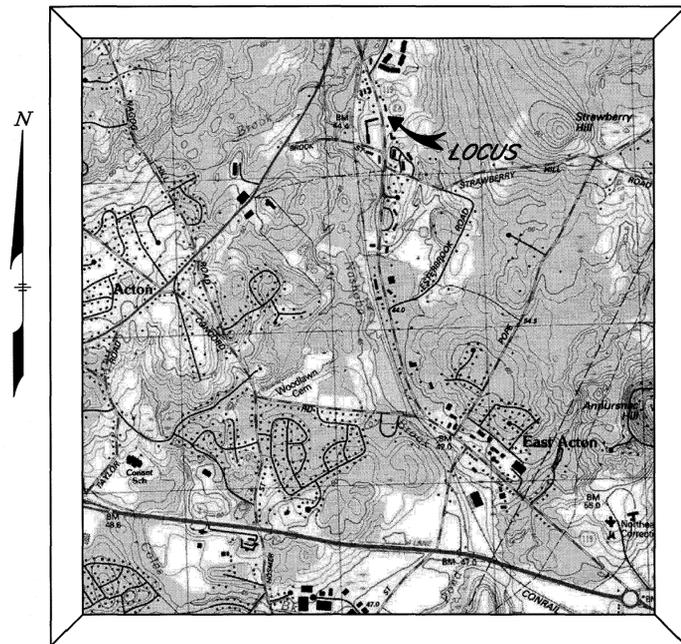


# SITE PLAN FOR ACTON MANAGEMENT, INC. 267 GREAT ROAD ACTON, MASSACHUSETTS

DATE: JUNE 27, 2014  
 REVISED: OCTOBER 10, 2014    REVISED: NOVEMBER 3, 2014  
 REVISED: OCTOBER 16, 2015    REVISED: FEBRUARY 3, 2016  
 REVISED: MARCH 15, 2016

**INDEX**

- SHEET 1    TITLE SHEET
- SHEET 2    EXISTING CONDITIONS PLAN
- SHEET 3    GRADING & DRAINAGE PLAN
- SHEET 4    LAYOUT PLAN
- SHEET 5-6    CONSTRUCTION DETAILS



LOCUS PLAN

**RECORD OWNER:**  
SPS-ACTON, LLC

**ZONING DISTRICT:**  
LIMITED BUSINESS  
GROUNDWATER PROTECTION DISTRICTS  
ZONES 2 AND 3

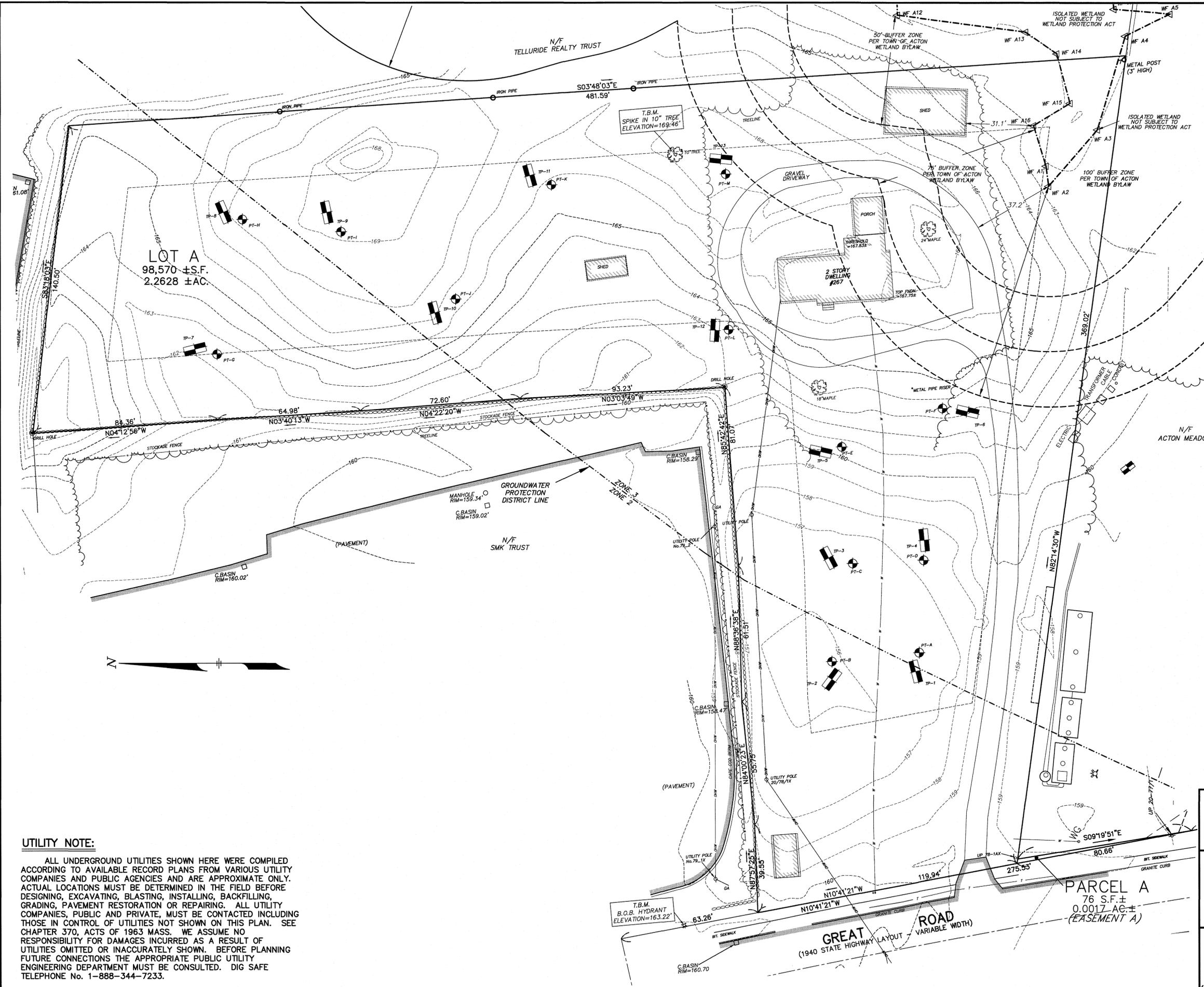
**REFERENCES:**  
MIDDLESEX REGISTRY OF DEEDS  
SOUTH DISTRICT  
TOWN MAP E5 PARCEL 13  
DEED BOOK 59933 PAGE 547  
DEED BOOK 60658 PAGE 414  
PLAN No. 269 OF 1933  
PLAN No. 878 OF 2012

