

DRAWING LIST

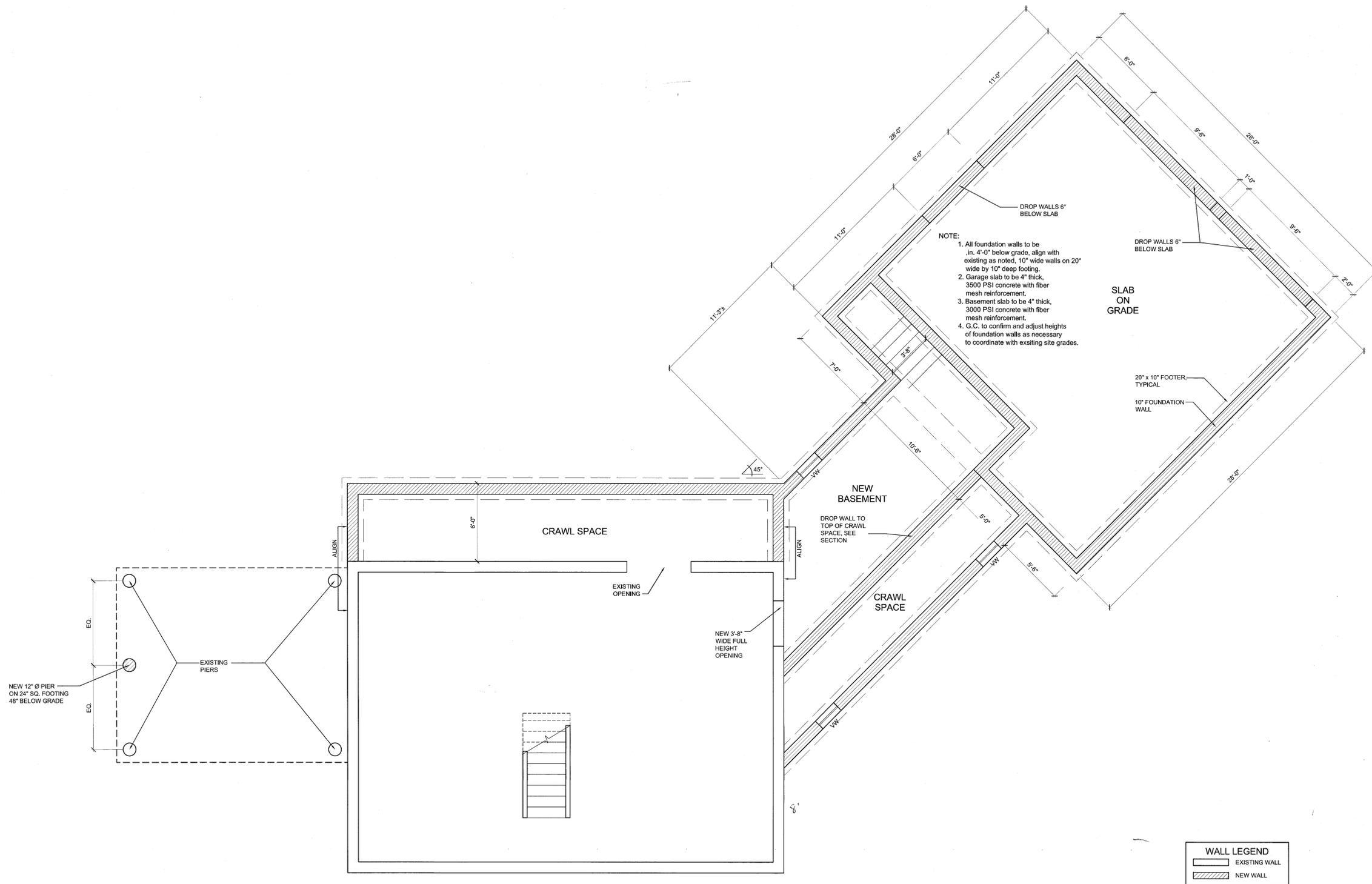
A-0 Cover
A-1 Foundation Plan
A-2 First Floor Plan
A-3 Second Floor Plan
A-4 Sections
A-5 Elevations
A-6 Framing Plans
A-7 Lighting Plans

The use of these plans and specifications is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction, or publication by any method in whole or part is prohibited without the express written permission of the architect. Title to the plans and specifications and authorization of their reuse remains exclusively with the architect.

