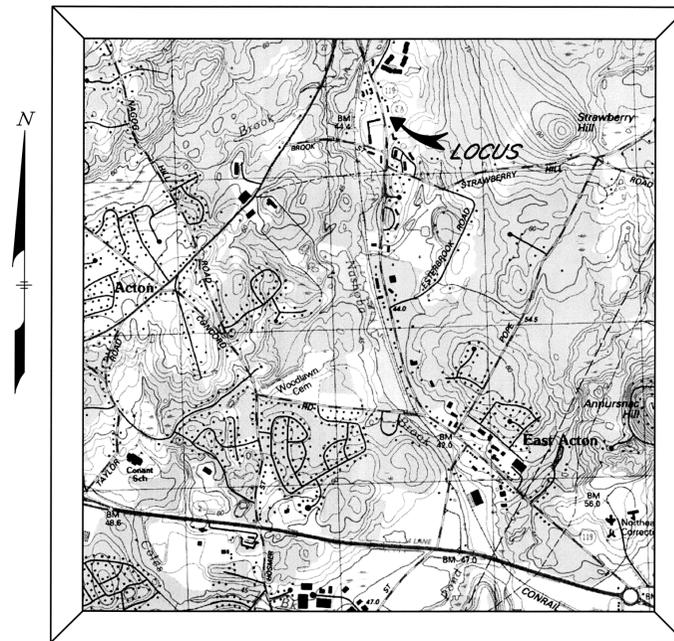


# SITE PLAN FOR ACTON MANAGEMENT, INC. 267 GREAT ROAD ACTON, MASSACHUSETTS

DATE: JUNE 27, 2014

## INDEX

SHEET 1	TITLE SHEET
SHEET 2	EXISTING CONDITIONS PLAN
SHEET 3	GRADING & DRAINAGE PLAN
SHEET 4	LAYOUT PLAN
SHEET 5-6	CONSTRUCTION DETAILS



LOCUS PLAN

**RECORD OWNER:**  
SPS-ACTON, LLC

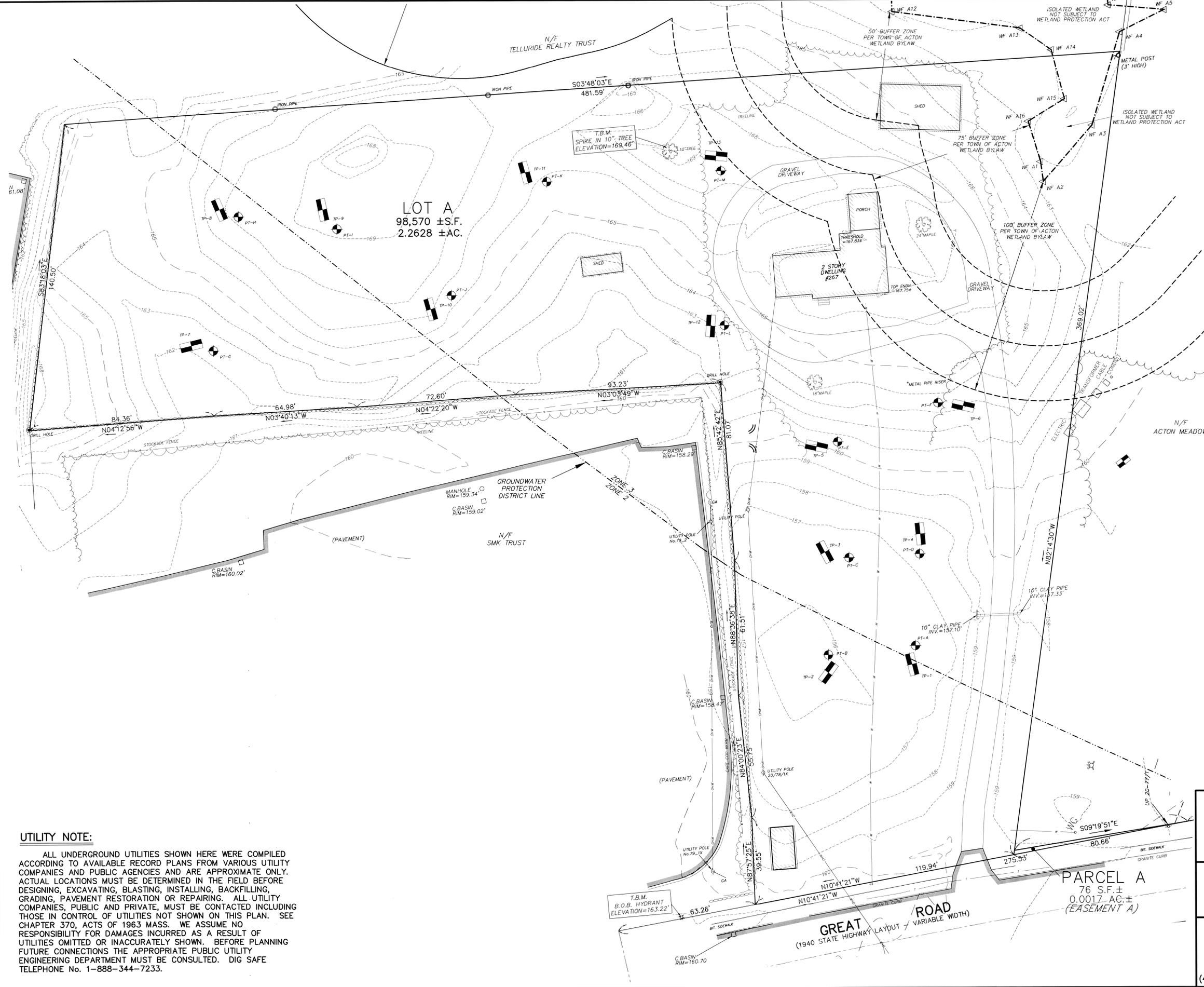
**APPLICANT:**  
ACTON MANAGEMENT, INC.  
P.O. BOX 2350, 69 GREAT ROAD  
ACTON, MA

**ZONING DISTRICT:**  
LIMITED BUSINESS  
GROUNDWATER PROTECTION DISTRICTS  
ZONES 2 AND 3

**REFERENCES:**  
MIDDLESEX REGISTRY OF DEEDS  
SOUTH DISTRICT  
TOWN MAP E5 PARCEL 13  
DEED BOOK 59933 PAGE 547  
DEED BOOK 60658 PAGE 414  
PLAN No. 269 OF 1933  
PLAN No. 878 OF 2012



**ENGINEER/SURVEYOR**  
STAMSKI AND MCNARY, INC  
1000 MAIN STREET  
ACTON, MASSACHUSETTS 01720  
(978) 263-8585



**LEGEND:**

CB	CATCH BASIN
CP	CONCRETE PAD
DMH	DRAIN MANHOLE
—○—	SUBSURFACE DRAINAGE
D.H.	DRILL HOLE
—E—	ELECTRIC SERVICE (BURIED)
EMH	ELECTRIC MANHOLE
FND.	FOUND
GG	GAS GATE
—G—	GAS SERVICE (BURIED)
GA	GUY WIRE ANCHOR
I.P.	IRON PIPE
○	LIGHTPOST
MH	MANHOLE
MW	MONITORING WELL
N/F	NOW OR FORMERLY
—○—	OVERHEAD WIRES
(REC.)	RECORD
—RD—	ROOF DRAIN (BURIED)
SMH	SEWER MANHOLE
○○○○	STONE WALL
TMH	TELEPHONE MANHOLE
—T—	TELEPHONE SERVICE (BURIED)
(TYP.)	TYPICAL
UG	UNDERGROUND WIRES
○ U.P.	UTILITY POLE
WG	WATER GATE
—W—	WATER SERVICE (BURIED)
*1	POSSIBLE ENCROACHMENTS

**UTILITY NOTE:**  
 ALL UNDERGROUND UTILITIES SHOWN HERE WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION OR REPAIRING. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963 MASS. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS THE APPROPRIATE PUBLIC UTILITY ENGINEERING DEPARTMENT MUST BE CONSULTED. DIG SAFE TELEPHONE No. 1-888-344-7233.