**APPLICANT:**  
ACTON MANAGEMENT, INC.  
P.O. BOX 2350, 69 GREAT ROAD  
ACTON, MA



**ENGINEER/SURVEYOR**  
STAMSKI AND MCNARY, INC  
1000 MAIN STREET  
ACTON, MASSACHUSETTS 01720  
(978) 263-8585





**LEGEND:**

- CB CATCH BASIN
- CP CONCRETE PAD
- DMH DRAIN MANHOLE
- D SUBSURFACE DRAINAGE
- D.H. DRILL HOLE
- E ELECTRIC SERVICE (BURIED)
- EMH ELECTRIC MANHOLE
- FND. FOUND
- GG GAS GATE
- G GAS SERVICE (BURIED)
- GA GUY WIRE ANCHOR
- I.P. IRON PIPE
- LP LIGHTPOST
- MH MANHOLE
- MW MONITORING WELL
- N/F NOW OR FORMERLY
- OW OVERHEAD WIRES
- (REC.) RECORD
- RD ROOF DRAIN (BURIED)
- SMH SEWER MANHOLE
- SW STONE WALL
- TMH TELEPHONE MANHOLE
- T TELEPHONE SERVICE (BURIED)
- (TYP.) TYPICAL
- UG UNDERGROUND WIRES
- U.P. UTILITY POLE
- WG WATER GATE
- WS WATER SERVICE (BURIED)
- \*1 POSSIBLE ENCROACHMENTS

**UTILITY NOTE:**  
 ALL UNDERGROUND UTILITIES SHOWN HERE WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION OR REPAIRING. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963 MASS. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS THE APPROPRIATE PUBLIC UTILITY ENGINEERING DEPARTMENT MUST BE CONSULTED. DIG SAFE TELEPHONE No. 1-888-344-7233.

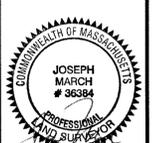
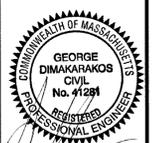
**SITE PLAN  
 IN  
 ACTON, MASSACHUSETTS  
 (MIDDLESEX COUNTY)**

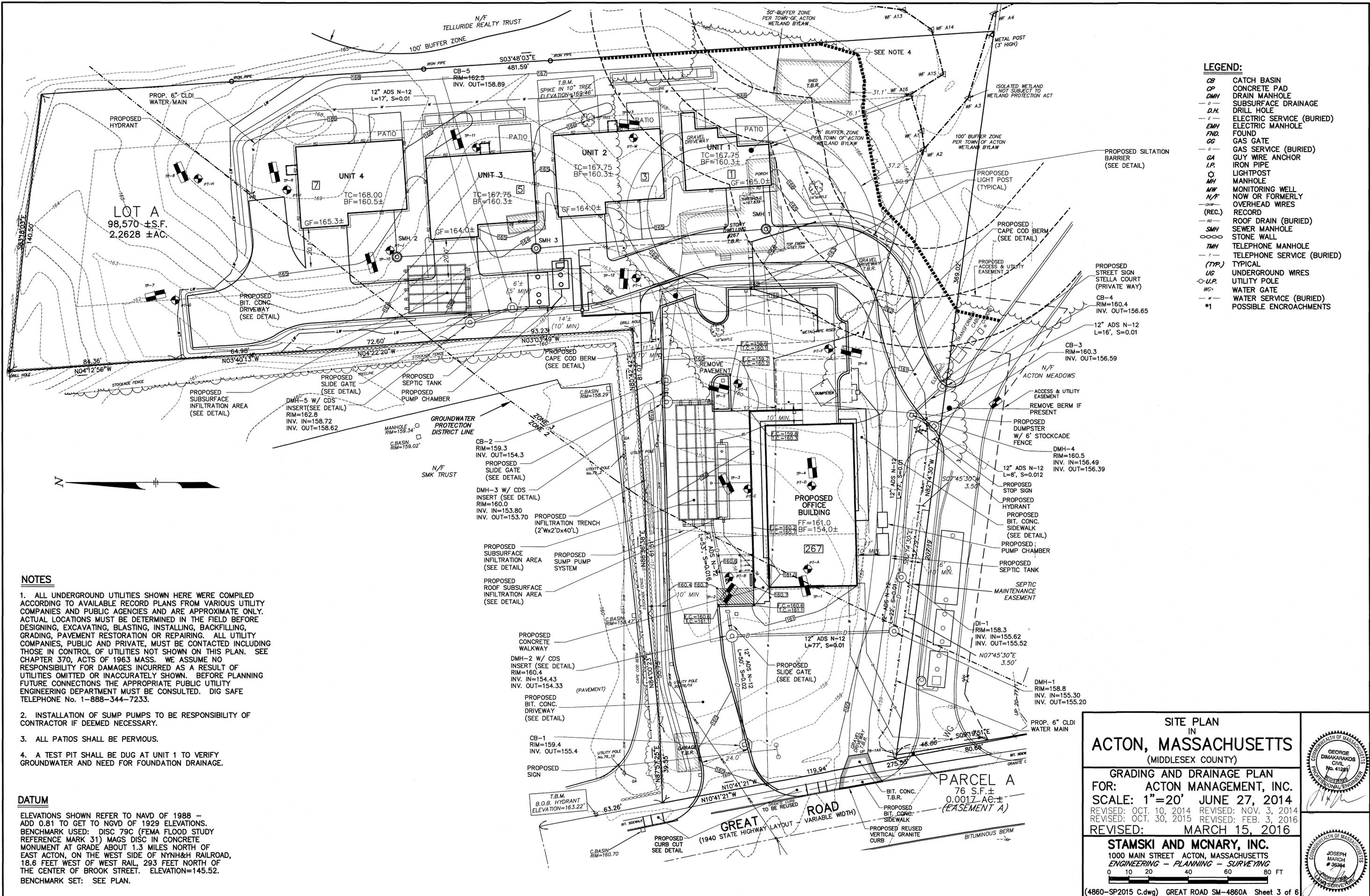
**EXISTING CONDITIONS PLAN  
 FOR: ACTON MANAGEMENT, INC.  
 SCALE: 1"=20' JUNE 27, 2014  
 REVISED: OCT. 10, 2014 REVISED: NOV. 3, 2014  
 REVISED: OCT. 30, 2015 REVISED: FEB. 3, 2016  
 REVISED: MARCH 15, 2016**