©2013 Mahoney Architects

**Addition and Renovation to
 McBride Residence
 6 Paul Revere Road
 Acton, MA**

Construction Documents
 MARCH 18, 2014



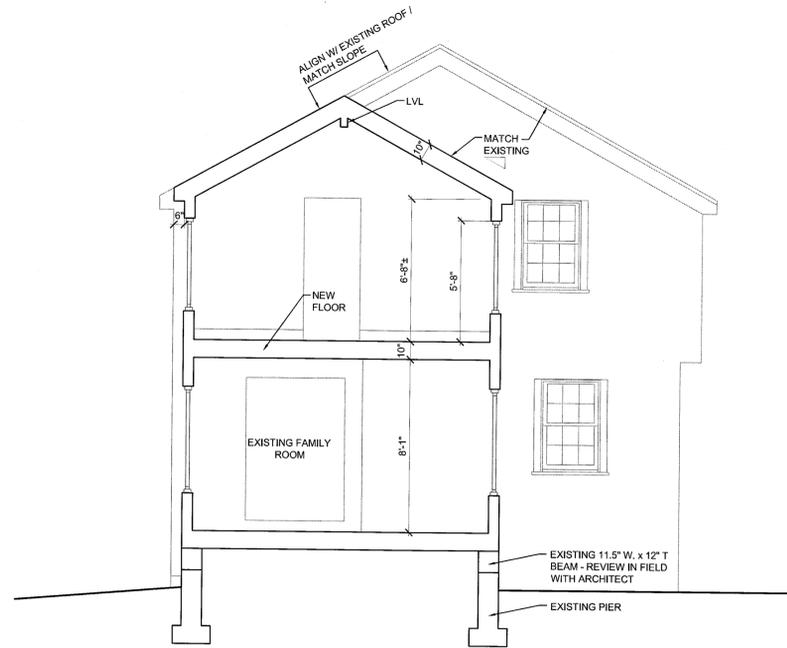
A BASEMENT PLAN
 1/4"=1'-0"

DRAWING LIST

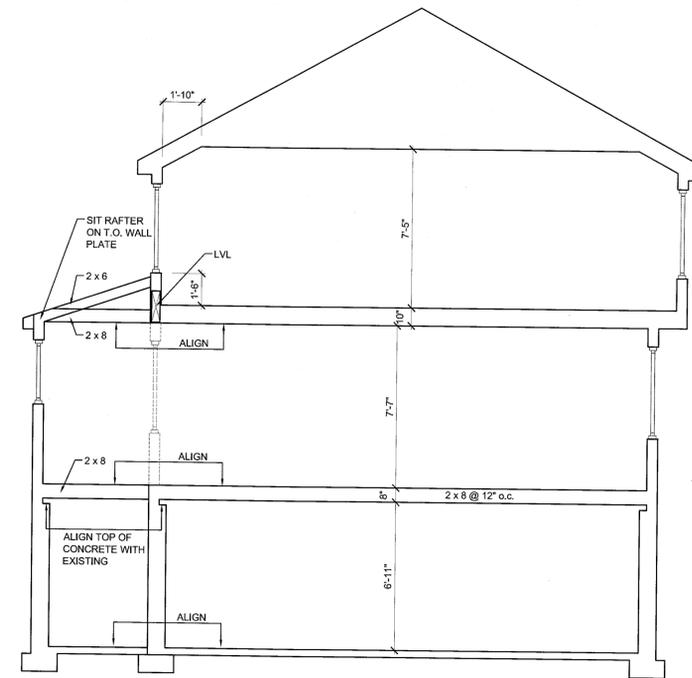
- A-0 Cover
- A-1 Foundation Plan
- A-2 First Floor Plan
- A-3 Second Floor Plan
- A-4 Sections
- A-5 Elevations
- A-6 Framing Plans
- A-7 Lighting Plans

The use of these plans and specifications is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction, or publication by any method in whole or part is prohibited without the express written permission of the architect. Title to the plans and specifications and authorization of their reuse remains exclusively with the architect.

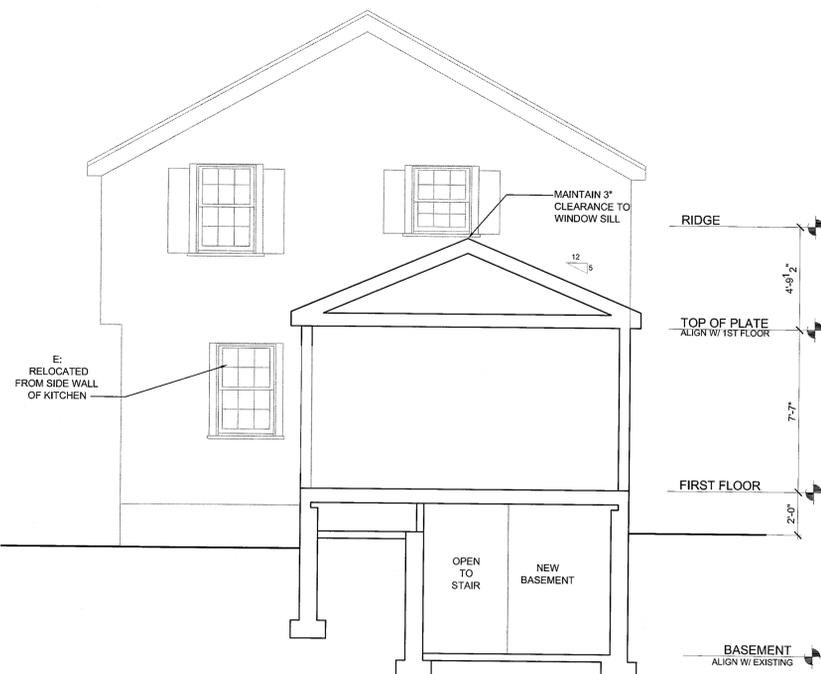
©2013 Mahoney Architects



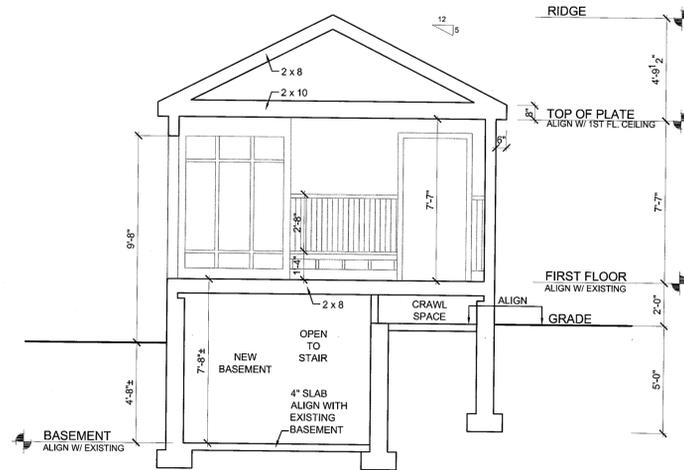
1 SECTION A - A
 1/4"=1'-0"



