



# WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

## A. General Information

**Important:**  
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant:

Corey York, Town Engineer / Director of Public Works		CYork@town.acton.ma.us	
Name		E-Mail Address	
472 Main Street			
Mailing Address			
Acton		MA	01720
City/Town		State	Zip Code
(978) 929-6630		(978) 929-6340	
Phone Number		Fax Number (if applicable)	

2. Representative (if any):

Town of Acton Engineering Department			
Firm			
Paul Campbell		PCampbell@town.acton.ma.us	
Contact Name		E-Mail Address	
Town of Acton Engineering Department			
Mailing Address			
Acton		MA	01720
City/Town		State	Zip Code
(978) 929-6630		(978) 929-6340	
Phone Number		Fax Number (if applicable)	

## B. Determinations

1. I request the Town of Acton make the following determination(s). Check any that apply:  
Conservation Commission

- a. whether the **area** depicted on plan(s) and/or map(s) referenced below is an area subject to jurisdiction of the Wetlands Protection Act.
- b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced below are accurately delineated.
- c. whether the **work** depicted on plan(s) referenced below is subject to the Wetlands Protection Act.
- d. whether the area and/or work depicted on plan(s) referenced below is subject to the jurisdiction of any **municipal wetlands ordinance or bylaw** of:

Town of Acton  
Name of Municipality

- e. whether the following **scope of alternatives** is adequate for work in the Riverfront Area as depicted on referenced plan(s).

Central Street Sidewalk - Train to Halfmoon Hill



**WPA Form 1- Request for Determination of Applicability**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**C. Project Description**

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

Central St at Halfmoon Hill	Acton
Street Address	City/Town
n/a	n/a
Assessors Map/Plat Number	Parcel/Lot Number

b. Area Description (use additional paper, if necessary):

Central Street between Halfmoon Hill and Railroad tracks. Shoulder of roadway

---

---

---

---

c. Plan and/or Map Reference(s):

Town Atlas showing wetland areas	1/1/2006
Title	Date
Town of Acton Street Map (scale 1"=1200') - Locus Plan	1/1/2006
Title	Date
_____	_____
Title	Date

2. a. Work Description (use additional paper and/or provide plan(s) of work, if necessary):

The Town of Acton, through direction given by the Sidewalk Committee, has identified a priority list of streets for construction of new sidewalks for the benefit of the public. The sidewalks will connect missing gaps in between existing sidewalk locations and/or be a repaving of existing sidewalks. Typical sidewalks are 5-feet wide with a 3-foot "green strip" located between the sidewalk and the road. The location of the sidewalk will vary to avoid relocating objects such as utility poles and trees. Some vegetation will be removed, as well as any trees identified on the plans, in order to accomidate the sidewalk location. The top 3 to 6-inches of topsoil will be excavated and replaced with a compact fill as a base for the 3-inches of asphalt for the sidewalk.

---

---

---

---

---

---



## WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

### C. Project Description (cont.)

b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

The sidewalks are constructed as a public benefit and will be located within the public right-of-way or within an easement agreed upon with the abutting land owner. Each location will be constructed to comply with the MA Stormwater Regulations to the maximum extent practicable and with the overall Town environmental compliance plan.

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- Single family house on a lot recorded on or before 8/1/96
- Single family house on a lot recorded after 8/1/96
- Expansion of an existing structure on a lot recorded after 8/1/96
- Project, other than a single family house or public project, where the applicant owned the lot before 8/7/96
- New agriculture or aquaculture project
- Public project where funds were appropriated prior to 8/7/96
- Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- Residential subdivision; institutional, industrial, or commercial project
- Municipal project
- District, county, state, or federal government project
- Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)



# WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

## D. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Name and address of the property owner:

Steven L. Ledoux, Town Manager

Name

472 Main Street

Mailing Address

Acton

City/Town

MA

State

01720

Zip Code

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

Signature of Applicant

Date

Signature of Representative (if any)

