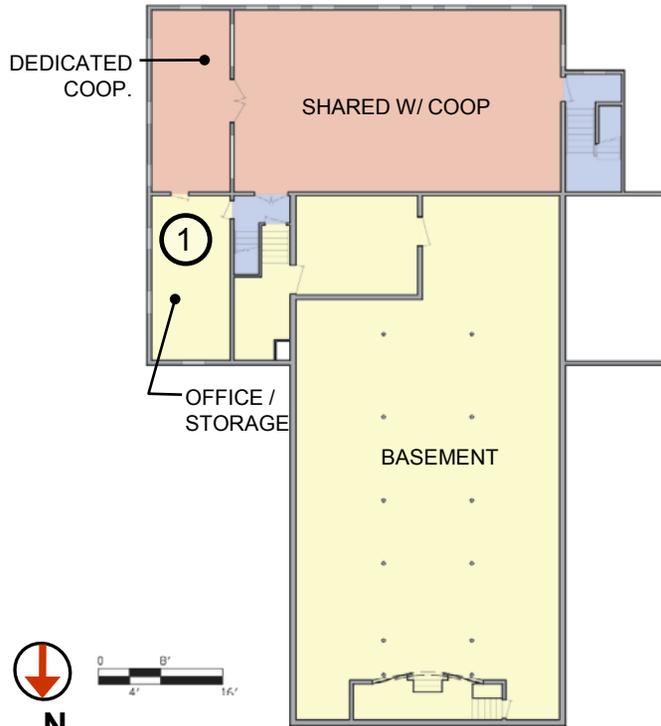
Estimated Cost:

\$100,000-\$118,500

**Note: 3% Escalation should be added to estimated costs. Professional fees are not included in estimated costs – assume 20-30%*

Layout Option B

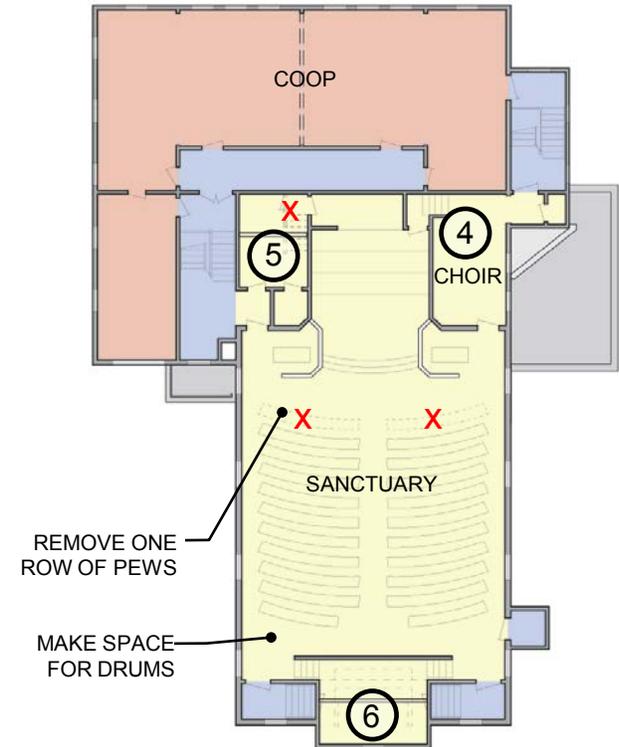
Lower Level



Main Level



Upper Level



Item

1. Relocate & Renovate Church Offices / Storage
2. Renovate CE Space on Main Level
3. Relocate & Renovate Nursery
4. Modify Storage Room for Music
5. Renovate and Divide Space for Crying Room & Storage
6. Add Control Booth In Sanctuary (Optional)

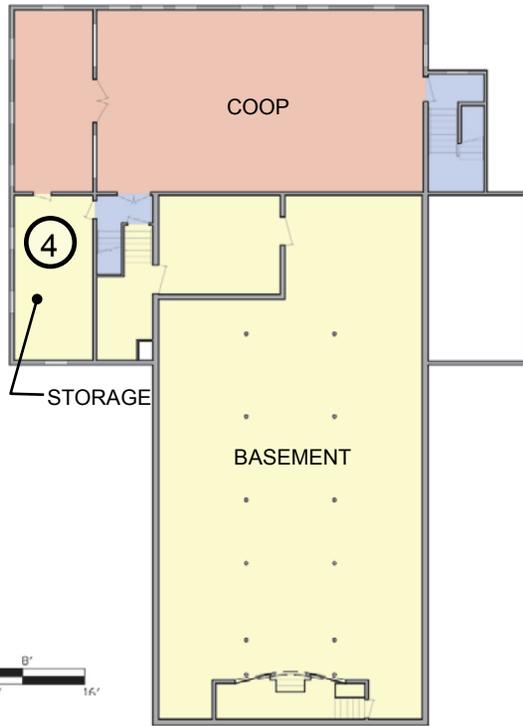
Estimated Cost:

\$88,500-\$105,000

**Note: 3% Escalation should be added to estimated costs. Professional fees are not included in estimated costs – assume 20-30%*

Layout Option C

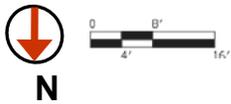
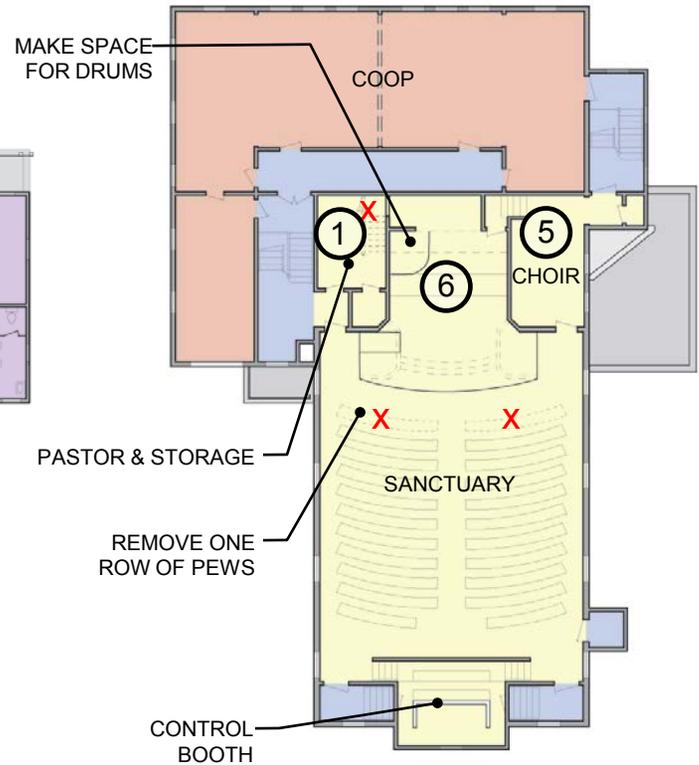
Lower Level



Main Level



Upper Level



Item	Estimate Cost
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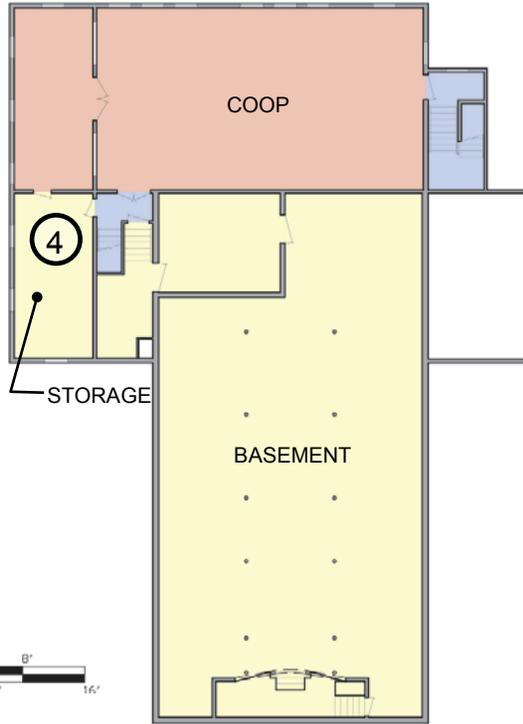
1. Relocate & Renovate Offices
2. Renovate CE Space on Main Level
3. Relocate & Renovate Nursery
4. Relocate Storage
5. Modify Storage Room for Music
6. Create Flat Altar Area, Add Ramp for Access
7. Crying Room with Video Screen

\$88,500-\$106,800

**Note: 3% Escalation should be added to estimated costs. Professional fees are not included in estimated costs – assume 20-30%*

