

# DEFINITIVE SUBDIVISION PLAN

FOR

## THE RESIDENCES AT CONSTITUTION DRIVE

### AT 27 JACKSON DRIVE

### ACTON, MASSACHUSETTS

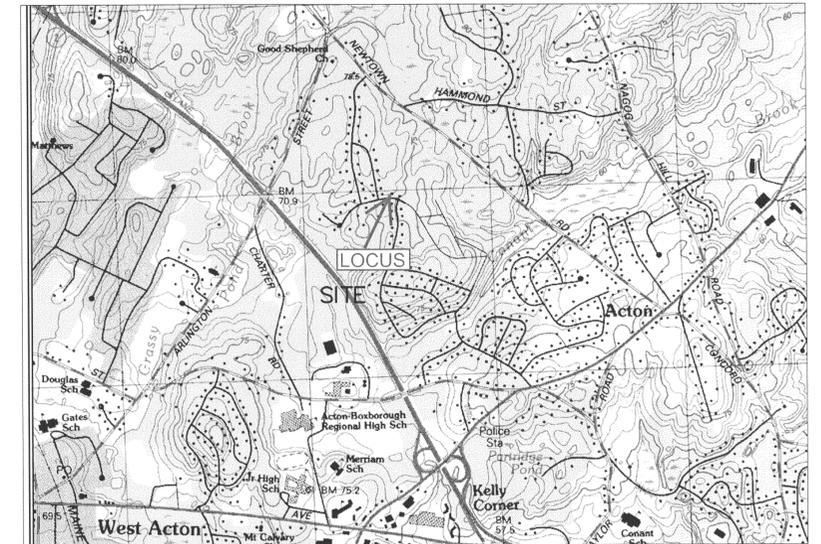
JUNE 14, 2013



**LOCUS PLAN**  
SCALE: 1"=200'

#### PLAN INDEX

- SHEET 1 TITLE SHEET
- SHEET 2 RECORD PLAN
- SHEET 3 SITE DEVELOPMENT AND GRADING PLAN
- SHEET 4 LAYOUT AND UTILITIES PLAN PLAN AND PROFILE
- SHEET 5-6 CONSTRUCTION DETAILS PLAN
- SHEET 7 EROSION & SEDIMENTATION CONTROL PLAN



**LOCUS MAP**  
SCALE: 1"=1,200'

ACTON PLANNING BOARD

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\_\_\_\_\_

DATE: \_\_\_\_\_

**RECORD OWNER**  
XIAOHONG QIN  
27 JACKSON DRIVE  
ACTON, MASSACHUSETTS

**ZONING DISTRICT:**  
R-2 (RESIDENCE 2)  
GROUNDWATER PROTECTION DISTRICT ZONE 4

**APPLICANT:**  
LEXINGTON HOLDING, LLC.  
6 OPEN SPACE DRIVE  
SANDWICH, MA 02563

**REFERENCE**  
MIDDLESEX REGISTRY OF DEEDS  
SOUTH DISTRICT  
DEED BOOK 60598 PAGE 183  
PLAN No. 646 OF 1997  
TOWN ATLAS MAP E-3 PARCEL 25