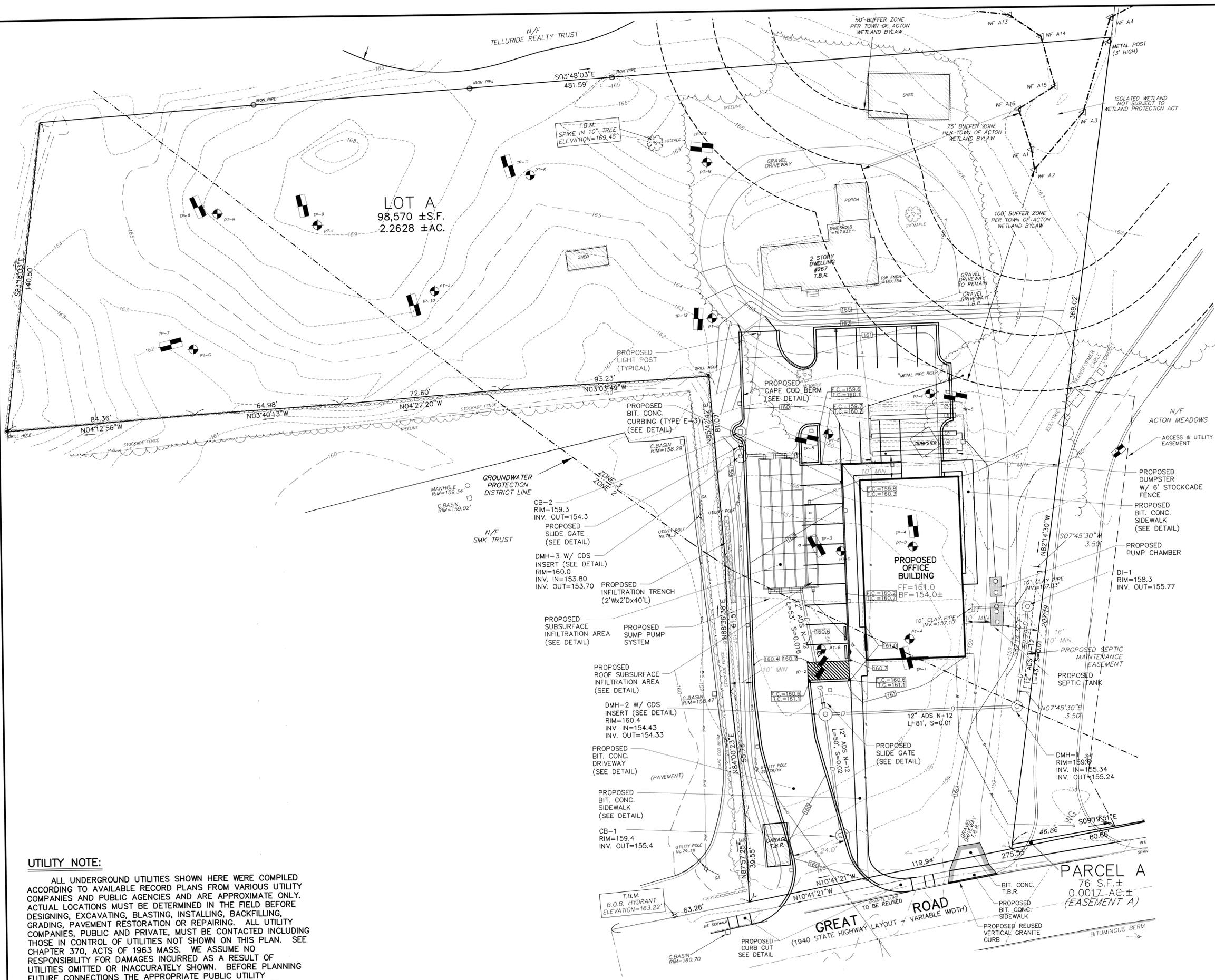
SITE PLAN  
 IN  
**ACTON, MASSACHUSETTS**  
 (MIDDLESEX COUNTY)