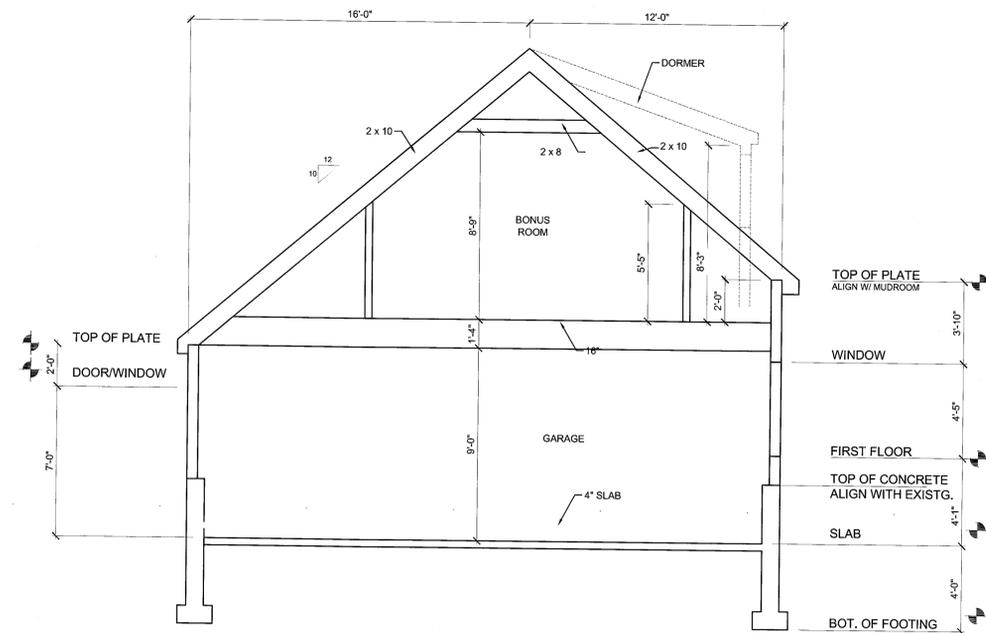
2 SECTION B - B
 1/4"=1'-0"



3 SECTION C - C OPPOSITE
 1/4"=1'-0"



4 SECTION C - C
 1/4"=1'-0"



5 SECTION D - D
 1/4"=1'-0"

**Addition and Renovation to
 McBride Residence
 6 Paul Revere Road
 Acton, MA**

Construction Documents
 MARCH 18, 2014

DRAWING LIST

- A-0 Cover
- A-1 Foundation Plan
- A-2 First Floor Plan
- A-3 Second Floor Plan
- A-4 Sections
- A-5 Elevations
- A-6 Framing Plans
- A-7 Lighting Plans

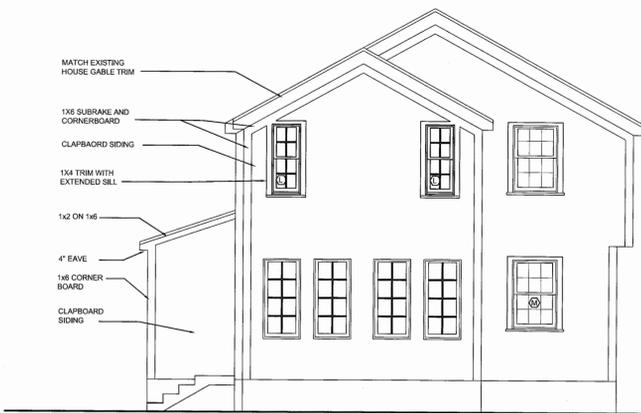
The use of these plans and specifications is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction, or publication by any method in whole or part is prohibited without the express written permission of the architect. Title to the plans and specifications and authorization of their reuse remains exclusively with the architect.

©2013 Mahoney Architects

**Addition and Renovation to
 McBride Residence
 6 Paul Revere Road
 Acton, MA**

Construction Documents
 MARCH 18, 2014

**A-5
 ELEVATIONS**



1 LEFT ELEVATION
 3/16"=1'-0"



2A FRONT ELEVATION
 3/16"=1'-0"



2B FRONT ELEVATION
 3/16"=1'-0"