**STAMSKI AND MCNARY, INC.**  
 1000 MAIN STREET ACTON, MASSACHUSETTS  
 ENGINEERING - PLANNING - SURVEYING

0 10 20 40 60 80 FT

(4860-SP2015 C.dwg) GREAT ROAD SM-4860A Sheet 2 of 6





**LEGEND:**

- CB CATCH BASIN
- CP CONCRETE PAD
- DMH DRAIN MANHOLE
- D.S. SUBSURFACE DRAINAGE
- D.H. DRILL HOLE
- E.E. ELECTRIC SERVICE (BURIED)
- EMH ELECTRIC MANHOLE
- FND. FOUND
- GG GAS GATE
- G.S. GAS SERVICE (BURIED)
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- I.P. IRON PIPE
- LP LIGHTPOST
- MH MANHOLE
- MW MONITORING WELL
- N/F NOW OR FORMERLY OVERHEAD WIRES
- (REC.) RECORD
- RD ROOF DRAIN (BURIED)
- SMH SEWER MANHOLE
- SW STONE WALL
- TMH TELEPHONE MANHOLE
- (TYP.) TELEPHONE SERVICE (BURIED)
- UG UNDERGROUND WIRES
- U.P. UTILITY POLE
- WG WATER GATE
- W.S. WATER SERVICE (BURIED)
- \*1 POSSIBLE ENCROACHMENTS

**NOTES**

1. ALL UNDERGROUND UTILITIES SHOWN HERE WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION OR REPAIRING. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963 MASS. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS THE APPROPRIATE PUBLIC UTILITY ENGINEERING DEPARTMENT MUST BE CONSULTED. DIG SAFE TELEPHONE No. 1-888-344-7233.
2. INSTALLATION OF SUMP PUMPS TO BE RESPONSIBILITY OF CONTRACTOR IF DEEMED NECESSARY.
3. ALL PATIOS SHALL BE PERVIOUS.
4. A TEST PIT SHALL BE DUG AT UNIT 1 TO VERIFY GROUNDWATER AND NEED FOR FOUNDATION DRAINAGE.

**DATUM**

ELEVATIONS SHOWN REFER TO NAVD OF 1988 - ADD 0.81 TO GET TO NGVD OF 1929 ELEVATIONS. BENCHMARK USED: DISC 79C (FEMA FLOOD STUDY REFERENCE MARK 31) MAGS DISC IN CONCRETE MONUMENT AT GRADE ABOUT 1.3 MILES NORTH OF EAST ACTON, ON THE WEST SIDE OF NYNH&H RAILROAD, 18.6 FEET WEST OF WEST RAIL, 293 FEET NORTH OF THE CENTER OF BROOK STREET. ELEVATION=145.52. BENCHMARK SET: SEE PLAN.