Layout Option D

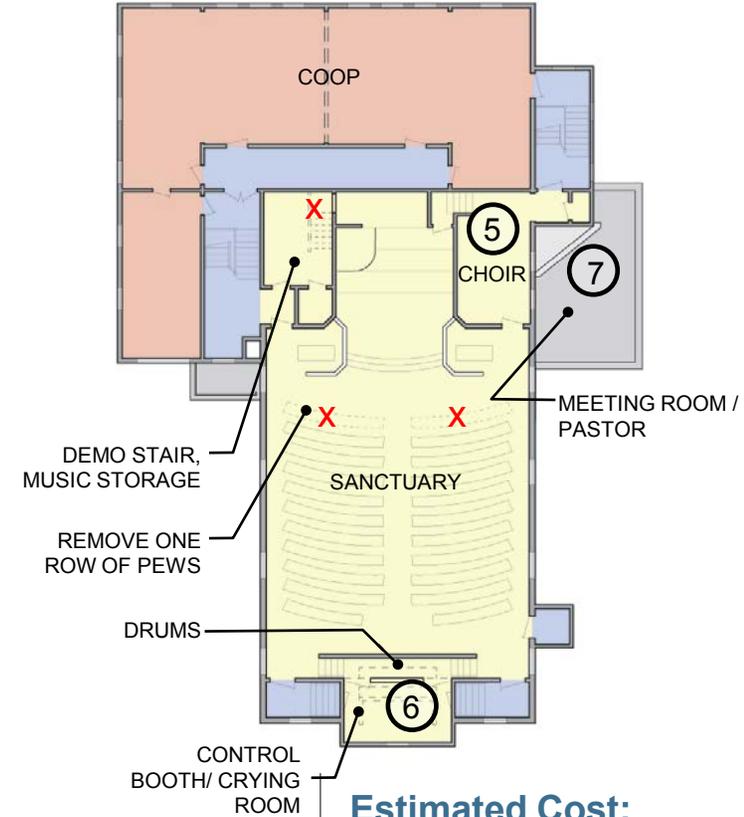
Lower Level



Main Level



Upper Level



Item

1. Relocate & Renovate Offices
2. Renovate CE Space on Main Level
3. Relocate & Renovate Nursery
4. Relocate Storage
5. Modify Storage Room for Music
6. New Crying Room / Control Booth
7. New Addition for Meeting Room & Pastor above existing kitchen/ toilet room

Estimated Cost:

\$177,700-\$214,300

**Note: 3% Escalation should be added to estimated costs. Professional fees are not included in estimated costs – assume 20-30%*

Potential Phases

Worship, Music and Outreach Estimated Costs

• Sanctuary Audio / Visual System	\$68,000-\$120,000
• Sanctuary Repairs & Finishes	\$199,000-\$239,000
• Renovation of Altar for Flexibility of space	\$18,500-\$22,600
• Add New control booth	\$12,000-\$15,500
• Shelving in Music Storage	\$10,000-\$12,400
Worship, Music and Outreach Estimated Total:	\$307,500-\$409,500

Administration /Entry Improvements Estimated Costs

• Relocate Main Office / Storage	\$18,000-\$21,700
• Improve Entry Accessibility & Security	\$14,000-\$16,800
• Renovations to West Lobby	\$12,500-\$14,400
• Signage	\$6,250-\$7,500
Administration/ Entry Improvement Estimated Total:	\$50,750-\$60,400

Educational Programs Estimated Costs

• Dedicated Space for Nursery & Preschool	\$9,900-\$12,500
• Classroom Space for Upper Level CE	\$28,000-\$33,800
Educational Program Estimated Total:	\$37,900-\$46,300

Community Programs Estimated Costs

• Renovate Fellowship Hall	\$41,100-\$49,500
• Renovate Library (Includes Acoustical Partitions)	\$26,000-\$31,500
• Renovate Kitchen	\$26,400-\$31,800
Community Program Estimated Total:	\$93,500-\$112,800

**Note: 3% Escalation should be added to estimated costs. Professional fees are not included in estimated costs – assume 20-30%*

Next Steps

WABC

- Review Options and Weigh Priorities
- Discuss Costs and Scope
- Decide on final master plan direction

OMR

- Work with WABC to confirm option costs and phasing options
- Develop final master plan option

All

- Review final option at next Meeting Oct.21st 2013 (*T.B.D.*)



Thank You!

omr architects

C. Meeting #4

The West Acton Baptist Church

Meeting #4 Nov. 4th 2013



omr architects

Master Plan Process

Groundwork

- Prepare Contract
- Obtain all available/pertinent documents & codes
- Prepare draft of schedule and work plan

Step # 1

Project Start-Up

Meeting #1 – June 3, 2013

Objectives

- Review budget, schedule and process
- Discuss goals, values, priorities, & other issues
- Discuss possible community usages

Follow-up

- Perform building walkthroughs and prepare analysis narratives
- Meet with selected user groups and congregation prior to mid-June
- Prepare draft program & inventory existing space
- Develop organizational diagram

Step # 2

Review Program & Existing Conditions

Meeting #2 – July 22, 2013

Objectives

- Review goals & values
- Review draft of program and space needs
- Review organizational diagram
- Present building analysis

Follow-up

- Finalize program
- Identify and prepare Master Plan options
- Prepare evaluation of options

Step # 3

Present Master Plan Options

Meeting #3 – Sept 9, 2013

Objectives

- Present Master Plan options
- Review, evaluate, and compare options
- Agree on approach/select best option

Follow-up

- Develop selected option into final Mater Plan
- Prepare phasing and implementation strategies
- Prepare budget estimates
- Oct. *T.B.D.* – Meet with Committee to discuss final option decisions

Step # 4

Present Final Master Plan

Meeting #4 – November 4, 2013

Objectives

- Review final Master Plan
- Review phasing, budgets, and implementation strategies
- Discuss final graphics

Follow-up

- Prepare final graphics
- Present final Master Plan report
- Discuss next steps
- Nov. 17th - Presentation to Congregation



We are here

Goals and Values

A Welcoming Congregation

- Create an experience that embraces West Acton Baptist's **commitment to represent different communions, but one fellowship**; varied beliefs, but one faith; many viewpoints, but one Christ
- Demonstrate the ways in which **West Acton Baptist's programs are unique** – showcasing the mission, the history, and the faith that are part of the inspiration for the congregation.
- Include **inspirational displays of events and missions**
- Design a place that is warm, inviting, and which creates **a sense of welcome** to young children and possible new families.
- Create a long range plan for **how to use all the spaces more effectively** to allow the Church to thrive and move forward.