Date

## Project Narrative

Central Street

### **Applicant/Project Name:**

Project Name: Proposed Sidewalk – Central Street

Project Location: Central Street – Between MBTA train tracks and Half Moon Hill

Applicant: Corey York, Town Engineer / Director of Public Works

472 Main Street, Acton, MA 01720

Telephone: (978) 929-6630

Fax: (978) 929-6340

Property Owner: Steve Ledoux, Town Manager

472 Main Street, Acton, MA 01720

Telephone: (978) 929-6630

Fax: (978) 929-6340

Representative: Paul Campbell, Assistant Town Engineer

472 Main Street, Acton, MA 01720

Telephone: (978) 929-6630

Fax: (978) 929-6340

### **Project Description**

The Acton Engineering Department is proposing to build a small section of sidewalk, about 450 feet long, that will complete the connection between the sidewalk on Half Moon Hill and the sidewalk at the MBTA train tracks. The proposed sidewalk provides a public benefit. Central Street is a highly traveled roadway in town and the proposed sidewalk will give residents a safe

means of travel between the Half Moon Hill development and the Idlewild Farms or schools nearby.

### **Existing Site Conditions**

The shoulder of the roadway is a grassed area by Half Moon Hill adjacent to Bordering Vegetative Wetlands. There is a bridge located at Fort Pond Brook with sufficient shoulder width for a 5 foot sidewalk.

The shoulder area is located in three resource areas: Bordering Vegetated Wetlands, Riverfront Area and Bordering Land Subject to Flooding.

### **Proposed Site Conditions**

The proposed sidewalk will be 5 feet wide and will match existing grades along the shoulder of the road. The depth of the sidewalk will be 3-inches of asphalt above a 12-inch gravel base. The sidewalk will abut the roadway separated by a 6-inch bituminous curb. The sidewalk will be pitched towards the road in order to keep runoff from entering the wetlands. Runoff will be treated via the existing stormwater drainage system on Central Street.

### **Compliance with Performance Standards**

#### *Bordering Land Subject to Flooding*

Due to the finished grade of the sidewalk matching the existing grade of the road shoulder, compensatory storage will not be required for the sidewalk. No flood storage volume will be lost, no flows will be restricted as to cause an increase in the flood stage of velocity nor should there be an adverse affect to wildlife habitat functions.

#### *Bordering Vegetative Wetlands*

No wetlands will be altered as a result of this project. The edge of wetlands were delineated by vegetation and it is expected that no wetland fill will be required. Should any wetland fill be required the area will minimal, far less than the 5,000 square feet allowed under the WPA. The entire surface area of the sidewalk will be less than 2,500 square feet.

#### *Riverfront Area*

The three performance standards for Riverfront area are 1) the protection of other resource areas 2) protection of rare species and 3) provide a practicable and substantially equivalent economic alternative analysis. Protection of the other resource areas have been summarized previously in this section and the area where the sidewalk will be constructed is not identified as an Estimated Habitat of Rare Species. The following is an alternative analysis:

### Option 1 – No Build

In this option, no sidewalk will be built. This would not meet the goal of the Town of Acton to provide sidewalks throughout the town and would force pedestrians making the connection from Half Moon Hill to Idlewild Farms to cross Central Street.