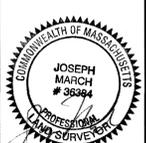
**SITE PLAN**  
IN  
**ACTON, MASSACHUSETTS**  
(MIDDLESEX COUNTY)

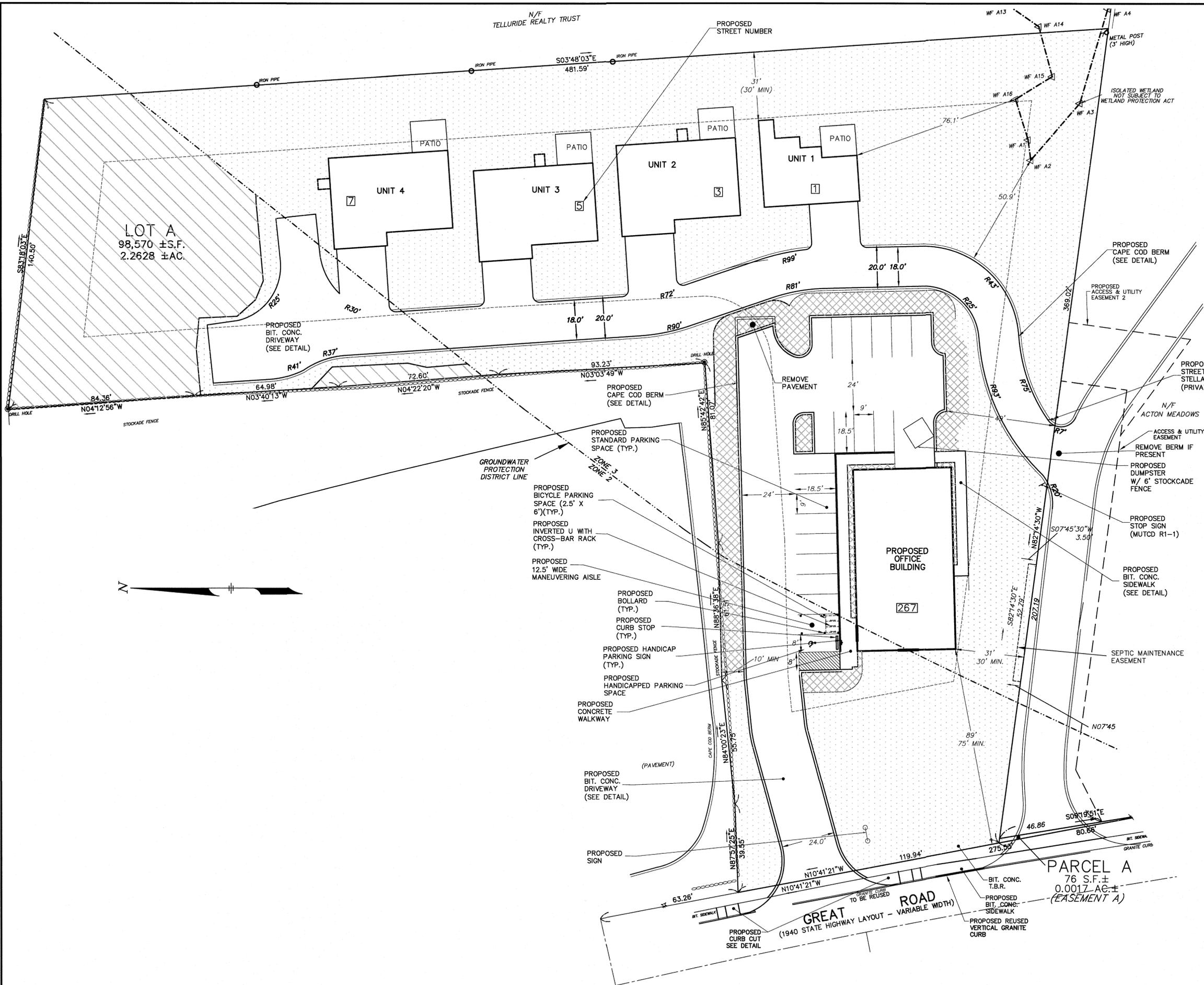
**GRADING AND DRAINAGE PLAN**  
FOR: **ACTON MANAGEMENT, INC.**  
SCALE: 1"=20' JUNE 27, 2014  
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ENGINEERING - PLANNING - SURVEYING

0 10 20 40 60 80 FT

(4860-SP2015 C.dwg) GREAT ROAD SM-4860A Sheet 3 of 6





- LEGEND:**
- CB CATCH BASIN
  - CP CONCRETE PAD
  - DMH DRAIN MANHOLE
  - D— SUBSURFACE DRAINAGE
  - D.H. DRILL HOLE
  - E— ELECTRIC SERVICE (BURIED)
  - EMH ELECTRIC MANHOLE
  - FND. FOUND
  - GC GAS GATE
  - GS GAS SERVICE (BURIED)
  - GA GUY WIRE ANCHOR
  - I.P. IRON PIPE
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  - TMH TELEPHONE MANHOLE
  - T— TELEPHONE SERVICE (BURIED)
  - (TYP.) TYPICAL
  - UG UNDERGROUND WIRES
  - U.P. UTILITY POLE
  - WG+ WATER GATE
  - W— WATER SERVICE (BURIED)
  - ▨ PERIMETER LANDSCAPING
  - OPEN SPACE
  - ▨ UNDISTURBED OPEN SPACE
  - 1 PROPOSED STREET NUMBER

**LAND USE DATA**

ZONING DISTRICT:	REQUIRED:	PROVIDED:
MIN LOT AREA:	20,000 SF	98,646 SF
MIN LOT FRONTAGE:	200 FT	200.6 FT
MIN LOT WIDTH:	50 FT	> 50 FT
MIN FRONT YARD:	75 FT	> 75 FT
MIN SIDE & REAR YARD:	30 FT	31 FT
MIN OPEN SPACE:	LOT AREA IN ZONE 2: 31,067 SF LOT AREA IN ZONE 3: 67,579 SF	
GWPD ZONE 2:	70% (21,747 SF)	72% (22,261)
GWPD ZONE 3:	50% (33,790 SF)	52% (35,076)
MIN UNDISTURBED OPEN SPACE:		
GWPD ZONE 2:	40% (12,427 SF)	41% (12,565)
MAX. IMPERVIOUS COVERAGE:		
GWPD ZONE 2:	30% (9,320 SF)	26% (7,968)