EXISTING CONDITIONS PLAN  
 FOR: ACTON MANAGEMENT, INC.  
 SCALE: 1"=20' JUNE 27, 2014

**STAMSKI AND McNARY, INC.**  
 1000 MAIN STREET ACTON, MASSACHUSETTS  
 ENGINEERING - PLANNING - SURVEYING

0 10 20 40 60 80 FT

(4860-SPD.dwg) GREAT ROAD SM-4860 Sheet 2 of 6

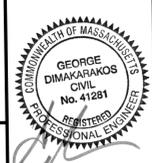


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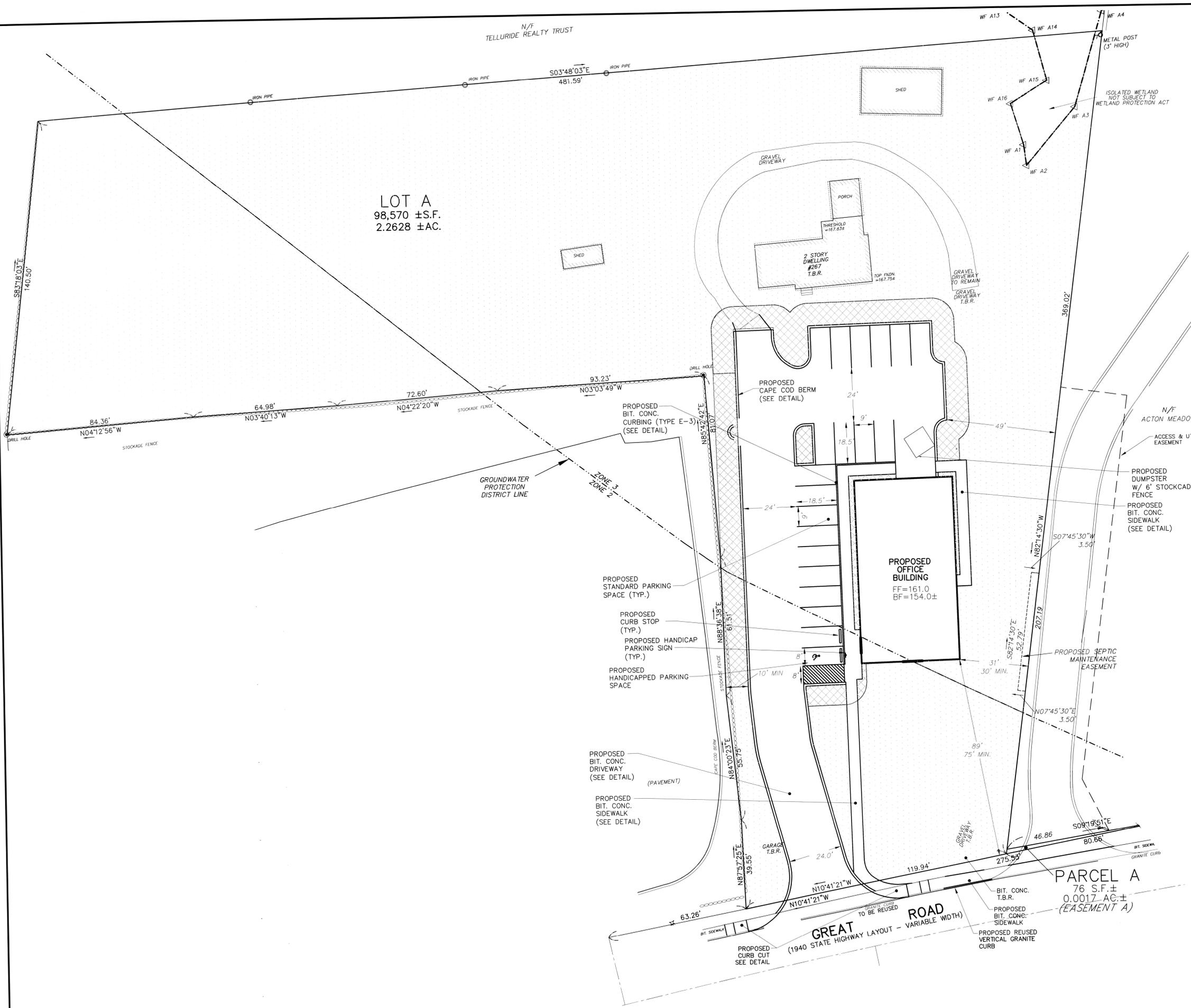
CB	CATCH BASIN
CP	CONCRETE PAD
DMH	DRAIN MANHOLE
-	SUBSURFACE DRAINAGE
D.H.	DRILL HOLE
-	ELECTRIC SERVICE (BURIED)
EMH	ELECTRIC MANHOLE
FND.	FOUND
GC	GAS GATE
-	GAS SERVICE (BURIED)
GA	GUY WIRE ANCHOR
I.P.	IRON PIPE
O	LIGHTPOST
MH	MANHOLE
MW	MONITORING WELL
N/F	NOW OR FORMERLY
-	OVERHEAD WIRES
(REC.)	RECORD
-	ROOF DRAIN (BURIED)
SMH	SEWER MANHOLE
○	STONE WALL
TMH	TELEPHONE MANHOLE
-	TELEPHONE SERVICE (BURIED)
(TYP.)	TYPICAL
UG	UNDERGROUND WIRES
U.P.	UTILITY POLE
WG	WATER GATE
-	WATER SERVICE (BURIED)
*1	POSSIBLE ENCROACHMENTS

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SITE PLAN  
 IN  
**ACTON, MASSACHUSETTS**  
 (MIDDLESEX COUNTY)  
 GRADING AND DRAINAGE PLAN  
 FOR: ACTON MANAGEMENT, INC.  
 SCALE: 1"=20' JUNE 27, 2014



**STAMSKI AND MCNARY, INC.**  
 1000 MAIN STREET ACTON, MASSACHUSETTS  
 ENGINEERING - PLANNING - SURVEYING  
 0 10 20 40 60 80 FT  
 (4860-SPD.dwg) GREAT ROAD SM-4860 Sheet 3 of 6



**LEGEND:**

- CB CATCH BASIN
- CP CONCRETE PAD
- DMH DRAIN MANHOLE
- D.H. DRILL HOLE
- EMH ELECTRIC SERVICE (BURIED)
- FND. ELECTRIC MANHOLE
- GG GAS GATE
- G GAS SERVICE (BURIED)
- GA GUY WIRE ANCHOR
- I.P. IRON PIPE
- LIGHTPOST
- MH MANHOLE
- MW MONITORING WELL
- N/F NOW OR FORMERLY
- OVERHEAD WIRES
- (REC.) RECORD
- SMH ROOF DRAIN (BURIED)
- SEWER MANHOLE
- TMH TELEPHONE MANHOLE
- TELEPHONE SERVICE (BURIED)
- (TYP.) TYPICAL
- UG UNDERGROUND WIRES
- U.P. UTILITY POLE
- WG WATER GATE
- WATER SERVICE (BURIED)
- PERIMETER LANDSCAPING
- OPEN SPACE

**LAND USE DATA**

**ZONING REQUIREMENTS**

ZONING DISTRICT:	REQUIRED:	PROVIDED:
MIN LOT AREA:	20,000 SF	98,646 SF
MIN LOT FRONTAGE:	200 FT	200.6 FT
MIN LOT WIDTH:	50 FT	> 50 FT
MIN FRONT YARD:	75 FT	> 75 FT
MIN SIDE & REAR YARD:	30 FT	31 FT
MIN OPEN SPACE:	LOT AREA IN ZONE 2: 31,067 SF	LOT AREA IN ZONE 3: 67,579 SF
GWPD ZONE 2:	70% (21,747 SF)	82% (25,426)
GWPD ZONE 3:	50% (33,790 SF)	75% (50,561)
MIN UNDISTURBED OPEN SPACE:	GWPD ZONE 2: 40% (12,427 SF)	56% (17,453)
MAX. IMPERVIOUS COVERAGE:	GWPD ZONE 2: 30% (9,320 SF)	19% (5,791)

**FLOOR AREA REQUIREMENTS**

LOT AREA =	(ROW) (NET)	98,646 SF
DEVELOPABLE SITE AREA (DSA) =	98,646 - 76 - 1,086 =	97,484 SF
MAX NET FLOOR AREA ALLOWED : 0.2 x 97,484 =		19,496 SF
PROPOSED NET FLOOR AREA =		3,605 SF
PROPOSED OFFICE NET FLOOR AREA =		3,605 SF
PROPOSED NET FLOOR AREA RATIO =		0.04

**PARKING REQUIREMENTS:**  
(FROM SECTION 5.4.6.2)

MAXIMUM # PARKING SPACES:  
1 SPACE / 3,000 SF OF DSA X 97,484 SF = 32 SPACES

(FROM SECTION 6.3.1)

OFFICE USE :  
1 SPACE / 250 SF OF NFA x 3,600 SF = 14 SPACES

NUMBER OF SPACES REQ'D = 14 SPACES  
NUMBER OF SPACES PROVIDED = 20 SPACES\*  
\*STANDARD SIZE = 19 AND HANDICAPPED SPACE(S) = 1

**SEWAGE FLOW:**  
3,600 SF OFFICE X 75 CPD/1000 SF = 270 GPD

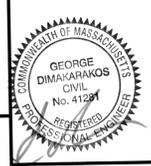
**SITE PLAN  
IN  
ACTON, MASSACHUSETTS  
(MIDDLESEX COUNTY)**

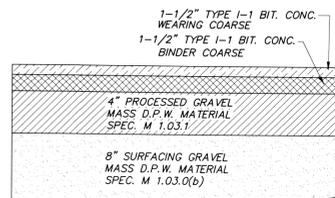
**LAYOUT PLAN**

FOR: **ACTON MANAGEMENT, INC.**  
SCALE: 1"=20' JUNE 27, 2014

**STAMSKI AND McNARY, INC.**  
1000 MAIN STREET ACTON, MASSACHUSETTS  
ENGINEERING - PLANNING - SURVEYING

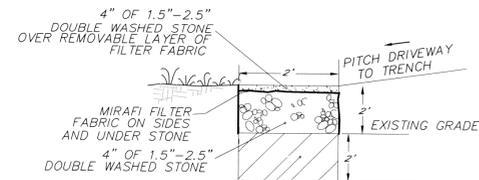
(4860-SPD.dwg) GREAT ROAD SM-4860 Sheet 4 of 6