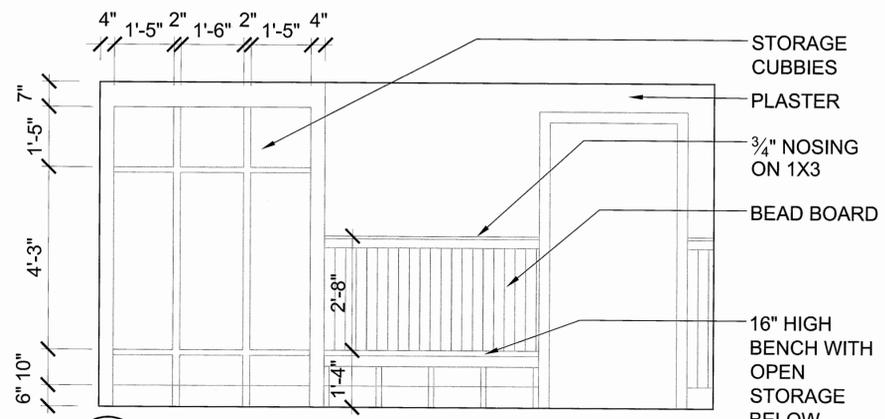


3 RIGHT ELEVATION
 3/16"=1'-0"

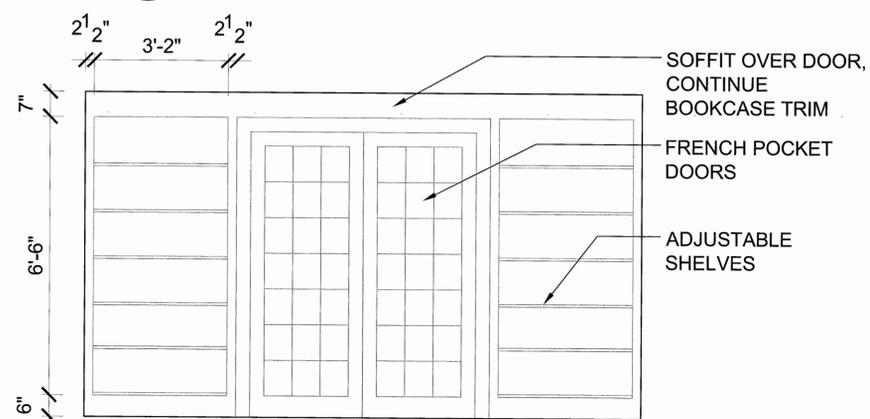


4A REAR ELEVATION
 3/16"=1'-0"

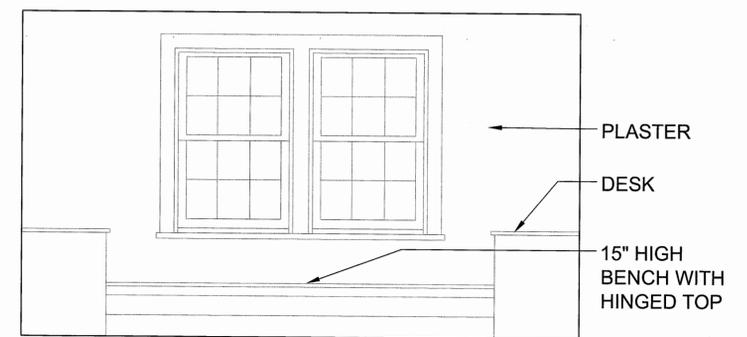
4B REAR ELEVATION
 3/16"=1'-0"



5 MUDROOM ELEVATION
 1/2"=1'-0"



6 LIVING ROOM BUILT IN ELEVATION
 1/2"=1'-0"



7 STUDY WINDOW SEAT ELEVATION
 1/2"=1'-0"

McBride Residence

6 Paul Revere Road
Acton, MA

MAHONEY
ARCHITECTS
70 SEVEN STAR LANE
CONCORD, MA



DRAWING LIST:

- A-0 Cover Sheet
- A-1 Foundation Plan
- A-2 First Floor Plan
- A-3 Second Floor Plan
- A-4 Sections
- A-5 Elevations
- A-6 Framing Plans
- A-7 Lighting Plans