### Option 2 – Relocate sidewalk

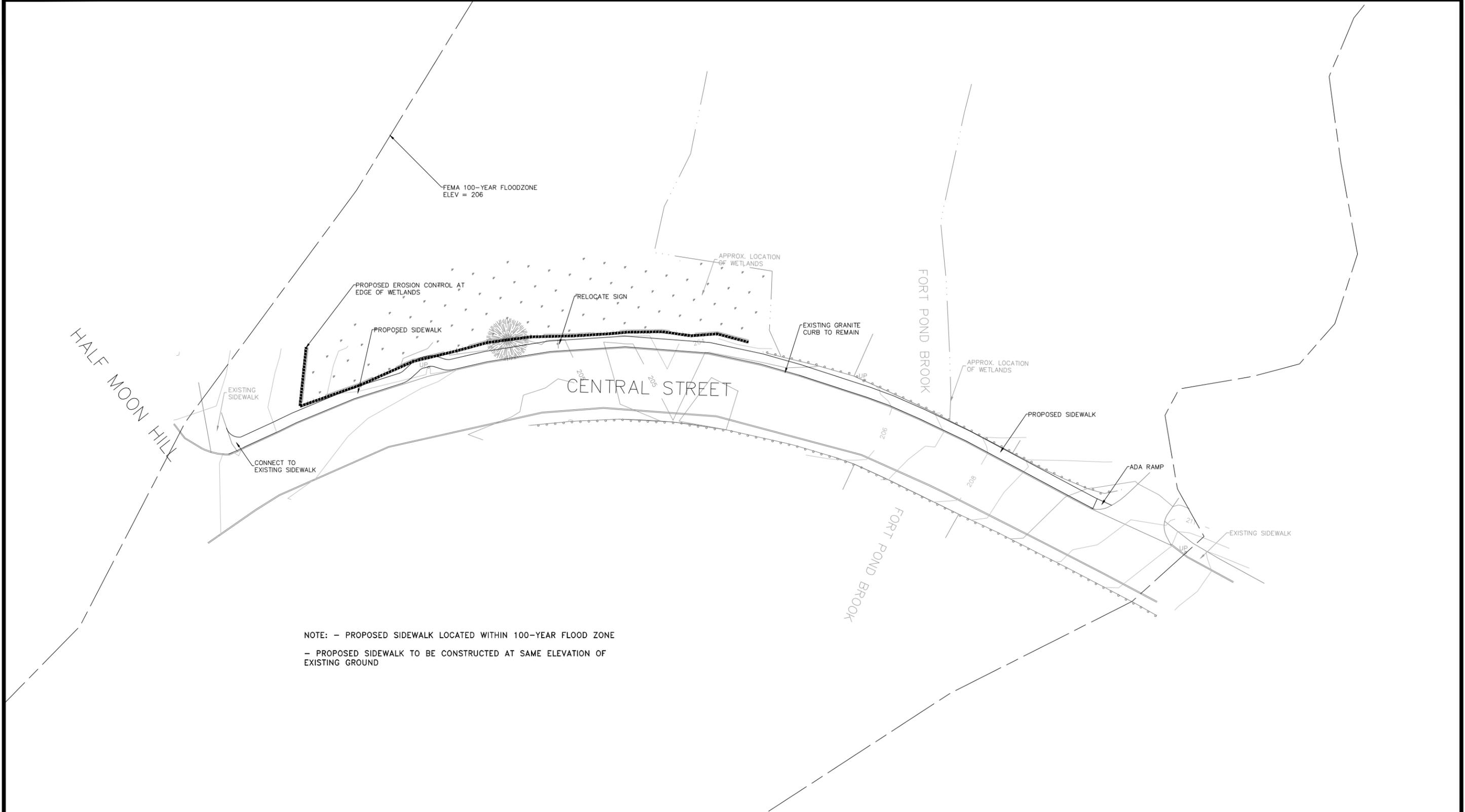
In order to complete the connection between the sidewalk on Half Moon Hill and the sidewalk at the train tracks, there is no other location practicable given the location of Central Street, Fort Pond Brook and the bordering wetlands.

### Option 3 – Build sidewalk along shoulder between Half Moon Hill and the train tracks

The proposed location is located immediately adjacent to Central Street as far away from the river as possible. The sidewalk will be located above the river on the bridge and outside of the “bank” of the river. The sidewalk provides a public good and this location meets the intent to locate it as far from the river as possible.