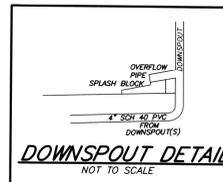
- NOTES**
- ALL GRAVEL IS TO BE COMPACTED TO 95% MAX. DRY DENSITY.
  - AREA UNDER GRAVEL BASE COURSE TO BE FREE OF ORGANIC MATERIAL, TRASH, ETC. FILL WHERE REQUIRED SHALL CONFORM TO MASS. D.P.W. 1.03.c. 6" MAX. STONE.
  - GRAVEL SHALL EXTEND 6" BEYOND ALL EDGE OF PAVEMENT LOCATIONS. MATERIAL, TRASH, ETC. FILL WHERE REQUIRED SHALL CONFORM TO MASS. D.P.W. 1.03.c. 6" MAX. STONE.

**PAVEMENT DETAIL**  
NOT TO SCALE

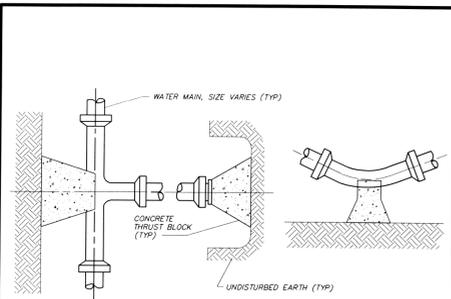


REMOVE ORGANICS (PEAT OR LOAM)  
REMOVE ROCK OR LEDGE  
AND REPLACE WITH CLEAN SAND

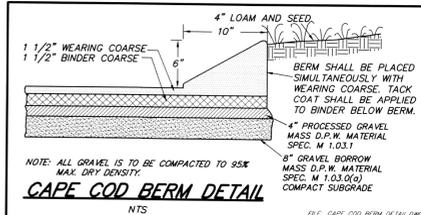
**INFILTRATION TRENCH DETAIL**  
NOT TO SCALE



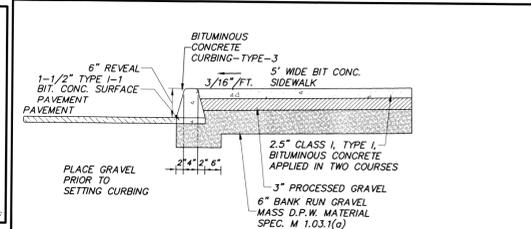
**DOWNSPOUT DETAIL**  
NOT TO SCALE



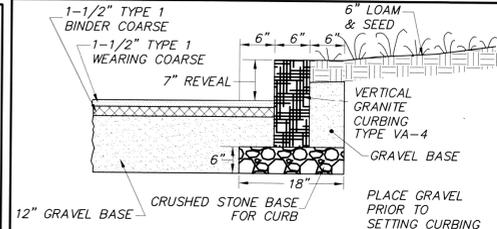
**TYPICAL THRUST BLOCK DETAIL**  
NOT TO SCALE



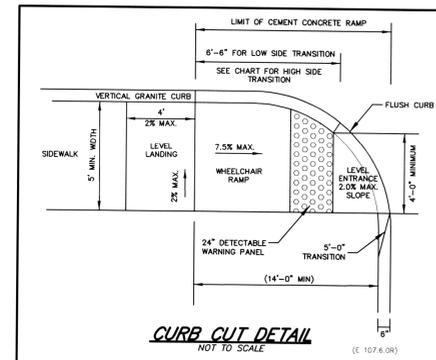
**CAPE COD BERM DETAIL**  
NTS



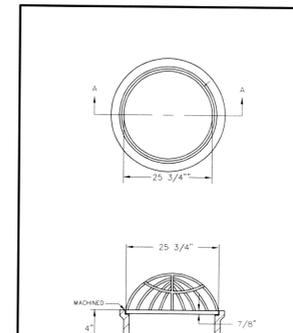
**BITUMINOUS CONCRETE SIDEWALK AND BIT. CONC. CURBING TYPE-3 DETAIL**  
NTS



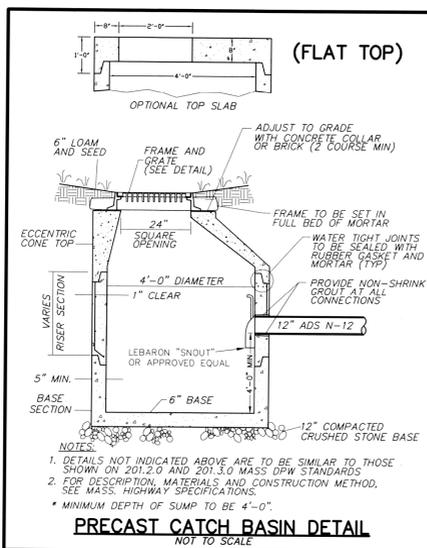
**VERTICAL GRANITE CURBING DETAIL**  
NOT TO SCALE



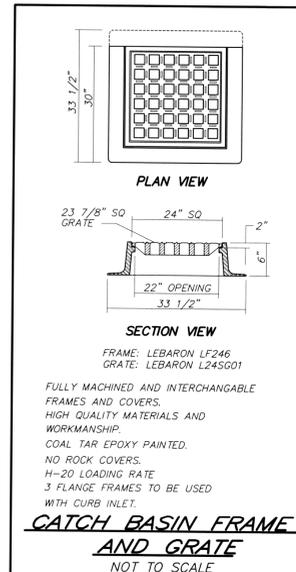
**CURB CUT DETAIL**  
NOT TO SCALE



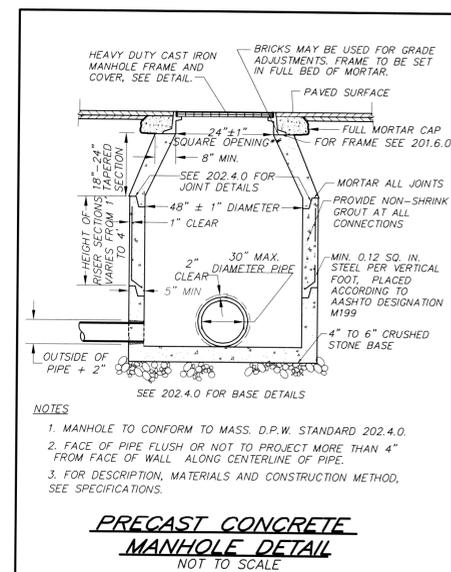
**BEEHIVE FRAME AND GRATE**  
N.T.S.