**FLOOR AREA REQUIREMENTS**

DEVELOPABLE SITE AREA (DSA)	(ROW) (NET)	DEVELOPABLE SITE AREA (DSA)
98,646-76-1,086=	98,646 SF	97,484 SF
0.2 x 97,484 =	19,496 SF	
	17,891 SF	
PROPOSED NET FLOOR AREA =	3,183 SF	
PROPOSED DWELLING NET FLOOR AREA =	14,708 SF	
PROPOSED NET FLOOR AREA RATIO =	0.184	

**PARKING REQUIREMENTS:**  
(FROM SECTION 5.4.6.2)

MAXIMUM # PARKING SPACES:	
1 SPACE / 3,000 SF OF DSA X 97,484 SF =	32 SPACES

(FROM SECTION 6.3.1)

OFFICE USE:	
1 SPACE / 250 SF OF NFA x 3,183 SF =	13 SPACES
RESIDENTIAL USE:	
2 SPACE / DWELLING UNIT =	8 SPACES
NUMBER OF SPACES REQ'D =	21 SPACES
NUMBER OF SPACES PROVIDED =	27 SPACES*

\*STANDARD SIZE = 26 AND HANDICAPPED SPACE(S) = 1

**SEWAGE FLOW:**

3,183 SF OFFICE X 75 GPD/1000 SF =	239 GPD (OFFICE)
16 BEDROOMS X 110 GPD/BDRM =	1,760 GPD (RESIDENTIAL)
	TOTAL = 1,999 GPD

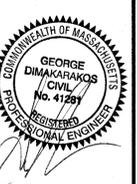
**SITE PLAN**  
IN  
**ACTON, MASSACHUSETTS**  
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**LAYOUT PLAN**  
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SCALE: 1"=20' JUNE 27, 2014  
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1000 MAIN STREET ACTON, MASSACHUSETTS  
ENGINEERING - PLANNING - SURVEYING

