

STAMSKI AND MCNARY, INC.

1000 Main Street
Acton, Massachusetts 01720
(978) 263-8585
FAX (978) 263-9883

JOSEPH MARCH, P.E., P.L.S.
GEORGE DIMAKARAKOS, P.E.

RECEIVED

JUN 19 2014

Town of Acton
Planning Department

June 13, 2014

Acton Planning Department
Attn: Roland Bartl and Scott Mutch
472 Main Street
Acton, MA 01720

RE: 848-852 Main Street
Site Plan Special Permit

Dear Mr. Bartl,

On behalf of our client, Acorn Deck House Company, we have revised the Site Plan for the referenced project to address concerns raised in Interdepartmental Communications, as follows:

Roland Bartl, Planning Director Memorandum

Dated April 24, 2014

1., 2., 3., 4., 5. No response needed.

6. Open Spaces:

- a. Materials will be removed from the Open Space area in the northwest part of the site and the area will be raked out, loamed and seeded. This has been indicated on plan sheet 6.
- b. The 9,189 square foot area along the north side of the large building will be loamed and seeded. This has been indicated on plan sheet 6.
- c. The 7,426 square foot area on the west side of the building will have materials removed and left as open space.

7. The landscaping strip between the striped parking spaces and the newly paved area on the former meadow is shown to be widened to 30 feet in the easterly portion of the site near Main Street, as recommended.

8. As discussed at a meeting with the Planning Department staff, the perimeter landscaping and Open Space along the northerly and easterly boundaries of the property have been shown to be loamed and seeded on sheet 6 of 6.

9. The narrow driveways on the north and west of the large building have been indicated as "One-Way" on plan sheet 4, along with signage.

10. The applicant still intends to correct the frontage requirement. Refer to 11. Below regarding FAR.

11., 12., 13., 14., Attached is an Interdepartmental Communication from Garry Rhodes, Building Commissioner, to the Board of Selectmen dated November 8, 2001. This memo, when sent to the Selectmen, was accompanied by a letter from our office, an ANR plan showing a portion of the Deck House property being conveyed to the Robbins Brook Community and the then current site plan for the Deck House property. At that time, Deck House requested that the Board allow a land conveyance to facilitate the next phase of the Robbins Brook development. Mr. Rhodes made a determination that he did "not have any concerns" for the Board granting permission for the conveyance and he had drafted a decision for the Board's consideration. Ultimately the approvals were granted for the next phase of Robbins Brook. The approval of these plans fundamentally establishes several interpretations:

1. The Deck House lot was reduced to 363,092 square feet. This did not include Lot 2C.
2. The Site Plan clearly showed the "Existing Partially Enclosed Roofed Storage Areas and did not include them in the Net Floor Area or FAR calculations.
3. The plan demonstrates that the FAR limitation was not exceeded.

Therefore, we respectfully submit that to change the interpretation of the previous Zoning Enforcement Officer is not warranted. We respectfully submit that the lots can be re-divided by an ANR plan without placing the property into non-compliance. The present calculations take into account the complete enclosure of one of the previously "Existing Partially Enclosed Roofed Storage Areas" without exceeding the FAR limit of 0.2.

15., 16., 17. No response needed.

18. The existing model home is used for storage of windows and doors. The applicant intends to continue to use it as a storage place in the near future and intends to renovate it in the future.

Engineering Department Interdepartmental Communication

Dated April 11, 2014

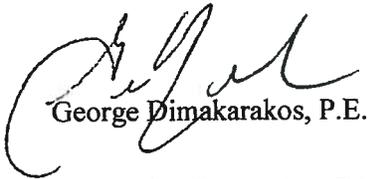
1.
 - a. The plan has been revised to include one clay lined basin and two proprietary stormwater BMP's to treat runoff. The groundwater elevation precludes the use of clay lined basins to the rear of the site, therefore Contech VortSentry HS-36 and Contech CDS 2015-4 treatment units have been proposed for an equivalent level of treatment. Literature describing the products and their performance is included.
 - b. Three emergency slide gates have been added to the plan.
 - c. The location of field soil tests have been added to the plan and soil logs have been attached.
 - d. A note forbidding the use of fill containing hazardous material and requiring the hauling of earth to and from the site to the hours between 9 a.m. and 4 p.m. has been added to the plan.
2. Runoff from Subcatchments 3 and 4 flows to the Fire Pond on site. Therefore, there is no offsite runoff increase from these Subcatchments. The reduction of impervious area near the site entrance and adjustment of the existing infiltration basin outlet structure are proposed and will mitigate Runoff from Subcatchment 1.

3. The CN number for Gravel has been changed to 76.
4. Fire hydrant locations have been shown on the plan.
5. A note stating that a SU-30 truck can maneuver on the site has been added to the plan.
6. A note identifying the datum used has been added to the plan.
7. Shaped inverts have been added to the manhole detail.
8. A Stormwater Operation and Maintenance Plan has been prepared and is attached.
9. Two benchmarks have been shown on the plan.
10. No response needed.

We would like to meet with you by the end of June in order to move the process along. Please do not hesitate to contact our office if you have any further questions.

Respectfully,

Stamski and McNary, Inc.



George Dimakarakos, P.E.

cc: Tom Trudeau, Acron Deck House Co.
Louis Levine, D'Agostine, Levine, Parra & Netburn, P.C.

TOWN OF ACTON
Building Department

848
main st

INTERDEPARTMENTAL COMMUNICATION

To: Board of Selectmen **Date:** November 8, 2001
From: Garry A. Rhodes, Building Commissioner
Subject: Site Plan Special Permit # 10/15/85-267 amendment

On August 15, 2001, Acton Assisted Living, L.L.C and Deck House requested that the Board allow them to do a land swap. The land swap would allow for the second phase of the Acton Assisted Living to proceed. They subsequently requested that I delay forwarding it to the Board for action until after they decided if they would proceed with phase II. Even though they withdrew phase II they have now elected to proceed with the land swap. They have not given any indication that they propose to continue with phase II.