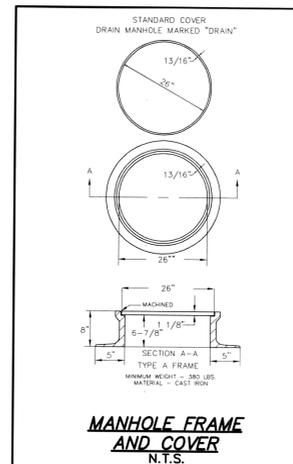
**PRECAST CATCH BASIN DETAIL**  
NOT TO SCALE



**CATCH BASIN FRAME AND GRATE**  
NOT TO SCALE



**PRECAST CONCRETE MANHOLE DETAIL**  
NOT TO SCALE



**MANHOLE FRAME AND COVER**  
N.T.S.

**CDS2015-4-C DESIGN NOTES**

EDGE2015-4-C RATED TREATMENT CAPACITY IS 4 CFS, OR PER LOCAL REGULATIONS. THE STANDARD CDS2015-4-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

**CONFIGURATION DESCRIPTION**

CEMENT INLET ONLY AND INLET PIPE  
GRAVEL INLET WITH INLET PIPE OR PIPES  
CURB INLET ONLY AND INLET PIPE  
CURB INLET WITH INLET PIPE OR PIPES

**(DMH-2 & DMH-3)**

**SITE SPECIFIC DATA REQUIREMENTS**

STRUCTURE ID	WATER QUALITY FLOW RATE (CFS)	PEAK FLOW RATE (CFS)	RETURN FLOW OR PEAK FLOW (GPM)	SCREEN APERTURE (2400 OR 4700)

**GENERAL NOTES**

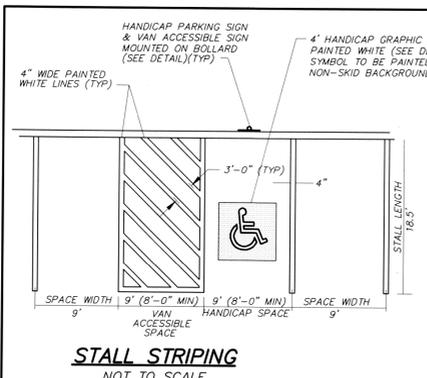
- CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH \* ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE.
- CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET ALL CITY AND STATE REQUIREMENTS AND SHALL BE DESIGNED TO WITHSTAND 100 LB/FT<sup>2</sup> UNIFORM LOAD WITH ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- PVC HYDRAULIC SHEAR PLATE SHALL BE PLACED ON SHEET AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

**INSTALLATION NOTES**

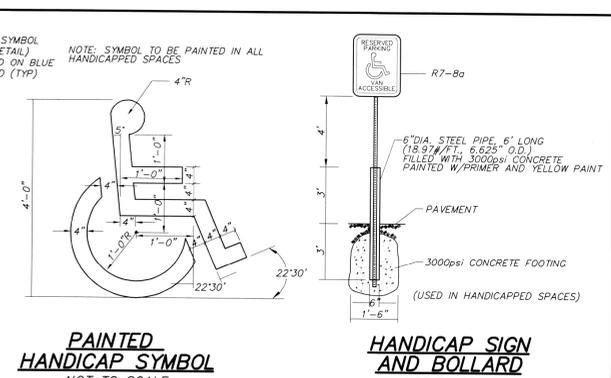
- WITH SURFACE BACKFILL DEPTH AND/OR ANTI-FLOATION PROVISIONS ARE SITE SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
- CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLY STRUCTURE.
- CONTRACTOR TO PROVIDE MATERIAL AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WETTED TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BE WETTED PRIOR TO GROUTING.

**CONTECH CONSTRUCTION PRODUCTS**

CDS2015-4-C  
CDS INLINE  
STANDARD DETAIL



**STALL STRIPING**  
NOT TO SCALE



**PAINTED HANDICAP SYMBOL AND BOLLARD**  
NOT TO SCALE

**SITE PLAN**  
IN  
**ACTON, MASSACHUSETTS**  
(MIDDLESEX COUNTY)

**CONSTRUCTION DETAILS**  
FOR: **ACTON MANAGEMENT, INC.**  
SCALE: 1"=40' JUNE 27, 2014

**STAMSKI AND McNARY, INC.**  
1000 MAIN STREET ACTON, MASSACHUSETTS  
ENGINEERING - PLANNING - SURVEYING

0 20 40 80 120 160 FT

(4860-SPC.dwg) GREAT ROAD SM-4860 Sheet 5 of 6

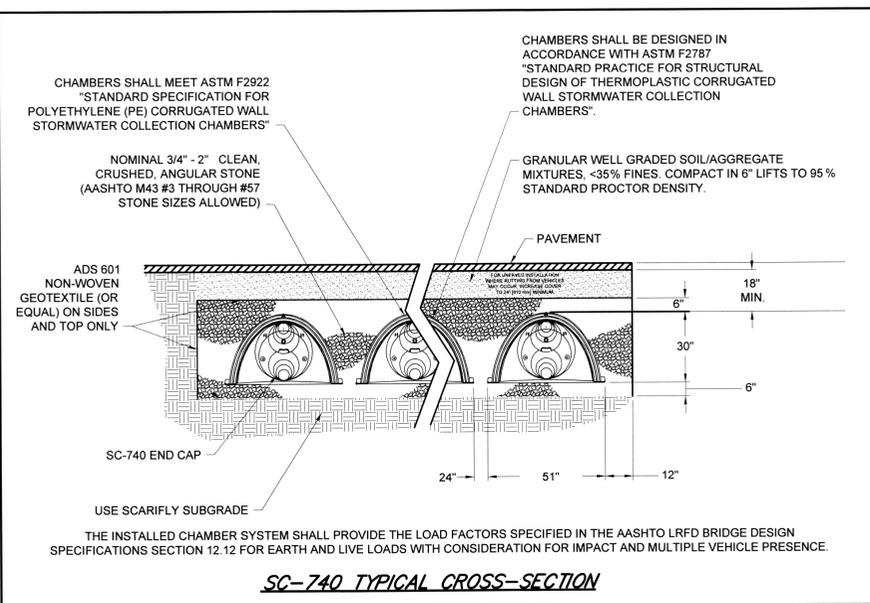
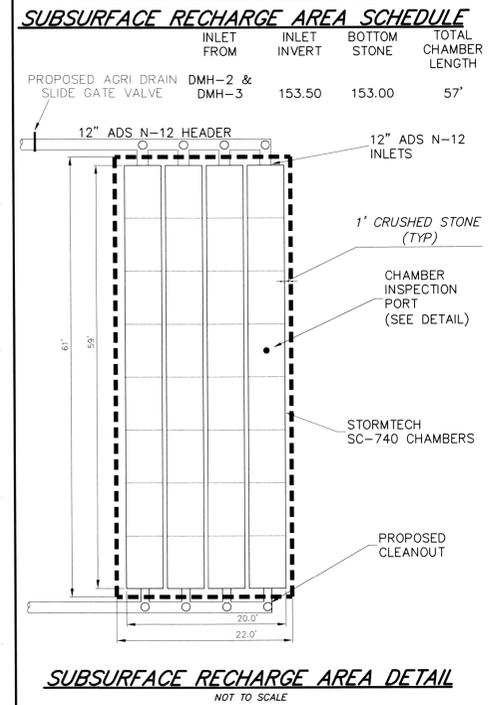
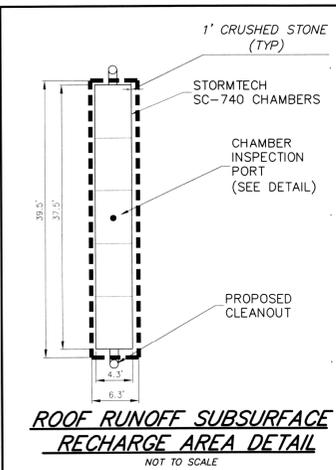
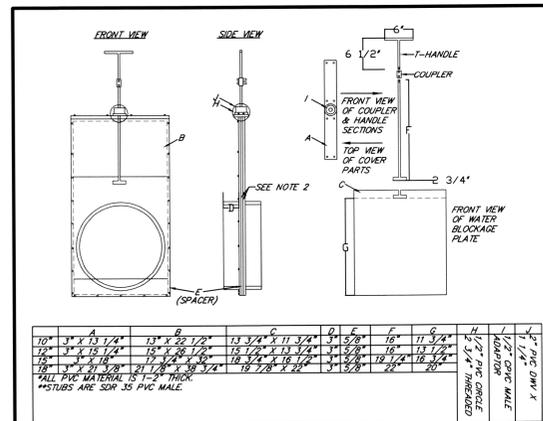
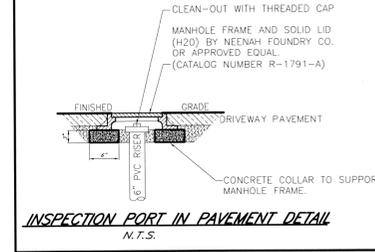
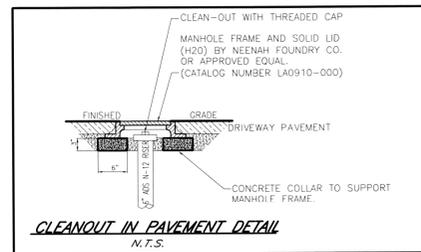
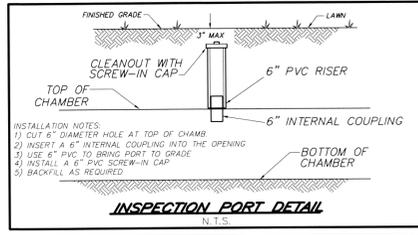
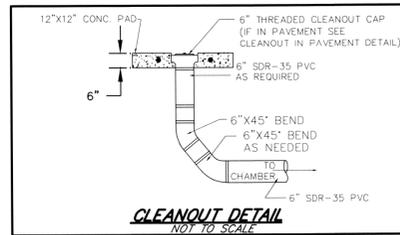