0 10 20 40 60 80 FT

(4860-SP2015 C.dwg) GREAT ROAD SM-4860A Sheet 4 of 6



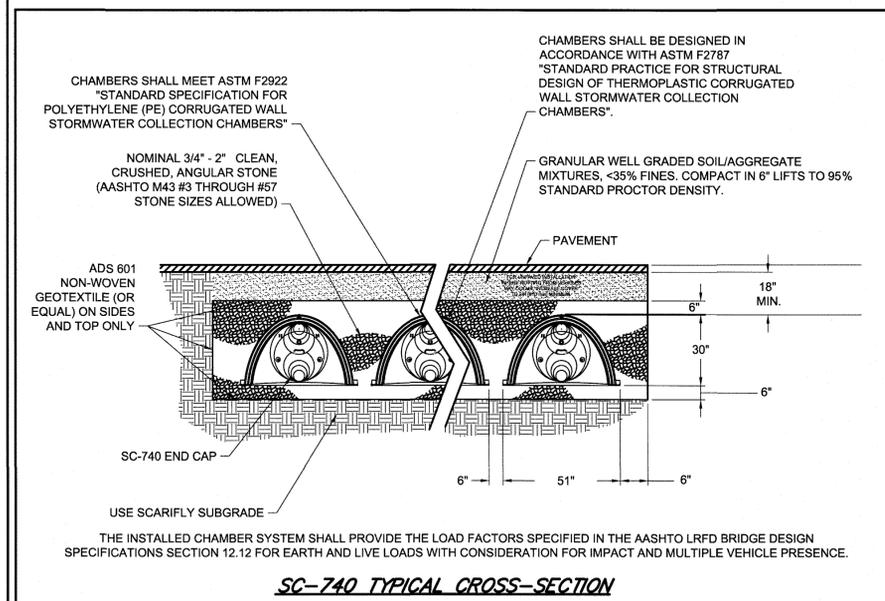
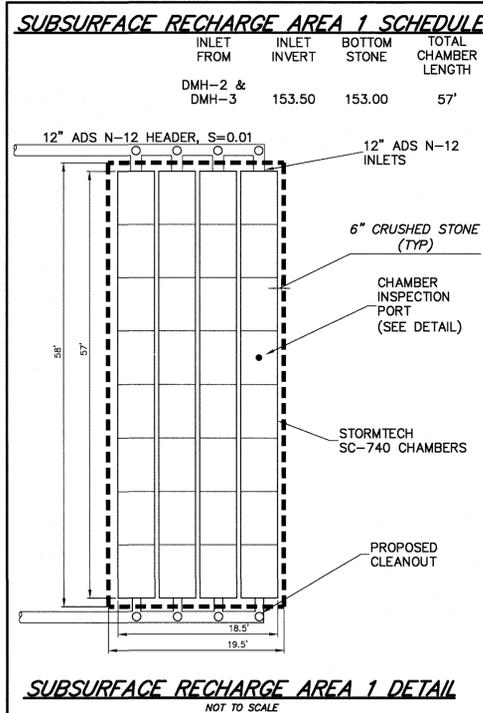
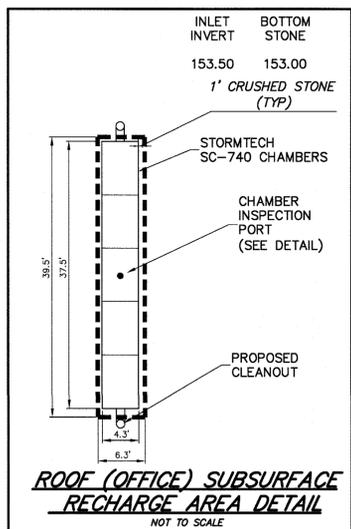
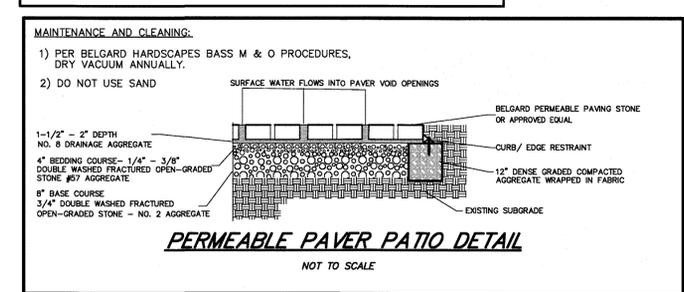
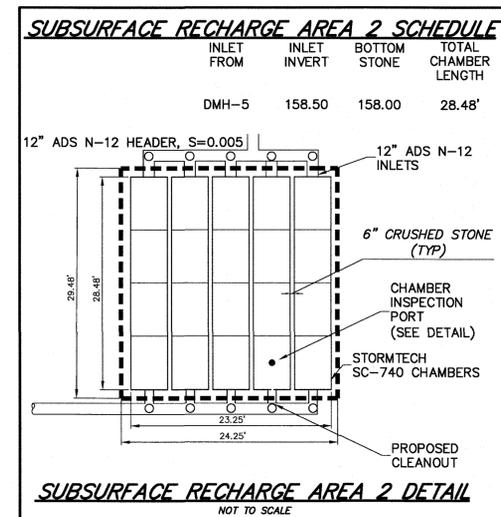
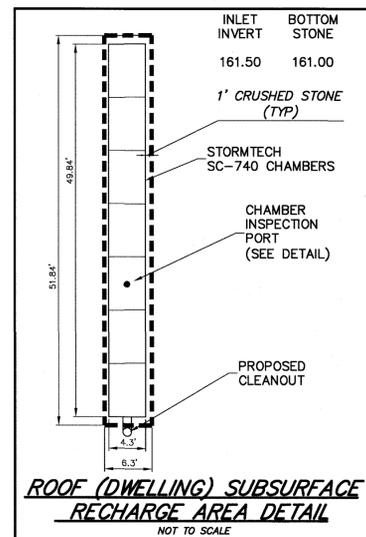
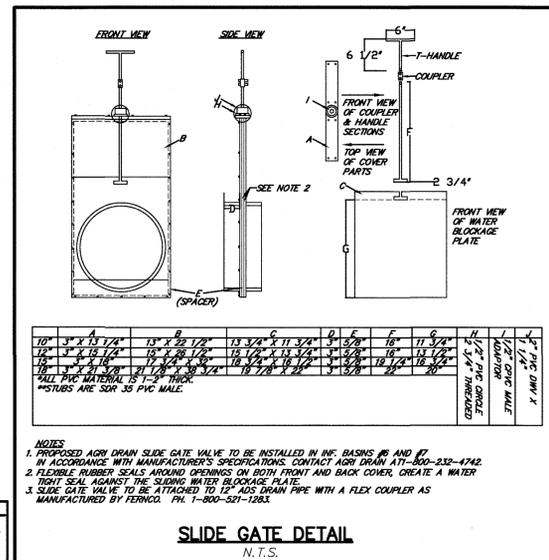
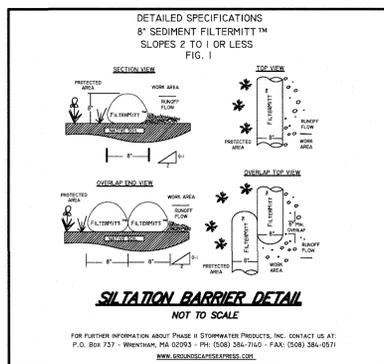
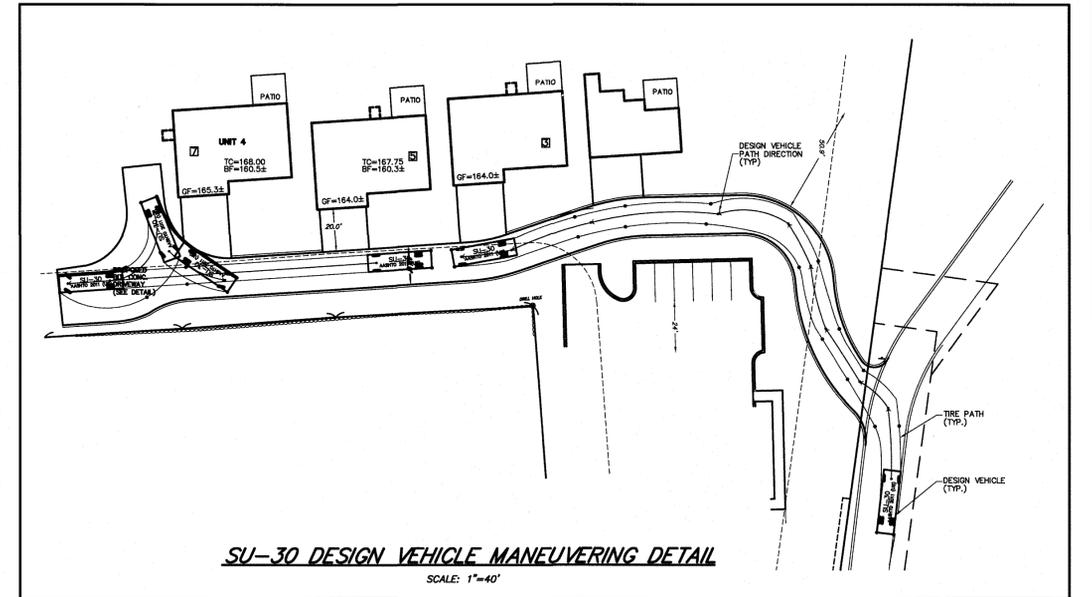
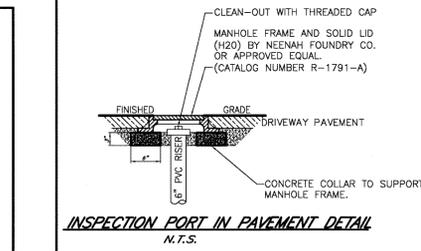
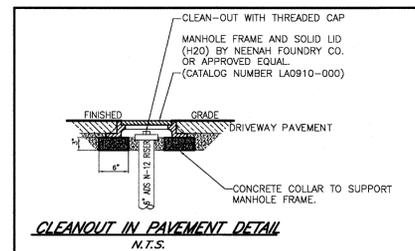
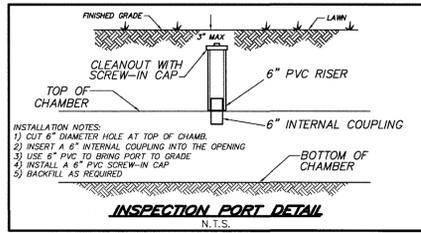
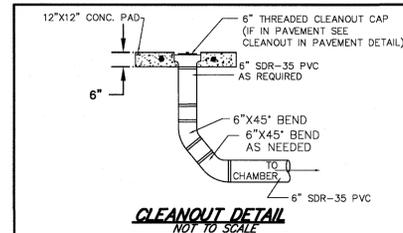