The Site Plan Special Permit for Deck House Condition 2.7 and Limitation 3.2 (attached) require the applicant to obtain Board approval prior to any change. As shown on the attached plan Parcel B which is currently part of Deck House will be joined with Lot C. Parcel A which is currently part of Lot C will be joined to the Deck House lot.

With the exception of the land swap no other changes are proposed. There will not be any additions, new buildings or impervious surfaces added. The Deck House decision provides that the Board may amend its' decision if it finds that the amendment is not significant to the public interest and that such amendment is not inconsistent with the purpose and intent of the Bylaw. I do not have any concerns if the Board grants the request. I have taken the liberty of drafting a decision for your consideration.

STAMSKI AND MCNARY, INC.

80 Harris Street
Acton, Massachusetts 01720
(978) 263-8585
FAX (978) 263-9883

WILLIAM F. MCNARY, P.L.S.
JOSEPH MARCH, P.E., P.L.S.

August 15, 2001

Acton Board of Selectmen
472 Main Street
Acton, MA 01720

Re: 848 Main Street
Map C5 Parcel 39
Site Plan Special Permit Amendment

Members of the Board,

On behalf of our client, Acton Assisted Living, L.L.C., and Deck House, Inc., we hereby request an amendment to Site Plan Special Permit #10/15/85-267, pursuant to the Board of Selectmen's "Rules and Regulations for Site Plan Special Permits", for the referenced site.

The amendment is being sought in order to reconfigure of the northeasterly end of the lot. As a result of this reconfiguration, the overall site area will be reduced by 61,558 square feet. The following table outlines the existing and proposed zoning parameters.

	Existing	Proposed
Lot Area	424,650 sf	363,092 sf
Wetland Area	22,680 sf	22,680 sf
Developable Site Area	401,970 sf	340,412 sf
Net Floor Area		
1 st Floor*	54,550 sf	54,550 sf
2 nd Floor**	3,000 sf	3,000 sf
Total	58,550 sf	58,550 sf
FAR	0.146	0.172
Open Space***	232,587 sf (54.8%)	171,029 sf (47.1%)

*Actual Gross Floor Area (conservative estimate)

**Per Deck House, Inc.

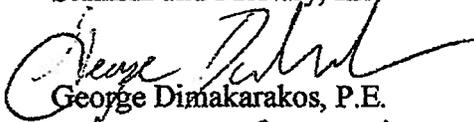
***Per ref. Site Plan in Permit #10/15/85-267

Page Two
Site Plan Special Permit #10/15/85-267
August 15, 2001

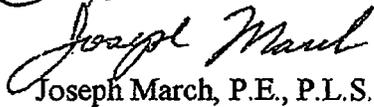
The site plan, showing the lot change in red, is attached. The A.N.R. plan, which is to be submitted to the Planning Board for endorsement is also attached. Thank you for your time in consideration of this matter. Please call our office if you have any further questions.

Very truly yours,

Stamski and McNary, Inc.



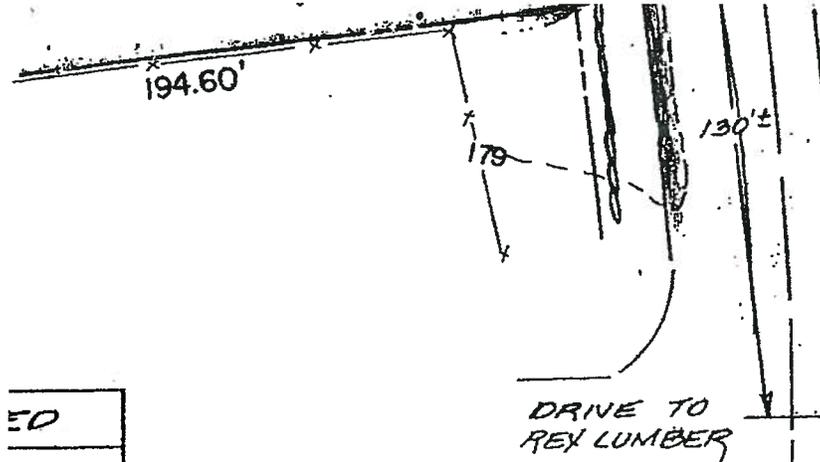
George Dimakarakos, P.E.



Joseph March, P.E., P.L.S.

cc: Don Cameron, Deck House, Inc.
Stephen Vazza, Acton Assisted Living, L.L.C.

ED
F
I.F.
3%)
3.F.
6%)



LOT A-1
SITE PLAN
MAIN STREET
ACTON, MASS.

OWNED BY: DECK HOUSE INC.
 SCALE: 1" = 40'

REVISED SEPTEMBER
FEB 6 1996
 REVISED MARCH

STAMSKI AND McNARY, INC.
 80 HARRIS STREET ACTON, MA.
 ENGINEERING • PLANNING • SURVEYING
 REVISED AUG. 15, 1996



Bruce M. Stamski



PLAN REVISED 3-13-96
 PLAN REVISED 10-10-93

SW 1/4

N/F
REALESCO INC.

TO BE
CONVEYED
DECK

PILE

106.11'

TO BE REMOVED
APPROX.
LOCATION
OF
MODEL

178 x 9'

EXISTING

130.91'

484.68'

RAILROAD

TRA

PILE

CONC.
LOADING
DOCK

179 x 0'

FROM POND SURFACE