Goals and Values

A Building that Works

- **Improve signage, security and wayfinding** to make the building a safer, more visible, more understandable place
- **Explore bringing the building up to code** and improving accessibility (and identify triggers that would require code or ADA upgrades)
- Evaluate **building systems** and propose options to provide for healthier air, better energy efficiency and lighting, and long term ease of maintenance and reliability.
- **Upgrade existing spaces:** by resolving the technical issues that currently limit possible uses and impede the congregation from doing their work.

Goals and Values

Fiscal Responsibility & Development

- Develop options to allow the Church to understand how to get the **best value for money spent** and maximize CPC funding.
- Consider phasing to **ensure the projects can succeed** with various levels of fundraising and prioritize work to meet project goals.
- Develop ways the project can help to **generate revenue** through renting out spaces and enabling growth in Community programs.
- Make the Church Building **more efficient, sustainable, and less expensive to maintain** by utilizing efficient systems and fixtures, and low VOC, renewable, recycled, and local materials.
- Create a shared vision of transformation to energize and unite the West Acton Baptist Church Community and **provide strong direction for future planning** and fundraising.

Existing Space/Program Summary

Program Element	Existing Area	Proposed Area	Variance	Comments
Date: July 19, 2013	(Net Square Feet)	(Net Square Feet)	req'd (-over)	
1.0 Lower Entry	223	223	0	Provides Handicapped access, elevator, and bathroom
2.0 Fellowship Hall	1314	1314	0	Also used by school (has 194 SF of storage attached)
3.00 Library	483	483	0	Used by various WABC groups, Coop school , also AA, Brazilian church
4.0 Kitchen	359	359	0	Currently used by school and church
5.0 Church Offices	275	275	0	
6.0 Chapel/ Meeting Room/Classroom	323	323	0	Multipurpose: Pastor Meetings, Deacons Meetings. classrooms for grades 1-6,
7.0 Upper Entry/Vestibule	222	222	0	Does not include stairs
8.0 Sanctuary w/ balcony	1835	1835	0	Balcony Area is included
9.0 Pulpit/Choir/Baptismal Area	367	367	0	Includes area which currently houses organ and drumset
10.0 Choir Room/Music Storage	381	381	0	Includes storage closet
11.0 Nursery	254	534	280	Proposal for WABC reclaiming the small 280 SF classroom on the lower level (larger 1162 SF classroom would remain part of COOP)
TOTAL	6036	6316	280	Net Square Footage (does not include hallways, stairs, restrooms, etc)

Program Priorities

Worship: Provide a better experience

- Better lighting and sound systems for sanctuary
 - Ability to use audio and video for services and also to record services
- More flexible space for services
 - Ability to reconfigure for various music and presentation options
- Repairs to sanctuary (steel ceiling, floor, and walls)

Education: Be more welcoming to children (high priority!)

- Dedicated space for nursery and preschool space
- Space for Upper level CE closer to kitchen and bathrooms
- Space for teen programs
- Space for people with infants to participate in events (crying room)

Program Priorities

Music – Provide higher sound quality and more flexibility

- Better lighting and sound systems
- Better storage space
- More flexible space for choir, handbells, pageants etc

Community – Support current programs

- Updates to fellowship hall and library (improve acoustics)
- Renovations to kitchen: aim for total rehab so that space can be used by a licensed caterer
- Improved accessibility
- Improved entry/presentation to welcome in new members

Program Priorities

Outreach – increase Revenue Generating Opportunities

- Better lighting and sound/video systems for possible rentals
- Updates to fellowship hall to make it more attractive for rentals
- Updates to kitchen to allow for more functions
- Improved acoustics to improve flexibility of meeting spaces
- Explore better signage to advertise events

ADA Triggers

Work under \$100,000

- Only current work needs to comply w/ ADA standards

Work between \$100,000 and 30% of the full and fair cost of the building

- Need accessible entry and toilet

Work greater than 30% of the full and fair cost of the building

- Entire building must comply with ADA standards

Note: For religious buildings assistive listening systems are required by ADA

Master Plan Options

Base Renovation – Building Systems

- Mechanical
- Electrical
- Fire Protection
- Plumbing
- Structural
- Audio Visual

Base Renovation – Architectural Elements

- Lower Level
- Main Level
- Upper Level

Layout / Reconfiguration Options

- Options A – D

Possible Phasing

Base Renovation: Building Systems

Mechanical System Options

Estimated Costs

Repair Option (Recommended Repairs)

- Provide 1-1/2" fiberglass insulation on all piping** in the boiler room, crawl space, and within each space. An insulation cover should be provided in spaces where the piping system is exposed to prevent damage to the insulation.