McBride Residence, Acton, MA General Notes and Outline Specifications

1. GENERAL:
 - a. Contractor to verify all dimensions in field prior to starting construction. Contractor to meet with architect prior to start of construction to review project on site.
 - b. All work to be in accordance with all applicable local, state, and national building codes, and in accordance with all manufacturers' recommendations.
 - c. Contractor to bring any discrepancies in the drawings and specifications to the attention of the architect.
 - d. Permits: Contractor to provide all necessary permits during construction.
 - e. Insurance: Contractor and subcontractors to provide all required insurance during construction including builders risk insurance and workman's compensation insurance.
 - f. Supervision: Contractor to provide adequate supervision throughout the course of the project.
 - g. Demolition: Remove existing sections of house and landscaping as necessary to complete the work. Remove existing freestanding garage including foundation.
 - h. Debris: Contractor to remove all debris associated with the project on a regular basis, and provide final cleaning at end of job.
 - i. Portable Toilet: contractor to provide portable toilet on site throughout the project.
 - j. Warranty: Contractor and all sub contractors to warrant their work against defects for a period of one year from final inspection of their work.
 - k. Finish Materials: Contractor to confirm all finish materials, exterior and interior, with owner prior to purchase and installation. Owner may change finish materials noted below.
 - l. Alternatives and substitutions proposed by the general contractor or subcontractor shall be approved by the owner prior to purchase and installation.
 - m. Refer to attached allowance list for additional information.
2. SITEWORK:
 - a. Contact Dig Safe and locate all utilities on site.
 - b. Excavate as necessary for areas of new additions. Remove excess material. Finish grade and seed disturbed areas. Topsoil removed for addition to remain on site and used for final grading.
 - c. New stone step and landing at new side entry (front).
 - d. New stone walls, terrace, and walkway by owner.
 - e. Work to existing septic system by owner.
 - f. Provide new driveway, binder and finish coat, from existing curb cut to new garage. Remove existing driveway.
3. CONCRETE:
 - a. New foundation walls to be 2500 PSI, sizes and locations per drawings. All footers to be a minimum 4-6" below grade. All footers to be on compacted virgin soil. Refer to drawings for specific conditions.
 - b. Set top of wall to allow for alignment of new first floor with existing.
4. MASONRY
 - a. N/A.
5. METALS
 - a. Aluminum flashing and drip edge, brown finish.
 - b. Aluminum gutters and downspouts, match existing, extend downspouts away from house minimum 3'.
6. WOOD & PLASTIC:
 - a. Framing: All lumber to be equal to or better than #2 or better southern pine.
 - i. Exterior Walls: 2x6 @ 16" on center.
 - ii. Interior Walls: 2x4, 16" on center.
 - iii. Walls heights: refer to drawings (new first floor to align with existing first floor).
 - iv. Floor and Roof Framing: Refer to Framing plans. Provide floor bridging per code.
 - v. LVL's and connections as sized and detailed by structural engineer, architect, or lumber supplier.
 - vi. Exterior grade framing at porches and decks.
 - Floors: 3/4" plywood, glue and screw.
 - Exterior Walls: 3/4" plywood
 - Roofs: 5/8" plywood.
 - b. Exterior Siding:
 - i. At areas of new siding: pre-primed cedar clapboard, match existing exposure.
 - ii. Paint all new exterior siding, prime and two finish coats, color to match existing.
 - c. Exterior Trim:
 - i. 3/4" and 5/4" pre-primed wood trim; refer to drawings for specific conditions.
 - ii. MDO or pvc panels as shown on the drawings.
 - iii. Paint all new exterior trim, prime and two finish coats, color to match existing.
 - d. Exterior Decks:
 - i. Decking: Trex, mahogany, or similar as selected by the owner.
 - e. Interior Trim:
 - i. Door and window casings: to match existing stained colonial trim, refer to drawings for specific conditions.
 - ii. Base: to match existing white base in dining room.

7. THERMAL AND MOISTURE PROTECTION:

- a. Stretch Energy Code:

The project is defined as follows in relation to 2012 IECC section C202:

 - i. Renovation to existing areas with-in the existing house shall be considered alterations (i.e. window replacements at existing house, existing bathroom modifications, existing bedroom modifications).
 - ii. New Spaces added to the existing house shall be considered additions (i.e. new master bedroom, new side entry, new family room, kitchen addition).
- b. Areas which are additions shall comply with IECC chapter 4 and shall comply with the prescriptive path of the Stretch Energy Code as per 780 CMR 8th edition Residential Building Code appendix AA section 401.3.
- c. Areas described as alterations shall comply with 2012 IECC and 780 CMR 8th edition Residential Building Code appendix AA section 401.5.
- d. Note: GC to provide certificate posted on or in electric panel as described in 2012 IECC R401.3 Certificate.
- e. Insulation Requirement Summary:

As per Table R402.1.1:

Additions:
Ceiling: R49
Wall: R20
Floor: R30
Windows and Doors: as per Energy Star requirements (Energy Star label).

Alterations:
Fill any exposed cavities completely with R3.5 per inch as per 780 CMR 8th edition Residential Building Code appendix AA section 401.5.
- b. Roof Shingles: New 30 year or better architectural asphalt roof shingles at new roofs, similar to existing roof shingles.
- c. Ice and water shield all new roofs.
- d. Aluminum flashing and drip edge (to match existing).
- e. Roof Venting: provide soffit and ridge vents at all new roofs
- f. Vapor barrier at all exterior walls.

8. DOORS AND WINDOWS

- a. Windows to be Anderson 200 Series with snap in grill mullions. Windows to be double glazed, low E, sizes per plan and schedule. Mullion pattern per elevations. Include screens for all new units.
- b. Exterior Doors: New mudroom/side entry doors to be Simpson F-7662-D, F7217 sidelights as shown.
- c. Overhead garage doors to be coachman by Clopay, door design 12 with window design rec 13. Include automatic door openers.
- d. Interior doors: Solid wood doors by Masonite, Jeld Wen or similar. Panel layout to match existing.
- e. Door Hardware: Silage hardware, to be similar to existing.

9. FINISHES

- Flooring:

Hardwood Floors: new floor at entire kitchen. All new floors to match existing. New tile at side entry, mudroom, laundry room, master bath. Install tile prior to built-ins and cabinets, tile entire floor under built-ins and cabinets.
- Walls and Ceilings:

All new and renovated areas: blue board and plaster, prime and two finish coats paint on all walls, stain trim and doors, verify with owner. Color to be selected by owner. Cement board behind all tile walls.
MR board at all bathrooms.
Patch existing walls and ceilings at renovated and disturbed areas as necessary to complete the work.
Master Bath shower shall have tile walls.
Cabinets and Countertops (all items to be selected by owner, refer to allowance list):
Kitchen and Pantry: supplied and installed by owner.
Master Bathroom: supplied and installed by general contractor.

