

DEP File No.

(To be provided by DEP)

Form 3

City/Town Acton

Applicant Acorn Homes, Inc.

Commonwealth
of Massachusetts

Department of
Defense
United States
of America

**Notice of Intent
Under the
Massachusetts Wetlands Protection Act, G.L. c. 131, §40
and
Application for a Department of the Army Permit
and**

Town of Acton Wetlands Protection Bylaw, Ch. F

Part I: General Information

1. Location: Street Address 520 Acorn Park Drive

Lot Number E.U.A. 41

2. Project: Type Residential description Construction of single family dwelling, driveway, utilities, and associated grading within the 100 foot Buffer Zone of a Bordering Vegetated Wetland

3. Registry: County South Middlesex Instrument No. 614 dated August 13, 1991 Current Book _____ & Page _____
Certificate (if Registered Land) _____

4. Applicant Acorn Homes, Inc. Tel. (617)328-8200
Address 150 Wood Road ; Braintree, MA 02184

5. Property Owner Acorn Homes, Inc. Tel. (617)328-8200
Address 150 Wood Road; Braintree, MA 02184

6. Representative Stamski and McNary, Inc. Tel. (508)263-8585
Address 80 Harris Street; Acton, MA 01720
(For engineering purposes only)

7. a. Have the Conservation Commission and the Department's Regional Office each been sent, by certified mail or hand deliver, 2 copies of completed Notice of Intent, with supporting plans and documents?

Yes No

b. Has the fee been submitted? Yes No

c. Total Filing Fee Submitted \$250.00

d. City/Town Share of Filing Fee \$137.50 State Share of Filing Fee \$112.50
(sent to City/Town) (Plus \$50.00 (% of fee in excess of \$25, sent to DEP)
Bylaw fee)

e. Is a brief statement attached indicating how the applicant calculated the fee? Yes No

8. Have all obtainable permits, variances and approvals required by local by-law been obtained? Yes No

Obtained	Applied For:	Not Applied For:
	Acton Wetlands Bylaw	

9. Is any portion of the site subject to a Wetlands Restriction Order pursuant to G.L. c. 131, §40A or G.L. c. 130, §105? Yes No

10. List all plans and supporting documents submitted with this Notice of Intent.

Identifying Number/Letter	Title, Date
Attachment A	USGS Quadrangle - Westford
Attachment B	Proposed Grading Plan prepared by Stamski and McNary, Inc. dated August 27, 1996

11. Check those resource areas within which work is proposed:

(a) Buffer Zone

(b) Inland:

Bank*

Bordering Vegetated Wetland*

Land Under Water Body & Waterway*

Land Subject to Flooding

Bordering

Isolated

(c) Coastal:

Land Under the Ocean*

Coastal Beach*

Barrier Beach*

Rocky Intertidal Shore*

Land Under Salt Pond*

Fish Run*

Designated Port Area*

Coastal Dune

Coastal Bank

Salt Marsh*

Land Containing Shellfish*

*Likely to involve U.S. Army Corps of Engineers concurrent jurisdiction. See General Instructions for Completing Notice of Intent.

12. In the project within estimated habitat which is indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetlands Wildlife (if any) published by the Natural Heritage and Endangered Species Program?

YES [] NO [X] Date printed on the Estimated Habitat Map
 NO MAP AVAILABLE [] (if any) 1995 - 1996 Edition

If yes, have you sent a copy of the Notice of Intent to the Natural Heritage and Endangered Species Program via the U.S. Postal Service by certified or priority mail (or otherwise sent it in a manner that guarantees delivery within two days) no later than the date of the filing of this Notice of Intent with the conservation commission and the DEP regional office?

YES [] NO []

If yes please attach evidence of timely mailing or other delivery to the Natural Heritage and Endangered Species Program.

Part II: Site Description

Indicate which of the following information has been provided (on a plan, in narrative description or calculations) to clearly, completely and accurately describe existing site conditions.