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- UNLESS OTHERWISE SPECIFIED ON THESE PLANS, ALL CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH SPECIFICATIONS OUTLINED IN THE ACTON ZONING BYLAW AND THE ACTON RULES AND REGULATIONS FOR SITE PLAN SPECIAL PERMITS.
- ALL LIMITS OF WORK SHALL BE LOCATED IN THE FIELD PRIOR TO CONSTRUCTION OR SITE CLEARING.
- ALL WATER PIPES, HYDRANTS, GATE VALVES AND OTHER APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE ACTON WATER SUPPLY DISTRICT REQUIREMENTS.
- ALL STUMPS AND OTHER CONSTRUCTION DEBRIS SHALL BE PROPERLY REMOVED ANY FILL MATERIAL USED SHALL BE FREE OF HAZARDOUS MATERIALS OR WASTE.
- ALL DRAIN PIPES SHALL BE ADS N-12 UNLESS OTHERWISE SHOWN.
- TRANSPORTATION OF FILL, EARTH, OR CONSTRUCTION DEBRIS TO OR FROM THE SITE SHALL BE RESTRICTED TO DAYTIME HOURS (9 AM TO 4 PM) MONDAY THROUGH FRIDAY.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH 521 CMR - ARCHITECTURAL ACCESS BOARD REGULATIONS. ALL PROPOSED SIDEWALKS SHALL HAVE A MAX. CROSS SLOPE OF 2% THE PROPOSED HANDICAP PARKING STALLS AND ADJACENT AREAS SHALL HAVE A MAX. SLOPE OF 2% IN ALL DIRECTIONS. A WAIVER TO THE REGULATIONS MAY BE NEEDED FOR HANDICAPPED PARKING SPACE LOCATIONS AND MUST BE CONFIRMED BY OWNER OR ARCHITECT.
- IT IS ANTICIPATED THE EXISTING SEPTIC TANKS, SOIL ABSORPTION SYSTEM, AND WATER LINE WILL BE ENCOUNTERED DURING CONSTRUCTION. THE EXISTING ONSITE SOIL ABSORPTION SYSTEM AND ASSOCIATED TANKS SHALL BE ABANDONED PURSUANT TO 310CMR 15.354 ABANDONMENT OF SYSTEMS OR REMOVED FROM SITE.
- TURNING RADIUS HAS BEEN DESIGNED TO ACCOMMODATE A SU-30 VEHICLE.
- ANY FILL MATERIAL USED SHALL BE FREE OF HAZARDOUS MATERIALS OR WASTE.
- USE THE EXISTING GRANITE CURBING AT THE PROPOSED ENTRANCE TO FILL IN THE EXISTING ENTRANCE.

**DRAINAGE SYSTEM OPERATION AND MAINTENANCE PLAN**

- BMP OWNER: ACTON MANAGEMENT, INC.  
69 GREAT ROAD  
ACTON, MA 01720
- PARTIES RESPONSIBLE FOR MAINTENANCE: SAME AS ABOVE
- SCHEDULE FOR INSPECTION AND MAINTENANCE:  
**DEEP SUMP AND HOODED CATCH BASIN:**  
THE DEEP SUMPS FOR THE CATCH BASINS SHALL BE INSPECTED AND CLEANED QUARTERLY. THE CATCH BASINS HAVE A FOUR FOOT DEEP SUMP AND THE WATER LEVEL IS MAINTAINED BY THE DISCHARGE PIPE AT FOUR FEET. THE DISCHARGE PIPE IS HIDDEN FROM VIEW BY A HOODED OUTLET.  
THE DEPTH OF THE SEDIMENT IN THE BASIN SHALL NOT EXCEED A DEPTH OF 18 INCHES AS DETERMINED BY PROBING WITH A STICK. IF THE STICK HITS THE BOTTOM WITHIN 30 INCHES OF THE WATER LEVEL, MORE THAN 18 INCHES OF SEDIMENT HAS ACCUMULATED AND MUST BE REMOVED. LICENSED PERSONS SHOULD REMOVE AND DISPOSE OF THE CONTENTS OF THE SUMP IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- VORTSENTRY HS**  
INSPECTION AND MAINTENANCE OF THE VORTSENTRY HS CAN BE PERFORMED FROM THE SURFACE. WITHOUT ENTRY INTO THE UNIT. PERFORM MAINTENANCE A MINIMUM OF TWICE PER YEAR. THE VORTSENTRY HS SHOULD BE CLEANED ONCE THE SEDIMENT HAS REACHED A DEPTH OF TWO FEET IN THE CHAMBER. PERFORM FREQUENT INSPECTIONS DURING THE FIRST YEAR OF INSTALLATION TO ACCURATELY ESTABLISH THE MAINTENANCE SCHEDULE.  
REMOVE OIL AND SEDIMENT THROUGH THE MANHOLE COVER WITH THE USE OF A VACCUUM TRUCK.
- DISPOSAL FROM THE VORTSENTRY HS ARE SIMILAR TO THAT OF ANY OTHER BEST MANAGEMENT PRACTICE (BMP). CONSULT LOCAL GUIDELINES OR YOUR VORTSENTRY HS AREA MARKETING MANAGER PRIOR TO DISPOSING THE SEPARATOR CONTENTS.
- SUBSURFACE RECHARGE AREAS:**  
THE INFILTRATION BED CLEANOUTS SHALL BE OPENED AND INSPECTED ANNUALLY. IF THE WATER LEVEL IS MORE THAN 24 INCHES ABOVE THE BOTTOM OF STONE ELEVATION, THE CHAMBERS SHALL BE FLUSHED WITH A PRESSURE HOSE, AND IF AFTER 24 HOURS THE WATER LEVEL HAS NOT DROPPED, THE INFILTRATION BED MAY HAVE TO BE REPLACED. (NOTE: THE RELATIVE ELEVATIONS OF CLEANOUT RIMS AND THE BOTTOM OF STONE SHALL BE TAKEN FROM THE SITE PLAN AS-BUILT. THIS INSPECTION SHOULD NOT BE DONE WITHIN 72 HOURS OF A RAIN EVENT.)
- EMERGENCY CONTACTS:**  
IN THE EVENT OF A HAZARDOUS MATERIALS SPILL ON THE SITE THE FOLLOWING PARTIES SHALL BE CONTACTED: FIRE DEPARTMENT: PH: 978-264-9645
- RECORDS:**  
THE OWNER SHALL MAINTAIN AN INSPECTION LOG OF ALL ELEMENTS OF THE STORM WATER MANAGEMENT PLAN. THE OWNER SHALL MAINTAIN A MAINTENANCE LOG DOCUMENTING THE INSPECTION AND MAINTENANCE OF THE DRAINAGE STRUCTURES UNDER HIS CONTROL. A COPY OF THE EROSION CONTROL AND STORM WATER MAINTENANCE PLAN AND INSPECTION LOGS SHALL BE KEPT ONSITE AT ALL TIMES.