Glass doors at Master Bathroom shower.
Built in: Built in cabinets to be painted MDP.

BUILT IN: BUILT IN CABINETS TO BE PAINTED MDP.

10. EQUIPMENT

- a. n/a

11. FURNISHINGS

- a. n/a

12. SPECIAL CONSTRUCTION

- a. Install owner supplied bathroom accessories, including mirrors at bathrooms. Provide blocking in walls for all accessories.

13. CONVEYING SYSTEMS

- a. n/a

14. MECHANICAL

- a. Plumbing:
 - i. Plumbing fixtures at kitchen and master bathroom as selected by owner, refer to allowance list for additional info.
 - ii. Copper supply lines, PVC waste lines for all new work. Plumber and contractor to review condition of existing plumbing and advise owner of any recommended replacement.
 - iii. Provide hookup for washer dryer at new laundry area.
- b. Mechanical:
 - i. Vent Bathrooms (fan units) to outside.
 - ii. Heating and Air Conditioning:
 - i. GC and subcontractors to review existing system and advise owner of recommended means of heating and cooling new spaces. Modify existing supply and return locations as necessary to complete the work.

15. ELECTRICAL

- Provide new electric service to new and renovated spaces, per code and owner's direction.

Lighting Fixtures: Provide lighting per lighting plan, refer to allowance list for additional info.
All new first floor interior lights to be on dimmers.
Walk through electric layout with owner prior to beginning rough electric to review lighting switching and outlet locations.
Provide sub-panel in garage for new areas.

16. OPTIONAL/ALTERNATE ITEMS: Provide separate pricing for the following phasing options:

- Phase I:

All work at right side of existing house including new garage, mudroom, laundry room, side entry, front landing, and rear deck. Include residing entire right side of house with new clapboards and trim as shown on the drawings. Include removal of existing garage.
- Phase II:

All work behind existing house including kitchen, pantry, and study, and all interior renovations at first floor. Include residing rear second floor with new clapboard and trim.
- Phase III:

New master bedroom at left side of house and new master bathroom at second floor. Include residing left side of existing house and residing all sides of existing sunroom at left side with new clapboard and trim.

END.

Design and Documents by

MAHONEY
ARCHITECTS

70 Seven Star Lane
Concord, MA
978-287-4223

DRAWING LIST

- A-0 Cover
- A-1 Foundation Plan
- A-2 First Floor Plan
- A-3 Second Floor Plan
- A-4 Sections
- A-5 Elevations
- A-6 Framing Plans
- A-7 Lighting Plans

The use of these plans and specifications is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction, or publication by any method in whole or part is prohibited without the express written permission of the architect. Title to the plans and specifications and authorization of their reuse remains exclusively with the architect.

©2013 Mahoney Architects

**Addition and Renovation to
McBride Residence
6 Paul Revere Road
Acton, MA**

Construction Documents
MARCH 18, 2014

A-0
COVER

DRAWING LIST

- A-0 Cover
- A-1 Foundation Plan
- A-2 First Floor Plan
- A-3 Second Floor Plan
- A-4 Sections
- A-5 Elevations
- A-6 Framing Plans
- A-7 Lighting Plans

The use of these plans and specifications is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction, or publication by any method in whole or part is prohibited without the express written permission of the architect. Title to the plans and specifications and authorization of their reuse remains exclusively with the architect.