**GENERAL NOTES**

1. ALL UNDERGROUND UTILITIES SHOWN HEREON WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION OR REPAIRING. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963 MASS. WE ASSUME NO RESPONSIBILITY FOR DAMAGE INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE APPROPRIATE PUBLIC UTILITY ENGINEERING DEPARTMENT MUST BE CONSULTED. DIG-SAFE TELE. NO. (888) 344-7233.
2. UNLESS OTHERWISE SPECIFIED ON THESE PLANS, ALL CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH SPECIFICATIONS OUTLINED IN THE ACTON ZONING BYLAW AND THE ACTON RULES AND REGULATIONS FOR SITE PLAN SPECIAL PERMITS.
3. ALL LIMITS OF WORK SHALL BE LOCATED IN THE FIELD PRIOR TO CONSTRUCTION OR SITE CLEARING.
4. ALL WATER PIPES, HYDRANTS, GATE VALVES AND OTHER APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE ACTON WATER SUPPLY DISTRICT REQUIREMENTS.
5. ALL STUMPS AND OTHER CONSTRUCTION DEBRIS SHALL BE PROPERLY REMOVED ANY FILL MATERIAL USED SHALL BE FREE OF HAZARDOUS MATERIALS OR WASTE.
6. ALL DRAIN PIPES SHALL BE ADS N-12 UNLESS OTHERWISE SHOWN.
7. TRANSPORTATION OF FILL, EARTH, OR CONSTRUCTION DEBRIS TO OR FROM THE SITE SHALL BE RESTRICTED TO DAYTIME HOURS (9 AM TO 4 PM) MONDAY THROUGH FRIDAY.
8. CONSTRUCTION SHALL BE IN ACCORDANCE WITH 521 CMR - ARCHITECTURAL ACCESS BOARD REGULATIONS. ALL PROPOSED SIDEWALKS SHALL HAVE A MAX. CROSS SLOPE OF 2% THE PROPOSED HANDICAP PARKING STALLS AND ADJACENT AREAS SHALL HAVE A MAX. SLOPE OF 2% IN ALL DIRECTIONS. A WAIVER TO THE REGULATIONS MAY BE NEEDED FOR HANDICAPPED PARKING SPACE LOCATIONS AND MUST BE CONFIRMED BY OWNER OR ARCHITECT.
9. IT IS ANTICIPATED THE EXISTING SEPTIC TANKS, SOIL ABSORPTION SYSTEM, AND WATER LINE WILL BE ENCOUNTERED DURING CONSTRUCTION. THE EXISTING ONSITE SOIL ABSORPTION SYSTEM AND ASSOCIATED TANKS SHALL BE ABANDONED PURSUANT TO 310CMR 15.354 ABANDONMENT OF SYSTEMS OR REMOVED FROM SITE.
10. TURNING RADII HAS BEEN DESIGNED TO ACCOMMODATE A SU-30 VEHICLE.
11. ANY FILL MATERIAL USED SHALL BE FREE OF HAZARDOUS MATERIALS OR WASTE.
12. USE THE EXISTING GRANITE CURBING AT THE PROPOSED ENTRANCE TO FILL IN THE EXISTING ENTRANCE.
13. THE DEVELOPER IS RESPONSIBLE FOR CLEAN UP OF ANY SAND, DIRT OR DEBRIS WHICH ERODES FROM THE SITE ONTO GREAT ROAD AND TO REMOVE SILT OR DEBRIS THAT ENTERS ANY EXISTING DRAINAGE SYSTEM INCLUDING, BUT NOT LIMITED TO, CATCH BASIN SUMPS, PIPE LINES, MANHOLES, AND DITCHES IMMEDIATELY UPON DISCOVERY.
14. SIGNAGE LOCATION AND PERMIT SUBJECT TO TOWN APPROVAL.