### **Summary**

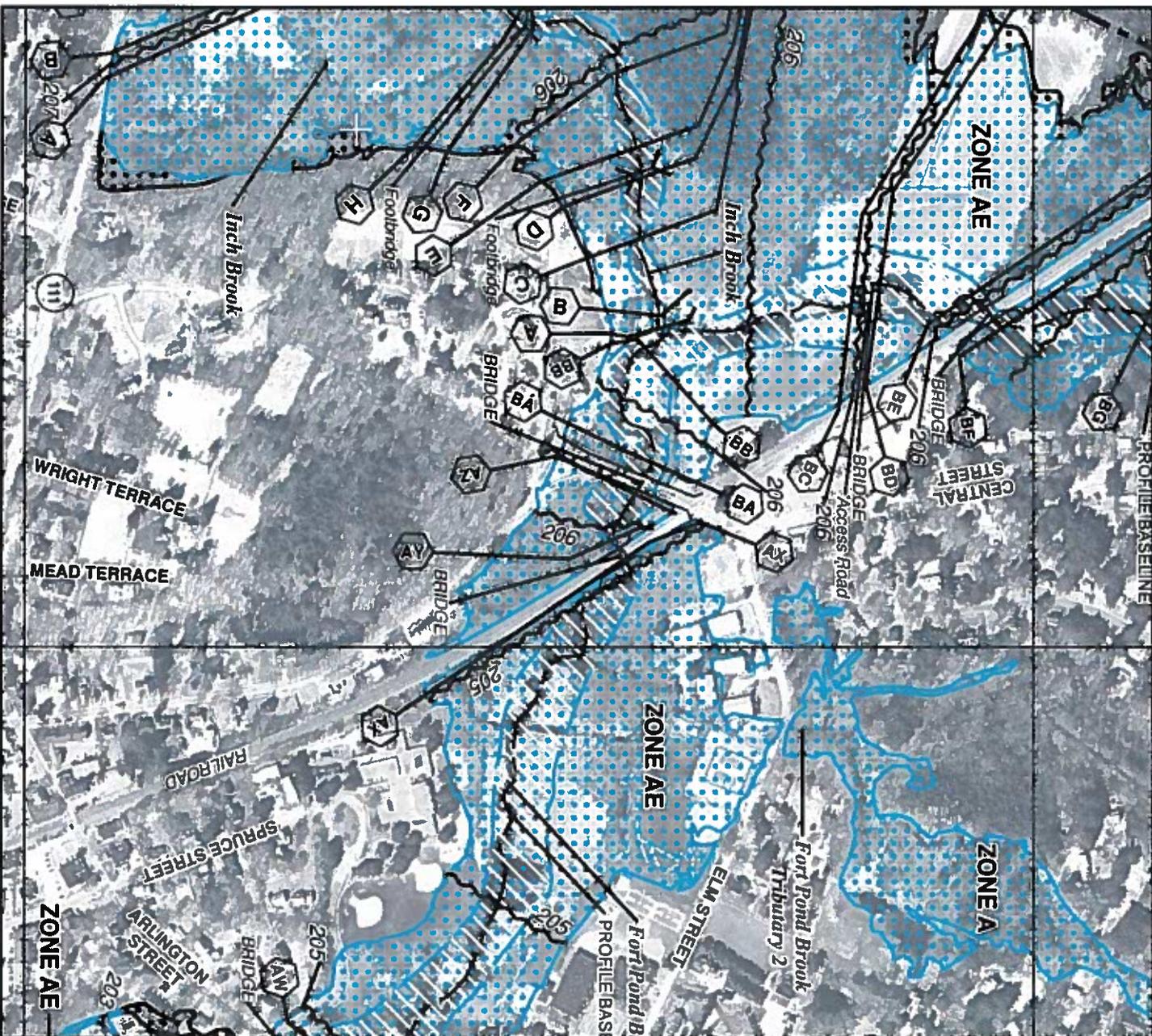
This sidewalk provides a public good and is located in an area that minimizes the impact to all resource areas. The sidewalk completes a logical connection between two existing sidewalks and meets the goal of the Town of Acton to provide safe pedestrian transportation throughout the Town.



NOTE: - PROPOSED SIDEWALK LOCATED WITHIN 100-YEAR FLOOD ZONE  
 - PROPOSED SIDEWALK TO BE CONSTRUCTED AT SAME ELEVATION OF EXISTING GROUND

Drawing name: P:\Drawings\Central Street - Sidewalk - Half Moon Hill to Train Tracks\GD\Proposed Sidewalk.dwg  
 Apr 01, 2015 10:12am

SURVEY: PVC/DS/QRP	TOWN OF ACTON ENGINEERING DEPARTMENT	
DESIGN: PVC	CENTRAL STREET SIDEWALK TRAIN TRACK TO HALFMOON	
DRAFTING: QRP	PROPOSED SIDEWALK	
CHECKED: CY	DRAWING NO: 1 OF 1	DATE: 1/24/2014



MAP SCALE 1" = 500'



**NFIP**

PANEL 0351F

**FIRM**  
 FLOOD INSURANCE RATE MAP  
 MIDDLESEX COUNTY,  
 MASSACHUSETTS  
 (ALL JURISDICTIONS)

PANEL 351 OF 656  
 (SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:  
 COMMUNITY NUMBER 250176  
 ACTION TOWN OF 250176  
 BOROUGH/TOWN OF 250176

PANEL 0351  
 SHEET F

Notice to User: The Map Number shown below should be used when placing map orders, the Community Number shown above should be used on insurance applications for the subject community.