\$15,000- \$18,000
- The entire control system should be modified to new electronic control valves** which provide accurate temperature control. A standalone electronic control system can be provided which would include new wall-mounted thermostats and control valves. The accuracy and effectiveness of the newer style valves and thermostats would provide better temperature control throughout.

\$52,500- \$70,500
- Areas utilizing cast iron radiators should be **upgraded to fin tube radiation**. This would provide a more even heat distribution throughout the space and allow exterior infiltration to be captured at the wall.

\$36,800- \$45,500
(Approx. \$800 to convert a 250 s.f. space)
- Clean, Repair and/or replace existing Toilet Exhaust Fans.**

\$2,500 - \$6,100 (new)

Option 1 - Heating System Upgrade (Optional)

- Conversion of the entire steam system to hot water.** The current boilers can be converted, however, new pumps, expansion tank, air separator and hydronic accessories would be required for hot water circulation and hot water expansion. All steam traps would have to be removed from the piping system to allow flow throughout the piping system. The existing condensate piping system would need to be replaced in sections for conversion to hot water return duty. The existing steam piping could be used for hot water supply service.

\$120,000- \$150,000
- Upgrade Piping Insulation, Control System, and terminal radiation equipment** as identified in Repair Option above.

\$104,500- \$135,000

**Note: 3% Escalation should be added to estimated costs
Professional fees are not included in estimated costs – assume 20-30%*

Base Renovation: Building Systems

Mechanical System Options

Estimated Costs

Option 2 - Mechanical Ventilation System (Optional)

Provide new mechanical ventilation system to serve the Sanctuary, Fellowship Hall, Library/Multi-Purpose Room areas. The mechanical ventilation system should include supply and exhaust ductwork distribution, energy recovery air handling unit, associated power wiring and controls. It is estimated that the Mechanical Ventilation unit would have a capacity of approximately 3,500 CFM. Existing perimeter offices and classrooms with operable windows would still utilize operable windows for natural ventilation.

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- Fellowship Hall: \$30,000- \$36,200
- Library/Multi Purpose Room \$11,500- \$13,900

Option 3 - Air Conditioning Option (Optional)

Provide air conditioning for the Sanctuary, Fellowship Hall, Library/Multipurpose Room, and Office areas. The Air conditioning system will be of a high efficiency split system design, consisting of outdoor condensing units, indoor evaporator AC units, ductwork (for non-DCU (ductless cooling units)), refrigeration piping, power wiring and associated controls. It is estimated that the following system capacities are required:

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- Fellowship Hall: (1) 2800 CFM Unit connected to (1) 7.5 Ton Unit \$37,600- \$45,400
- Library and Offices: The Library, Multipurpose and Offices will have individual ductless AC units (estimate a total of 9 DCU Units) that will be connected to (1) 7.5 Ton ACC Unit. The AC system that serves these areas shall be a high efficiency Variable Refrigerant Flow (VRF) System. \$63,500- \$76,600

**Note: 3% Escalation should be added to estimated costs
Professional fees are not included in estimated costs – assume 20-30%*

Base Renovation: Building Systems

Electrical System Options (Preliminary)

Estimated Costs

Option 1 (Some Exit Lighting Elements May be Required)

Provide new emergency battery system with capacity to serve emergency lighting and exit signs and provide LED exit signs at all egress locations

\$19,200- \$23,000

Provide new emergency light fixtures at all egress corridors, intervening spaces, exterior doors & toilet rooms

\$16,600- \$20,000

New ADA compliant addressable fire alarm panel with speakers and strobes in assembly areas.

\$49,900- \$60,200

Upgrade existing pendant light fixtures in sanctuary

\$18,750-\$21,600

Option 2 (Optional)

New three phase service with new pole-mounted transformer

\$26,700-\$32,200

Update all receptacles and switches in spaces being renovated (provide new code compliant MC cable)

\$33,300-\$40,200
(Approx. \$650 to convert a 250 s.f. space)

Provide new lighting in renovated areas

\$149,000-\$180,800
(Approx. \$3,000 to convert a 250 s.f. space)

Option 3 (Optional)

Complete upgrade of main electrical service (50 l.f. primary / 100 l.f. secondary)

\$23,700-\$28,600

**Note: 3% Escalation should be added to estimated costs
Professional fees are not included in estimated costs – assume 20-30%*

Base Renovation: Building Systems

Fire Protection System Options (Preliminary)

Estimated Costs

Option 1 (If Required)

Provide new sprinkler heads
Install sprinklers in unprotected areas

\$16,600- \$20,100
\$25,000- \$30,100

Option 2 (Optional)

Install new backflow preventer

\$6,800-\$8,200

Option 3 (Optional)

Full replacement of sprinkler system

\$91,600- \$110,500

Plumbing System Options (Preliminary)

Estimated Costs

Option 1 (Optional)