SITE PLAN  
IN  
**ACTON, MASSACHUSETTS**  
(MIDDLESEX COUNTY)

FOR: **CONSTRUCTION DETAILS**  
**ACTON MANAGEMENT, INC.**  
SCALE: 1"=40' JUNE 27, 2014

**STAMSKI AND McNARY, INC.**  
1000 MAIN STREET ACTON, MASSACHUSETTS  
ENGINEERING - PLANNING - SURVEYING

0 20 40 80 120 160 FT  
(4860-SPC.dwg) GREAT ROAD SM-4860 Sheet 6 of 6

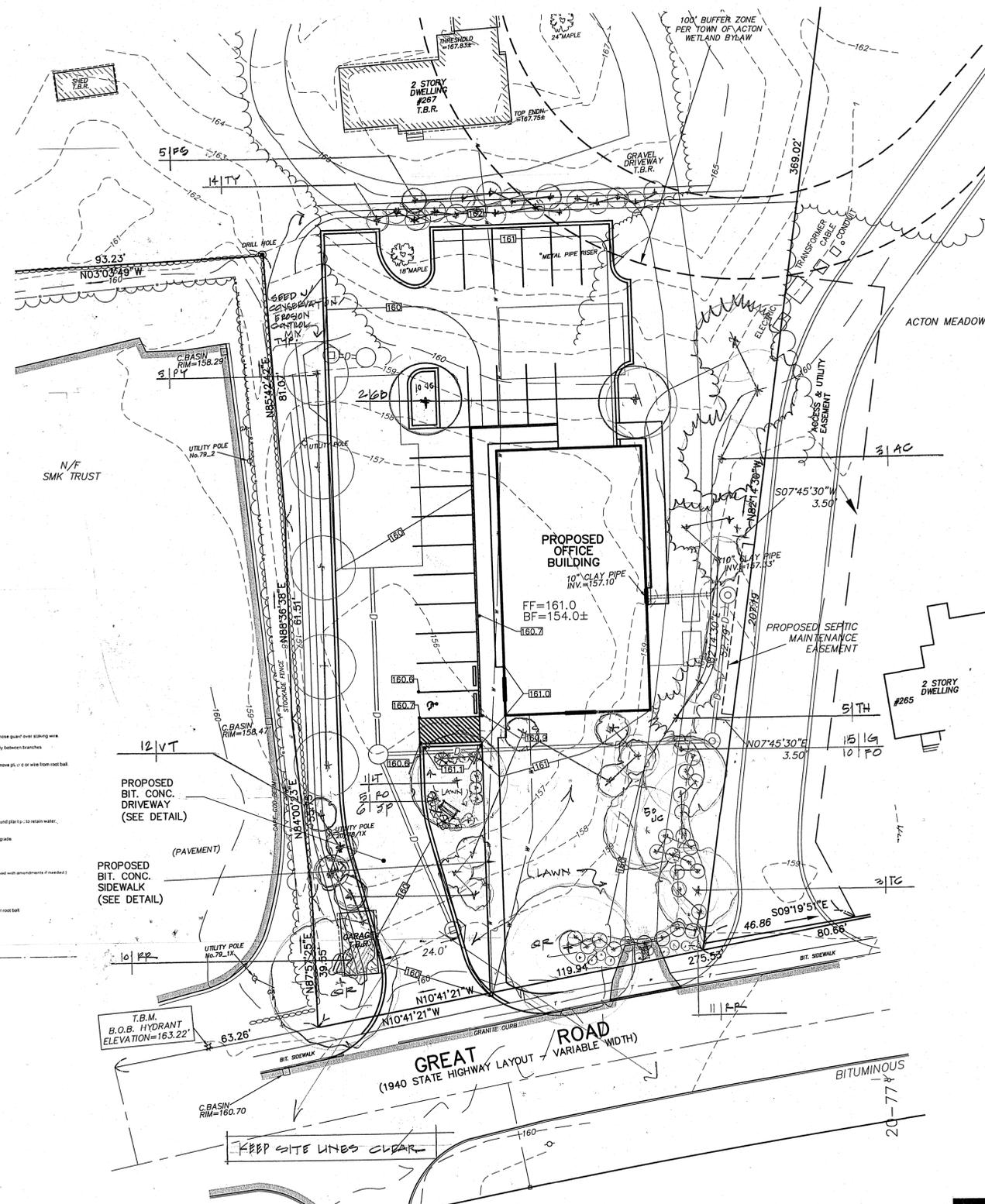
COMMONWEALTH OF MASSACHUSETTS  
**GEORGE DIMAKAKOS**  
CIVIL  
No. 41281  
REGISTERED PROFESSIONAL ENGINEER

**General Notes**

- All site information represented on this plan is illustrative, and must be verified by the contractor. Written specifications shall take precedence over representations on drawings.
- It is contractor's responsibility to become apprised of existing conditions, underground utilities, and overhead utilities. Coordination with all relevant companies or agencies, including permitting & Dig Safe, affected by this construction is contractor's responsibility. The contractor is required to obtain any necessary permits required from local authorities for all work in this contract.
- Contractor shall be responsible for on-site safety of construction crew, and particularly of safety of pedestrians during period of construction project.
- Extreme care shall be taken not to disturb existing plant materials, except those specifically noted to be transplanted or removed. Any plant injured or destroyed shall be replaced with a plant of equal or greater size and species at the contractor's expense.
- All unused materials that are movable shall be removed from site daily, or stored in such a way as to preclude loss or vandalism.
- All debris shall be removed, and all walks made free of obstructions, and site left in a neat, clean condition at the close of each workday.