©2013 Mahoney Architects

**Addition and Renovation to
 McBride Residence
 6 Paul Revere Road
 Acton, MA**

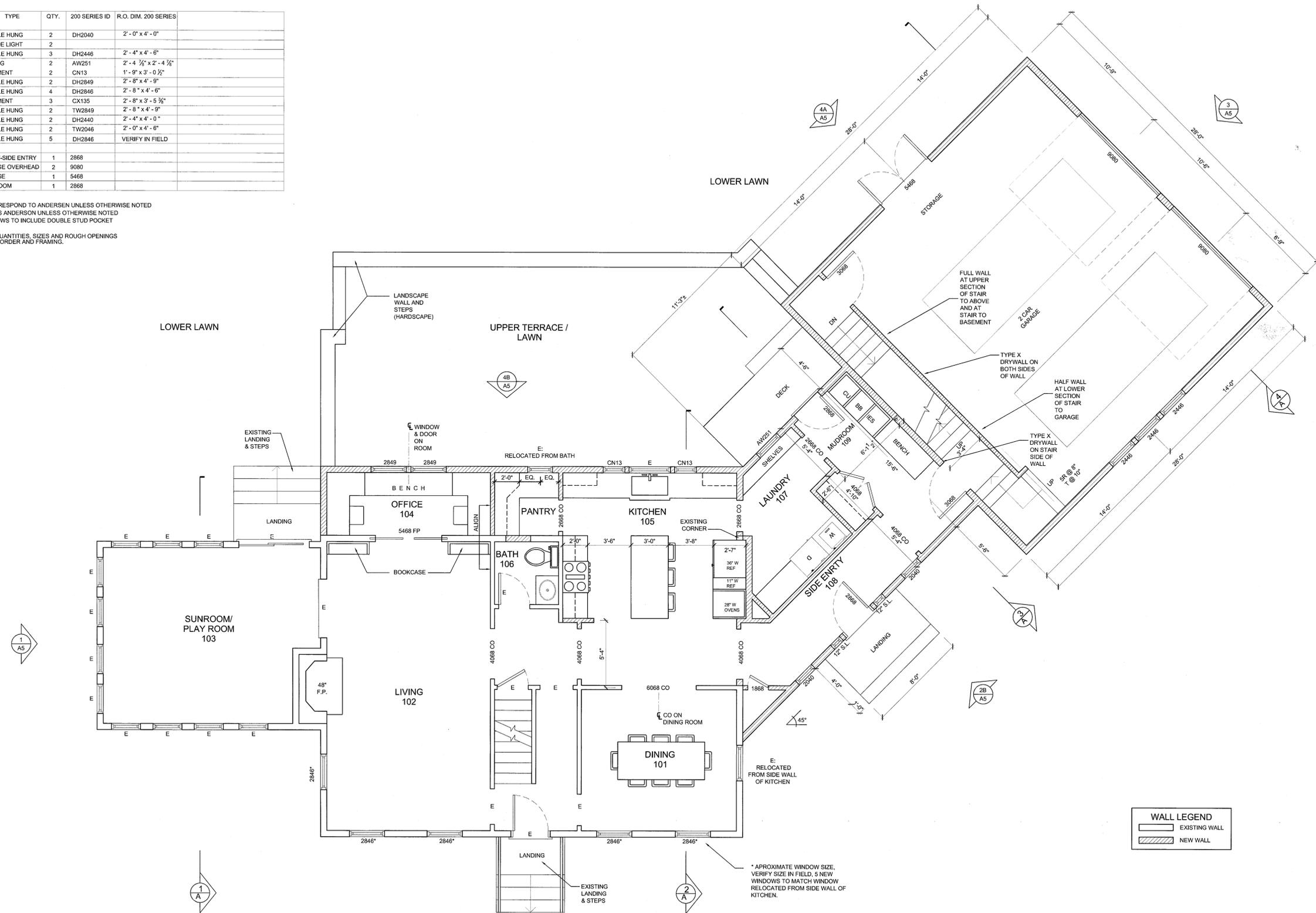
Construction Documents
 MARCH 18, 2014

**A-2
 PLANS**

EXTERIOR DOOR & WINDOW SCHEDULE

REF.	TYPE	QTY.	200 SERIES ID	R.O. DIM. 200 SERIES
(A)	DOUBLE HUNG	2	DH2040	2'-0" x 4'-0"
(B)	12" SIDE LIGHT	2		
(C)	DOUBLE HUNG	3	DH2446	2'-4" x 4'-6"
(D)	AWNING	2	AW251	2'-4" 1/2" x 2'-4" 1/2"
(E)	CASEMENT	2	CN13	1'-9" x 3'-0" 1/2"
(F)	DOUBLE HUNG	2	DH2849	2'-8" x 4'-9"
(G)	DOUBLE HUNG	4	DH2846	2'-8" x 4'-6"
(H)	CASEMENT	3	CX135	2'-8" x 3'-5" 3/4"
(J)	DOUBLE HUNG	2	TW2849	2'-8" x 4'-9"
(K)	DOUBLE HUNG	2	DH2440	2'-4" x 4'-0"
(L)	DOUBLE HUNG	2	TW2046	2'-0" x 4'-6"
(M)	DOUBLE HUNG	5	DH2846	VERIFY IN FIELD
(1)	ENTRY-SIDE ENTRY	1	2868	
(2)	GARAGE OVERHEAD	2	9080	
(3)	GARAGE	1	5468	
(4)	MUDROOM	1	2868	

NOTE:
 ALL WINDOWS CORRESPOND TO ANDERSEN UNLESS OTHERWISE NOTED
 ALL FRENCH DOORS ANDERSON UNLESS OTHERWISE NOTED
 ALL MULLED WINDOWS TO INCLUDE DOUBLE STUD POCKET
 G.C. TO CONFIRM QUANTITIES, SIZES AND ROUGH OPENINGS
 PRIOR TO WINDOW ORDER AND FRAMING.