*New high efficiency low flow plumbing fixtures throughout building.
Install backflow prevention in custodial sink*

\$58,300- \$70,300
\$3,500- \$4,300

Option 2 (Optional)

New domestic water distribution piping throughout

\$33,300- \$40,200

Option 3(Optional)

New gas fired high efficiency condensing water valve and expansion tank

\$13,750-\$16,580

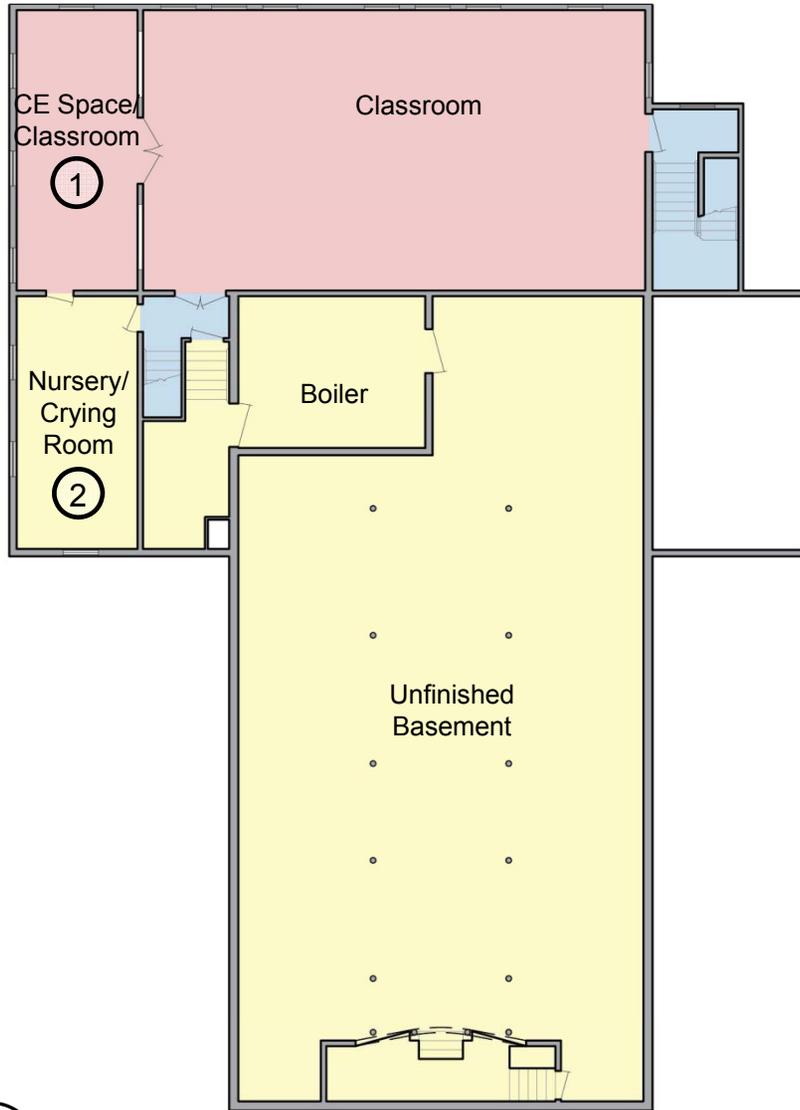
**Note: 3% Escalation should be added to estimated costs
Professional fees are not included in estimated costs – assume 20-30%*

Base Renovation: Building Systems

Structural System Options (Preliminary)	Estimated Costs
<p><u>Option 1 (Optional)</u> Provide hangers at all Main and Upper Level joist/beam connections.</p>	\$95,700- \$115,400
<p><u>Option 2 (Optional)</u> Add additional supplemental beam support to crawl space to increase the load capacity</p>	\$91,600- \$110,500
<p><u>Option 3 (Optional)</u> Test sill plates and repair as required</p>	\$32,500-\$40,200
<p><u>Option 4 (Optional)</u> Mechanically clean and evaluate base plates of steel columns in crawl space, replace as required</p>	\$45,000-\$54,200
Audio / Visual (Optional)	Estimated Costs
<p><u>Sanctuary:</u> Install steerable loud speakers for speech reinforcement, assistive listening system, portable loud speakers with stands, digital mixing console for music reinforcement, large projection screen and video projector</p>	\$68,000- \$120,000
<p><u>Fellowship Hall:</u> Ceiling speakers for speech reinforcement and audio playback, assistive listening system.</p>	\$22,000- \$40,000
<p><u>Nursery:</u> Monitors for live worship and baby monitors for parents</p>	\$1500- \$2000

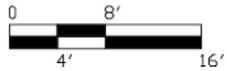
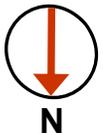
**Note: 3% Escalation should be added to estimated costs
Professional fees are not included in estimated costs – assume 20-30%*