**DRAINAGE SYSTEM OPERATION AND MAINTENANCE PLAN**

1. BMP OWNER:
  - OFFICE: ACTON MANAGEMENT, INC. 69 GREAT ROAD, ACTON, MA 01720
  - RESIDENTIAL: HOMEOWNER'S ASSOCIATION
2. PARTIES RESPONSIBLE FOR MAINTENANCE: SAME AS ABOVE
3. SCHEDULE FOR INSPECTION AND MAINTENANCE:
  - DEEP SUMP AND HOODED CATCH BASIN: THE DEEP SUMPS FOR THE CATCH BASINS SHALL BE INSPECTED AND CLEANED QUARTERLY. THE CATCH BASINS HAVE A FOUR FOOT DEEP SUMP AND THE WATER LEVEL IS MAINTAINED BY THE DISCHARGE PIPE AT FOUR FEET. THE DISCHARGE PIPE IS HIDDEN FROM VIEW BY A HOODED OUTLET. THE DEPTH OF THE SEDIMENT IN THE BASIN SHALL NOT EXCEED A DEPTH OF 18 INCHES AS DETERMINED BY PROBING WITH A STICK. IF THE STICK HITS THE BOTTOM WITHIN 30 INCHES OF THE WATER LEVEL, MORE THAN 18 INCHES OF SEDIMENT HAS ACCUMULATED AND MUST BE REMOVED. LICENSED PERSONS SHOULD REMOVE AND DISPOSE OF THE CONTENTS OF THE SUMP IN ACCORDANCE WITH APPLICABLE REGULATIONS.
  - VORTSENTRY HS: INSPECTION AND MAINTENANCE OF THE VORTSENTRY HS CAN BE PERFORMED FROM THE SURFACE, WITHOUT ENTRY INTO THE UNIT. PERFORM MAINTENANCE A MINIMUM OF TWICE PER YEAR. THE VORTSENTRY HS SHOULD BE CLEANED ONCE THE SEDIMENT HAS REACHED A DEPTH OF TWO FEET IN THE CHAMBER. PERFORM FREQUENT INSPECTIONS DURING THE FIRST YEAR OF INSTALLATION TO ACCURATELY ESTABLISH THE MAINTENANCE SCHEDULE. REMOVE OIL AND SEDIMENT THROUGH THE MANHOLE COVER WITH THE USE OF A VACUUM TRUCK.
  - DISPOSAL FROM THE VORTSENTRY HS ARE SIMILAR TO THAT OF ANY OTHER BEST MANAGEMENT PRACTICE (BMP). CONSULT LOCAL GUIDELINES OR YOUR VORTSENTRY HS AREA MARKETING MANAGER PRIOR TO DISPOSING THE SEPARATOR CONTENTS.
4. SUBSURFACE RECHARGE AREAS:
  - THE INFILTRATION BED CLEANOUTS SHALL BE OPENED AND INSPECTED ANNUALLY. IF THE WATER LEVEL IS MORE THAN 24 INCHES ABOVE THE BOTTOM OF STONE ELEVATION, THE CHAMBERS SHALL BE FLUSHED WITH A PRESSURE HOSE, AND IF AFTER 24 HOURS THE WATER LEVEL HAS NOT DROPPED, THE INFILTRATION BED MAY HAVE TO BE REPLACED. (NOTE: THE RELATIVE ELEVATIONS OF CLEANOUT RIMS AND THE BOTTOM OF STONE SHALL BE TAKEN FROM THE SITE PLAN AS-BUILT. THIS INSPECTION SHOULD NOT BE DONE WITHIN 72 HOURS OF A RAIN EVENT.)
  - POBOS PATIO: CLEAN THE PAVERS EACH SPRING WITH A COARSE BRISTLE BROOM. APPLY WEED PREVENTATIVE AS NEEDED. BE CAREFUL USING A POWER WASHER AS IT MAY EXPOSE THE AGGREGATE ON THE PAVER'S SURFACE.
5. EMERGENCY CONTACTS:
  - IN THE EVENT OF A HAZARDOUS MATERIALS SPILL ON THE SITE THE FOLLOWING PARTIES SHALL BE CONTACTED: FIRE DEPARTMENT: PH: 978-264-9645
6. RECORDS:
  - THE OWNER SHALL MAINTAIN AN INSPECTION LOG OF ALL ELEMENTS OF THE STORM WATER MANAGEMENT PLAN. THE OWNER SHALL MAINTAIN A MAINTENANCE LOG DOCUMENTING THE INSPECTION AND MAINTENANCE OF THE DRAINAGE STRUCTURES UNDER HIS CONTROL. A COPY OF THE EROSION CONTROL AND STORM WATER MAINTENANCE PLAN AND INSPECTION LOGS SHALL BE KEPT ONSITE AT ALL TIMES.



**SITE PLAN**  
IN  
**ACTON, MASSACHUSETTS**  
(MIDDLESEX COUNTY)

**CONSTRUCTION DETAILS**  
FOR: ACTON MANAGEMENT, INC.  
SCALE: 1"=20' JUNE 27, 2014  
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1000 MAIN STREET ACTON, MASSACHUSETTS  
ENGINEERING - PLANNING - SURVEYING

0 10 20 40 60 80 FT

(4860-SP2015 C.dwg) GREAT ROAD SM-4860A Sheet 6 of 6