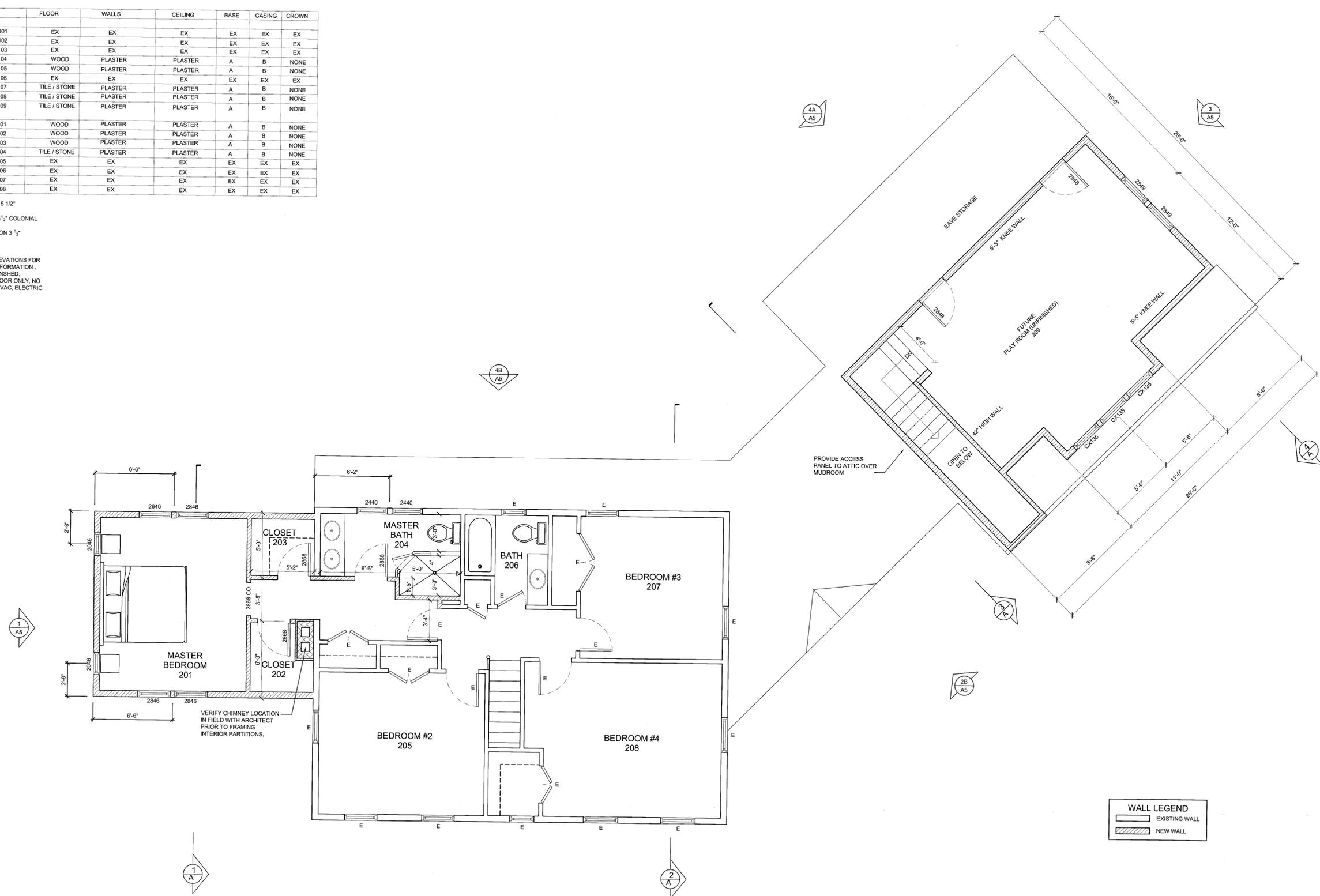
A FIRST FLOOR PLAN
 1/4"=1'-0"

FINISH SCHEDULE

ROOM	FLOOR	WALLS	CEILING	BASE	CASING	CROWN
DINING	101	EX	EX	EX	EX	EX
LIVING ROOM	102	EX	EX	EX	EX	EX
SUNROOM/PLAYROOM	103	EX	EX	EX	EX	EX
OFFICE	104	WOOD	PLASTER	PLASTER	A	B
KITCHEN	105	WOOD	PLASTER	PLASTER	A	B
BATH	106	EX	EX	EX	EX	EX
LAUNDRY	107	TILE / STONE	PLASTER	PLASTER	A	B
SIDE ENTRY	108	TILE / STONE	PLASTER	PLASTER	A	B
MUDROOM	109	TILE / STONE	PLASTER	PLASTER	A	B
MASTER BEDROOM	201	WOOD	PLASTER	PLASTER	A	B
CLOSET	202	WOOD	PLASTER	PLASTER	A	B
CLOSET	203	WOOD	PLASTER	PLASTER	A	B
MASTER BATH	204	TILE / STONE	PLASTER	PLASTER	A	B
BEDROOM #2	205	EX	EX	EX	EX	EX
BATH	206	EX	EX	EX	EX	EX
BEDROOM #3	207	EX	EX	EX	EX	EX
BEDROOM #4	208	EX	EX	EX	EX	EX

A: MATCH EXISTING / OR 5 1/2" SPEEDBASE
 B: MATCH EXISTING OR 3 1/2" COLONIAL
 C: 3 3/4" CROWN 8009 F.J.P.
 D: 3 3/4" CROWN 8009 F.J.P ON 3 1/2" SPEEDBASE 8712 F.J.P.
 EX: EXISTING

NOTE: 1 SEE PLANS AND ELEVATIONS FOR SPECIFIC TRIM INFORMATION.
 2. ROOM 209 IS UNFINISHED. PLYWOOD SUBFLOOR ONLY, NO INSULATION OR HVAC, ELECTRIC PER PLAN



WALL LEGEND
 [Solid line] EXISTING WALL
 [Hatched line] NEW WALL

A SECOND FLOOR PLAN
 1/4"=1'-0"

DRAWING LIST

- A-0 Cover
- A-1 Foundation Plan
- A-2 First Floor Plan
- A-3 Second Floor Plan
- A-4 Sections
- A-5 Elevations
- A-6 Framing Plans
- A-7 Lighting Plans

The use of these plans and specifications is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction, or publication by any method in whole or part is prohibited without the express written permission of the architect. Title to the plans and specifications and authorization of their reuse remains exclusively with the architect.

©2013 Mahoney Architects

**Addition and Renovation to
 McBride Residence
 6 Paul Revere Road
 Acton, MA**

Construction Documents
 MARCH 18, 2014

**A-3
 PLANS**