Base Renovation: Lower Level

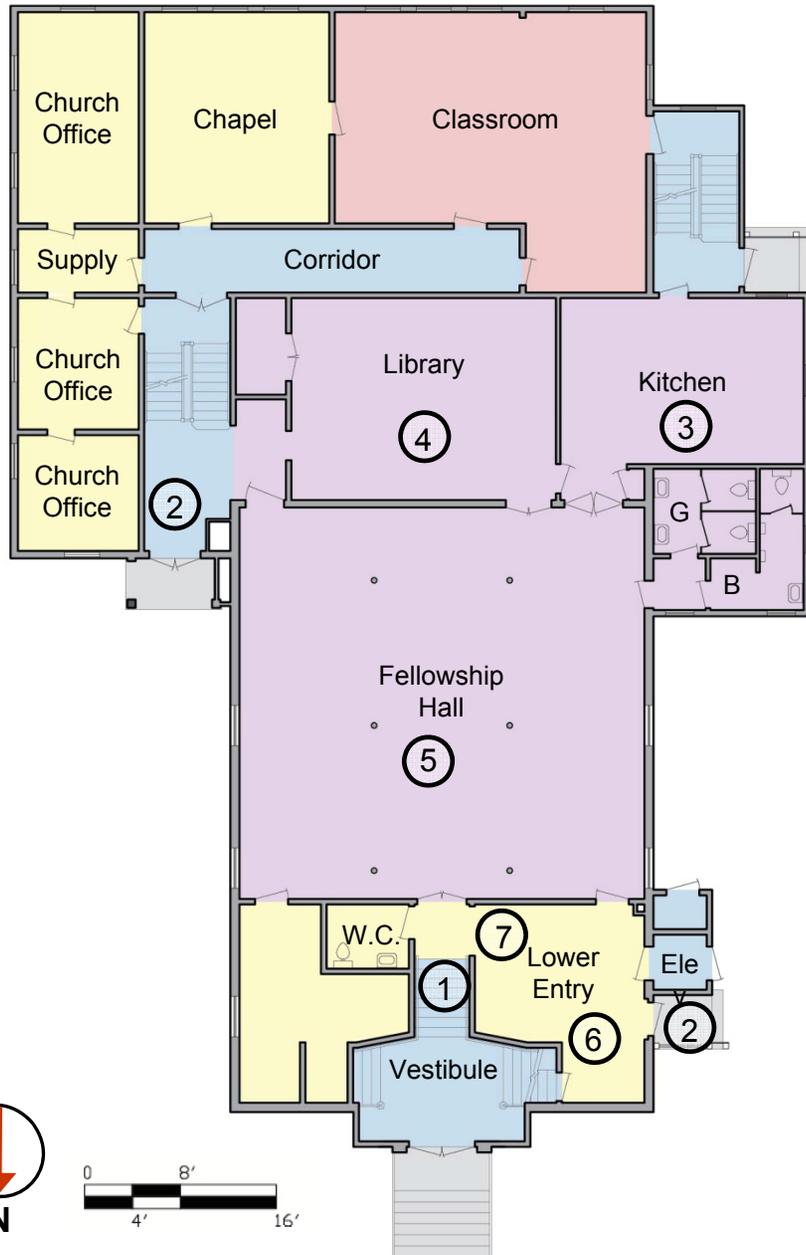


Item

1. Renovation of CE Space (shared with preschool)
2. Add Video feed and Monitor to Nursery/Crying Room



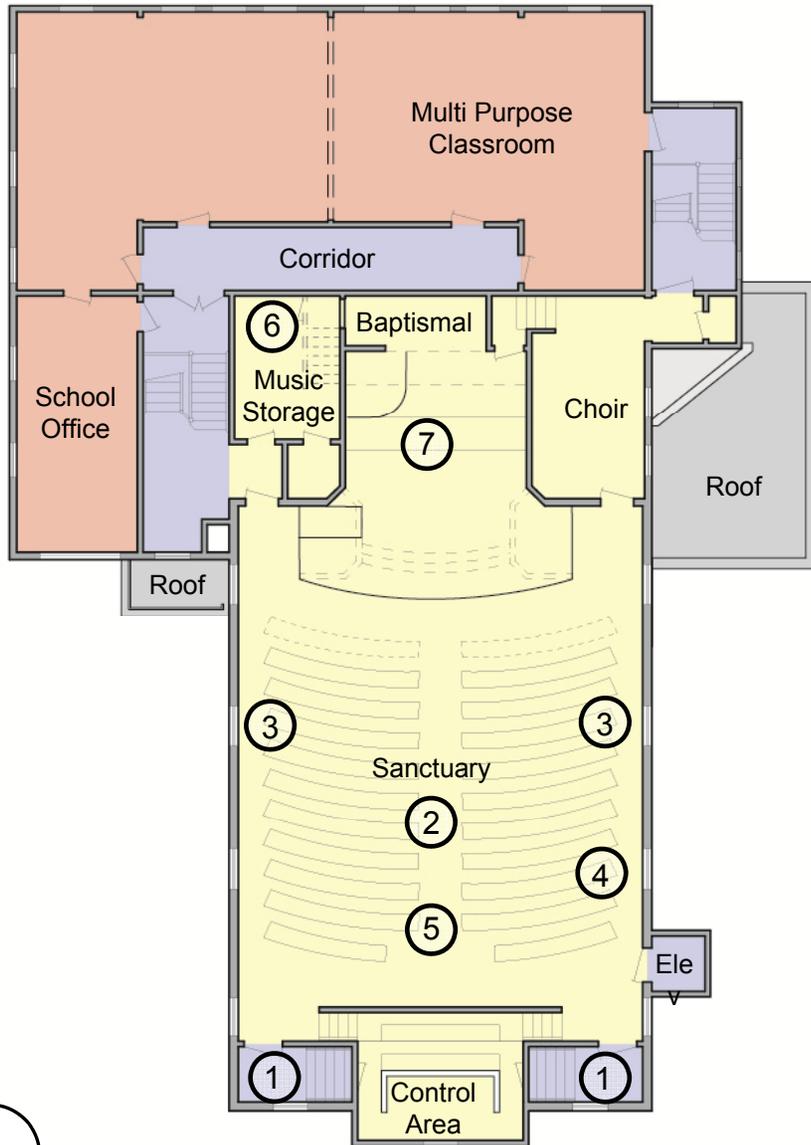
Base Renovation: Main Level



Item

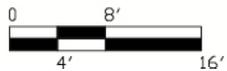
1. Repair Handrails where loose (Required)
2. Provide New Entry Doors at West Entry
3. Renovate Kitchen w/ New Cabinets, Appliances, Ceiling and Wall Coverings
4. Renovate Library w/ New Finishes and Acoustical Wall Panels
5. Renovate Fellowship Hall w/ Finishes and Acoustical Wall Panel
6. Renovate West Side Entry Lobby w/ New Paint & Display, Relocated Pew, Woodwork to Match Sanctuary
7. New Wayfinding Signage

Base Renovation: Upper Level



Item

1. Repair Handrails where loose (Required)
2. Repair & Refinish Steel Ceiling
3. Repair & Clean Stained Glass Windows
4. Patch and Repair Wall Finishes in Sanctuary
5. New Wood Floor with Carpeted Aisles
6. Modify Storage Room for Music (Demo stair, infill wall, and add shelving as required)
7. Create Flat Altar Area, Add Ramp for Access



Potential Phases

2014	*Estimated Costs
• Sanctuary – Repair & Refinish Steel Ceiling	\$43,000
• New ADA Compliant Fire Alarm Panel w/ Speakers/Strobes	\$50,000
• Renovation of CE/ Shared COOP Space	\$12,000
• Renovate West Side Lobby (Paint, Display & Woodwork)	\$15,000
• Renovation to Narthex	\$15,000
• Sanctuary- Repair & Paint Walls	\$43,078
• Repair Handrails	\$14,400
• New Wayfinding Signage	\$7,500
2014 Total:	\$199,978
2015	*Estimated Costs
• Sanctuary & Choir – Update Existing Lighting	\$22,000
• Upgrade electrical receptacles & switches	\$50,000