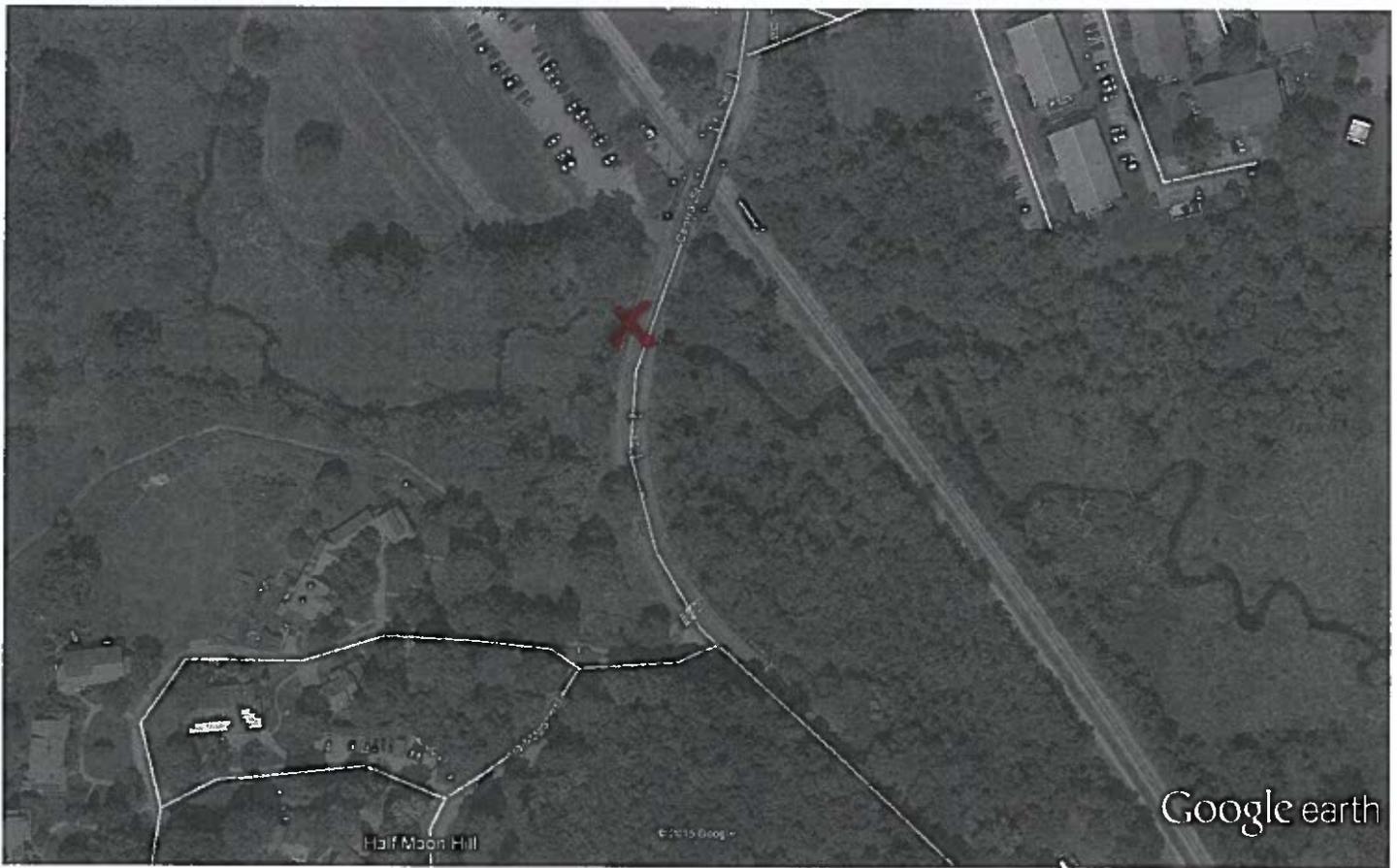
MAP NUMBER 250176C0351F  
 MAP REVISED JULY 7, 2014

Federal Emergency Management Agency



**NATIONAL FLOOD INSURANCE PROGRAM**

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at [www.fema.gov](http://www.fema.gov)



Google earth



X -  $42^{\circ} 28' 55.34''$  N  
 $71^{\circ} 28' 39.78''$  W

Questions concerning the VERTCON process may be mailed to NGS

---

Latitude: 42 28 55.34

Longitude: 071 28 39.78

NAVD 88 height: 205.50 FT

Datum shift (NAVD 88 minus NGVD 29): -0.797 feet

Converted to NGVD 29 height: 206.297 feet

---