Identifying Number/Letter (of plan, narrative or calculations)	<u>Natural Features</u>
<u>B</u>	Soils
<u>B</u>	Vegetation
<u>A, B</u>	Topography
<u>A</u>	Open water bodies (including ponds and lakes)
<u>A</u>	Flowing water bodies (including streams and rivers)
<u>N/A</u>	Public and private surface water and ground water supplies on or within 100 feet of site
<u>---</u>	Maximum annual ground water elevations with dates and location of test
<u>B</u>	Boundaries of resource areas checked under Part 1, item 11 above
<u>---</u>	Other
	<u>Man-made Features:</u>
<u>B</u>	Structures (such as buildings, piers, towers and headwalls)
<u>B</u>	Drainage and flood control facilities at the site and immediately off the site, including culverts and open channels (with inverts), dams and dikes
<u>N/A</u>	Subsurface sewage disposal systems
<u>B</u>	Underground utilities

<u> B </u>	Roadways and parking areas
<u> B </u>	Property boundaries, easements and rights-of-way
<u> --- </u>	Other

Part III: Work Description

Indicate which of the following information has been provided (on a plan, in narrative description or calculations) to clearly, completely and accurately describe work proposed within each of the resource areas checked in Part I, item 11 above.

Identifying Number/Letter (of plan, narrative or calculations)	
<u> B </u>	<u>Planview and Cross Section of:</u> Structures (such as buildings, piers, towers and headwalls)
<u> N/A </u>	Drainage and flood control facilities, including culverts and open channels (with inverts), dams and dikes
<u> B </u>	Subsurface sewage disposal systems & underground utilities
<u> N/A </u>	Filling, dredging and excavating, indicating volume and composition of material
<u> N/A </u>	Compensatory storage areas, where required in accordance with Part III, Section 10.57(4) of the regulations.
<u> N/A </u>	Wildlife habitat restoration or replication areas
<u> --- </u>	Other
<u> N/A </u>	<u>Point Source Discharge</u> Description of characteristics of discharge from point source (both closed and open channel), when point of discharge falls within resource area checked under Part I, item 11 above, as supported by standard engineering calculations, data and plans, including but not limited to the following:

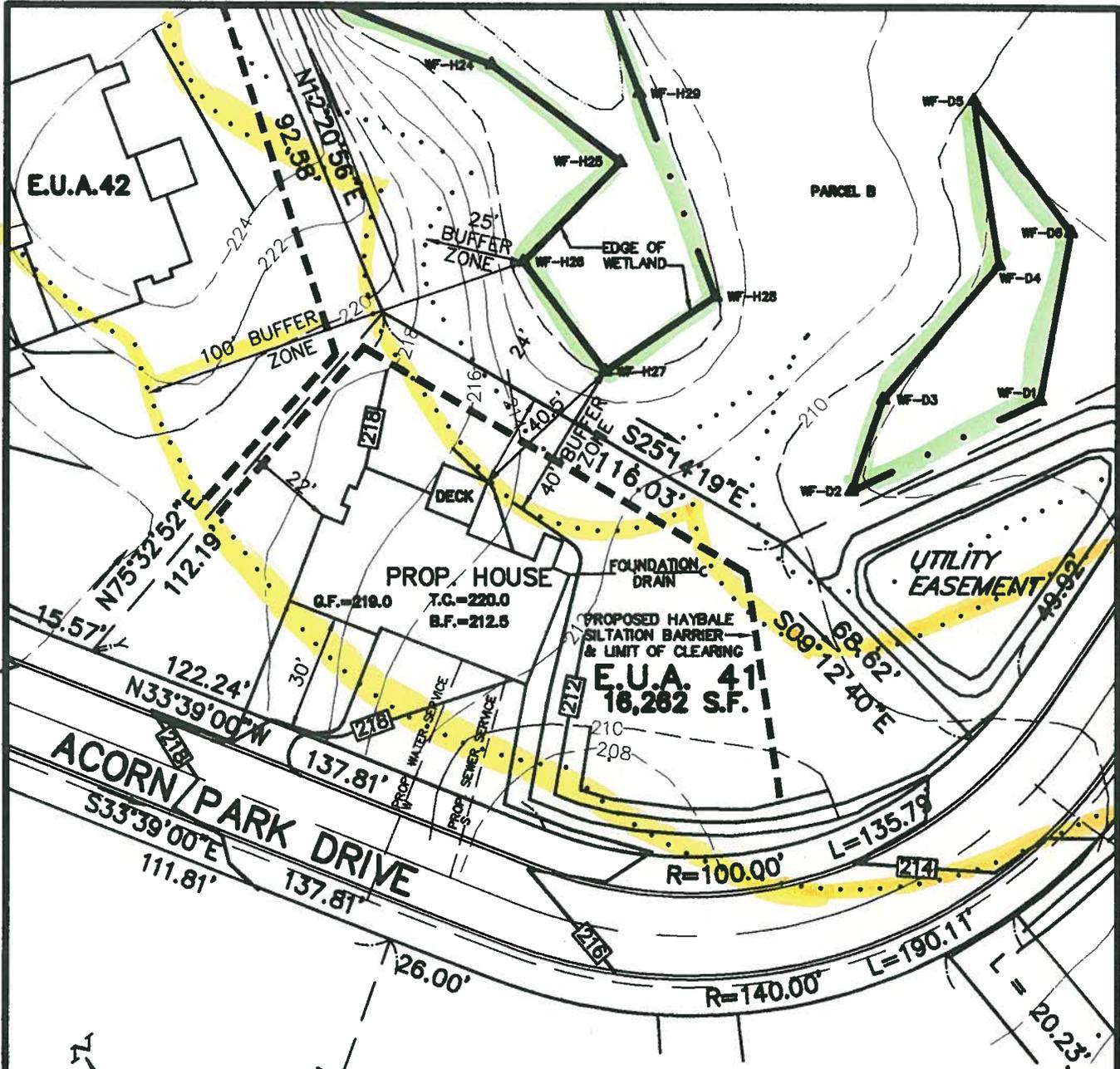
1. Delineation of the drainage area contributing to the point of discharge;
2. Pre-and post-development peak run-off from the drainage area, at the point of discharge, for at least the 10-year and 100-year frequency storm;
3. Pre- and post-development rate of infiltration contributing to the resource area checked under Part I, item 11 above;
4. Estimated water quality characteristics of pre- and post-development run-off at the point of discharge.

<input type="checkbox"/> Coastal <input type="checkbox"/> Inland	Resource Area Type: Identifying number or letter of support documents

2. Clearly, completely and accurately describe, with reference to supporting plans and calculations where necessary:

- (a) all measures and designs to regulate work within the Buffer Zone so as to ensure that said work does not alter an area specified in Part I, Section 10.02(1)(a) of these regulations; or
- (b) if work in the Buffer Zone will alter such an area, all measures and designs proposed to meet the performance standards established for the adjacent resource area, specified in Part II or Part III of these regulations.

<input type="checkbox"/> Coastal <input checked="" type="checkbox"/> Inland	Resource Area Type Bordered By 100-Foot Discretionary Zone: Bordering Vegetated Wetland Identifying number or letter of support documents
A siltation control barrier shall be installed prior to construction and maintained in working condition until a Certificate of Compliance is issued.	B



E.U.A.42

PARCEL B

PROP. HOUSE

UTILITY EASEMENT

E.U.A. 41
18,262 S.F.

ACORN/PARK DRIVE

PROPOSED GRADING PLAN

FOR

E.U.A. 41

ACORN PARK DRIVE

ACTON, MASSACHUSETTS

SCALE: 1"=40' AUGUST 27, 1996
FOR: ACORN HOMES, INC.

PREPARED BY:

STAMSKI & MCNARY, INC.
80 HARRIS STREET ACTON, MASS
ENGINEERING PLANNING SURVEYING

PROPERTY LINES, TOPOGRAPHY AND PROPOSED CONDITIONS TAKEN FROM A PLAN ENTITLED: "SITE DEVELOPMENT PLAN FOR ACORN PARK REALTY TRUST," APPROVED BY ACTON PLANNING BOARD ON: 12/30/93, SHEET 16 OF 25 BY STAMSKI AND MCNARY, INC.

SM-1541