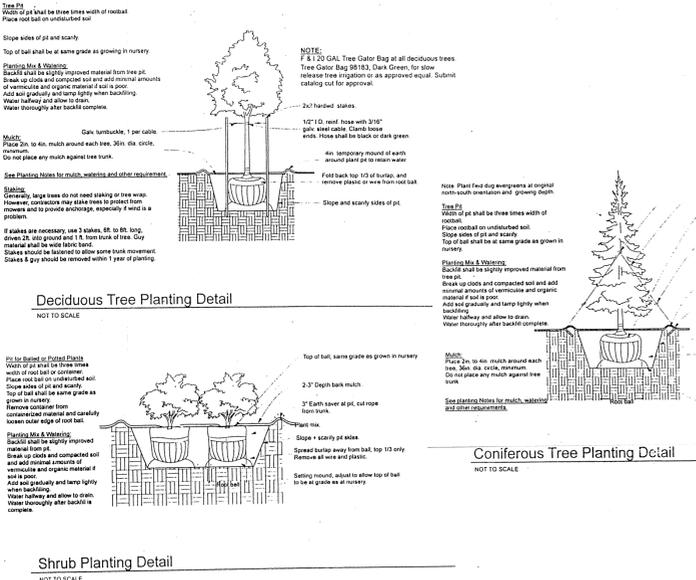
**Planting Notes**

- The Contractor shall locate and verify all utilities prior to starting work.
- The Contractor shall supply all plant materials in quantities sufficient to complete the planting shown on all Drawings. Plant counts are for convenience only. Contractor shall use sufficient plant materials to fulfill design intent, but in no case shall contractor use fewer plants than listed.
- All material shall conform to the guidelines established by the "American Standard for Nursery Stock", published by the American Association of Nurserymen.
- Contractor shall test soil in all plant areas and shall amend the soil as needed. Hard packed soil may need to be removed and replaced with rich, organic loam. The Contractor shall grade and blend new earthwork smoothly with existing contours. Fine grading must be accepted by the Owner's rep before planting begins.
- All plants shall bear the same relationship to finished grade as original grade before digging. Plants to be transported shall be dug carefully, with adequate rootballs and pruned according to ANA standard practice.
- All plants shall be balled in burlap or containerized, unless specified otherwise. All trees and shrubs shall be balled in burlap. No root bound container grown stock will be accepted. All plastic root wrapping and metal wire baskets shall be carefully removed at the time of planting, except that wire that is directly under the rootballs.
- All plant materials are subject to the approval of the Landscape Architect at the nursery and at the site. No unapproved substitutions will be accepted. All trees shall have a single leader unless specified otherwise.
- Trees, shrubs and perennials shall be laid out on site according to the Planting Plan for the approval of the project Landscape Architect. Layout shall be completed prior to arrival of the Landscape Architect. Notify Landscape Architect at least 4 days prior to anticipated date of layout. Coordinate layout and planting dates/times with Landscape Architect.
- Set plants and stakes plumb. The Contractor is responsible for providing planting soil for backfilling of all plants. Submit written content analysis to Owner/Rep. for approval.
- Flood plants thoroughly once immediately after planting and twice during the first twenty-four hour period after planting. The Contractor shall maintain the plants for a minimum of 30 days following installation, or longer if contracted by the Owner. Before the end of the 30day period, the contractor shall provide a written maintenance outline to the Owners and the Contractor shall be available to answer questions or concerns at that time.
- Mulch: Contractor shall place 2" - 3" of shredded leaf mulch throughout the plant bed areas and around the base of each new tree (30" diameter mulch bed, approximately). DO NOT PLACE MULCH AGAINST TREE TRUNKS. Submit sample of mulch for approval.
- All trees and shrubs shall be sprayed with anti-desiccant within twenty-four hours after planting. All plants to be sprayed with an anti-desiccant the first week of November the first winter following planting.
- All plants shall be guaranteed for a minimum of one year from the date of final acceptance of planting by the Landscape Architect. Contractor shall replace, at his/her own expense, any dead or diseased plants, or any plant material deemed by the Landscape Architect to be in poor condition.
- For lawn areas—contractor shall submit seed mix for approval and shall discuss installation methods and procedures with Landscape Architect and Owner's rep. prior to construction.
- All plants shall be guaranteed for a minimum of one year from the date of final acceptance of planting by the Landscape Architect. Contractor shall replace, at his/her own expense, any dead or diseased plants, or any plant material deemed by the Landscape Architect to be in poor condition.



**PLANT LIST**

Symbol/Botanical Name	Common Name	No.	Size	Remarks
<b>Deciduous Trees (all trees shall have a single leader unless noted otherwise)</b>				
TC/Carpinus carolina	American Hornbeam	9	2-2.5" C	May sub. Tilia tomentosa 'Sterling'
GB/Ginkgo biloba	Ginkgo	2	2-2.5" C	
LT/Liriodendron Tuliperifera	Tuliptree	1	2-2.5" C	Specimen shape
PY/Pyrus calleryana 'Aristocrat'	Aristocrat Flowering Pear	5	2-2.5" C	Matching
QO/Quercus rubra	Red Oak	2	2.5-3" C	Matching
<b>Evergreen Trees</b>				
AC/Abies concolor	White Fir	3	6-7" Ht	
TH/Thuja 'Green Giant'	Green Giant Arborvitae	6	7-8" Ht	
<b>Shrubs</b>				
FO/Fothergilla gardenii	Dwarf Fothergilla	10	24-30" Ht	White fls early May; specimen plants
FS/Forsythia 'Lynnwood Gold'	Lynnwood Gold Forsythia	5	3-4" Ht	
IG/Ilex crenata 'Green Luster'	Green Luster Holly	15	18-24" Ht	Matching, full plants; evergreen
RO/Rhododendron 'Olga Meitz'	Olga Meitz Rhododendron	5	2.5-3" Ht	Loose, open form; matching
RR/Rosa rugosa	Rugosa Rose	11	18-24" Ht	
SW/Spirea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	6	18-24" Ht	Full; matching, CG acceptable
TY/Rhus aromatica 'Grow Low'	Grow Low Sumac	14	#2 pot	
VT/Viburnum p.t. 'Shasta'	Shasta Viburnum	12	#7 pot	Full; matching
<b>Groundcover</b>				
JC/Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	60	1 Gal	6-12" Ht Groundcover
Lawn—Grass seed mix for areas as shown on the plan (Sun or semi shade mix as appropriate)				
Slope/disturbed areas—Conservation/erosion control mix				



**UTILITY NOTE:**  
 ALL UNDERGROUND UTILITIES SHOWN HERE WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION OR REPAIRING. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963 MASS. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS THE APPROPRIATE PUBLIC UTILITY ENGINEERING DEPARTMENT MUST BE CONSULTED. DIG SAFE TELEPHONE No. 1-888-344-7233.



Kim Ahern  
 Landscape Architects  
 40 Foster Street  
 Littleton, Massachusetts 01460  
 Telephone 978-486-0040

SITE PLAN  
 IN  
**ACTON, MASSACHUSETTS**  
 (MIDDLESEX COUNTY)  
 LANDSCAPE PLAN  
 FOR: **ACTON MANAGEMENT, INC.**  
 SCALE: 1"=20' JUNE 3, 2014

**STAMSKI AND MCNARY, INC.**  
 1000 MAIN STREET ACTON, MASSACHUSETTS  
 ENGINEERING - PLANNING - SURVEYING  
 0 10 20 40 60 80 FT  
 (4860-SPC.dwg) GREAT ROAD SM-4860