• Renovate Kitchen – New Cabinets, Appliances & Finishes	\$31,844
• Renovate Library – New Finishes & Acoustical Panels	\$31,518
2015 Total:	\$135,362
2016	*Estimated Costs
• Sanctuary – Wood Floor with Carpeted Aisles	\$70,000
• Accessible East & West Entries w/ Ramps	\$18,000
• Renovate Choir and music storage Rooms	\$15,315
• Create Level Altar Area with Accessible Ramp	\$25,000
2016 Total:	\$128,315

**Note: Estimated Costs developed independently by WABC (based on initial cost ranges by OMR and D.G. Jones
3% Escalation should be added to estimated costs. Professional fees are not included in estimated costs – assume 20-30%*

Potential Phases

2017	*Estimated Costs
• New 3-phase electrical service w/ pole mounted transformer	\$32,221
• Sanctuary - Install Air Conditioning	\$72,656
• Sanctuary – Install A/V recoding system, assistive listening and digital mixing console	\$120,000
• Fellowship Hall – Install speakers for speech reinforcement/ assistive listening	\$40,000
2017 Total:	\$264,877
2018	*Estimated Costs
• New Emergency Light Fixtures, Exit Signs & Battery System	\$23,239
• Sanctuary - Repair & Clean Stained Glass Windows	\$39,795
• Fellowship Hall – Renovate w/ Acoustic Panels and Finishes	\$49,596
• Test Sill Plates & Structure for Greater Load	\$32,500
2018 Total:	\$145,130

**Note: Estimated Costs developed independently by WABC (based on initial cost ranges by OMR and D.G. Jones
3% Escalation should be added to estimated costs. Professional fees are not included in estimated costs – assume 20-30%*

Next Steps

- Presentation to Congregation on November 17th 2013
- Issue Final Master Plan Report



Thank You!

omr architects