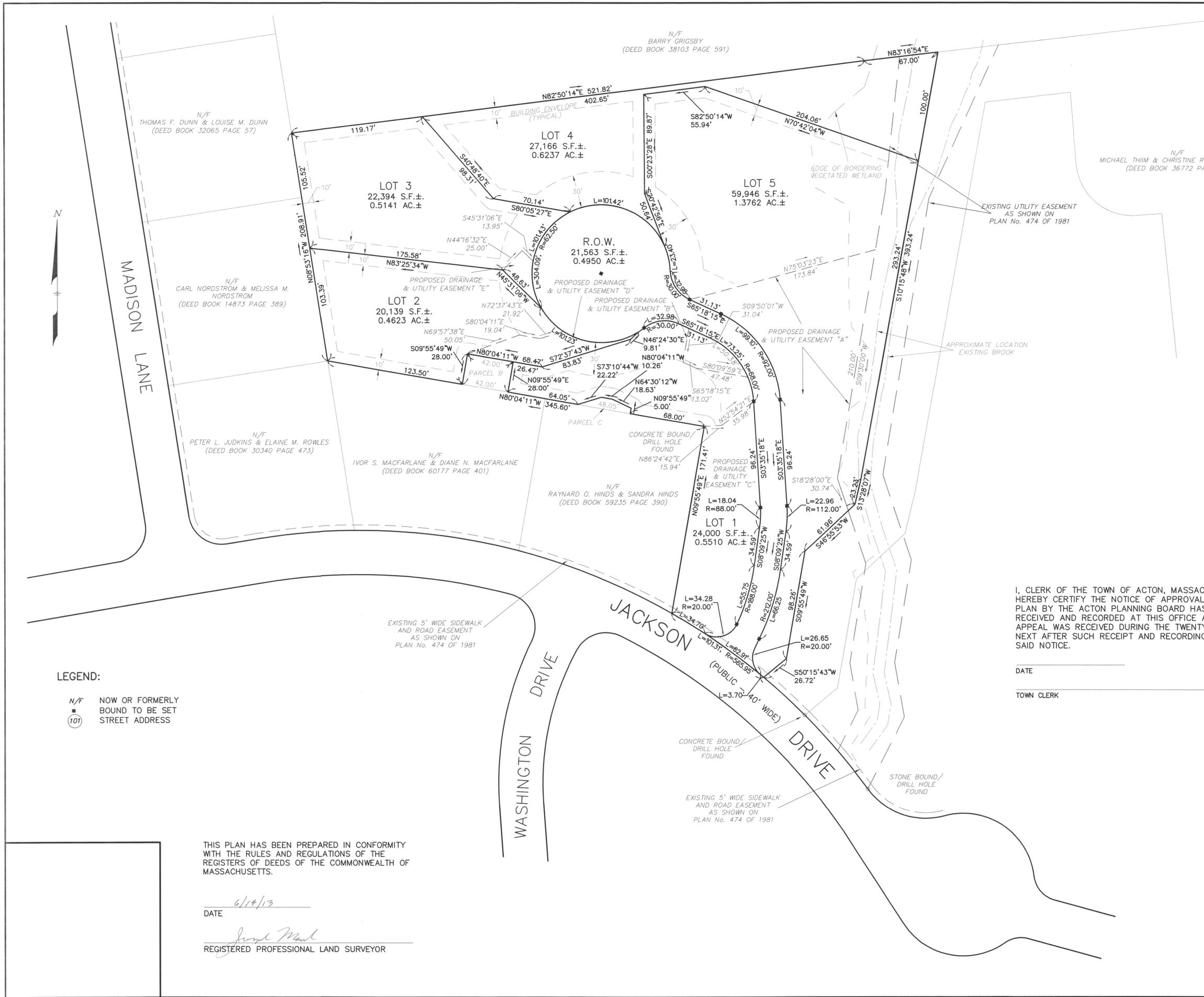
**ENGINEER/SURVEYOR**  
STAMSKI AND MCNARY, INC.  
1000 MAIN STREET  
ACTON, MASSACHUSETTS 01720  
(978) 263-8585



I, CLERK OF THE TOWN OF ACTON, MASSACHUSETTS HEREBY CERTIFY THE NOTICE OF APPROVAL OF THIS PLAN BY THE ACTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE \_\_\_\_\_

TOWN CLERK \_\_\_\_\_



**RECORD OWNER**

XIAOHONG QIN  
27 JACKSON DRIVE  
ACTON, MASSACHUSETTS

**REFERENCE**

MIDDLESEX REGISTRY OF DEEDS  
SOUTH DISTRICT  
DEED BOOK 60598 PAGE 183  
PLAN No. 175 OF 2013  
PLAN No. 646 OF 1997

**ZONING DISTRICT**

RESIDENCE 2 (R-2)  
GROUNDWATER PROTECTION DISTRICT  
ZONE 4

TOWN ATLAS MAP E3 PARCEL 25

**NOTES:**

- 1) THERE SHALL BE NO FURTHER DIVISION OF THE LOTS SHOWN ON THIS PLAN.
- 2) SEE TOWN OF ACTON PLANNING BOARD DECISION DATED \_\_\_\_\_
- 3) ALL SUPPLEMENTARY DATA SUBMITTED TO THE TOWN OF ACTON PLANNING BOARD UNDER THE TOWN OF ACTON SUBDIVISION RULES AND REGULATIONS ARE AN INTEGRAL PART OF THIS DEFINITIVE PLAN. NONCOMPLIANCE WITH THE PLAN, PROFILES, UTILITIES, LAYOUTS AND RESTRICTIVE COVENANTS WILL VOID THE APPROVAL STATUS; UNLESS A WAIVER IS SPECIFICALLY APPROVED BY THE BOARD IN WRITING.
- 4) THE LOTS SHOWN ON THIS PLAN ARE SUBJECT TO A COMMON DRIVEWAY COVENANT AND A PRIVATE DRIVEWAY MAINTENANCE AGREEMENT TO BE RECORDED HERewith.
- 5) THE RIGHT OF WAY SHALL REMAIN A PRIVATE WAY.
- 6) THE PRIVATE WAY SHALL ONLY SERVE THE LOTS SHOWN ON THE PLAN.
- 7) A RESTRICTIVE COVENANT IS TO BE RECORDED HERewith.

I, CLERK OF THE TOWN OF ACTON, MASSACHUSETTS HEREBY CERTIFY THE NOTICE OF APPROVAL OF THIS PLAN BY THE ACTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE \_\_\_\_\_

TOWN CLERK \_\_\_\_\_

ACTON PLANNING BOARD

DATE: \_\_\_\_\_

**LEGEND:**

- N/F NOW OR FORMERLY
- BOUND TO BE SET
- ⑩ STREET ADDRESS

THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE 6/19/13

Joseph March  
REGISTERED PROFESSIONAL LAND SURVEYOR

**DEFINITIVE PLAN**  
FOR  
THE RESIDENCES AT  
CONSTITUTION DRIVE  
IN  
ACTON, MA

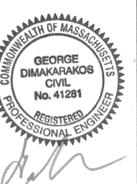
RECORD PLAN

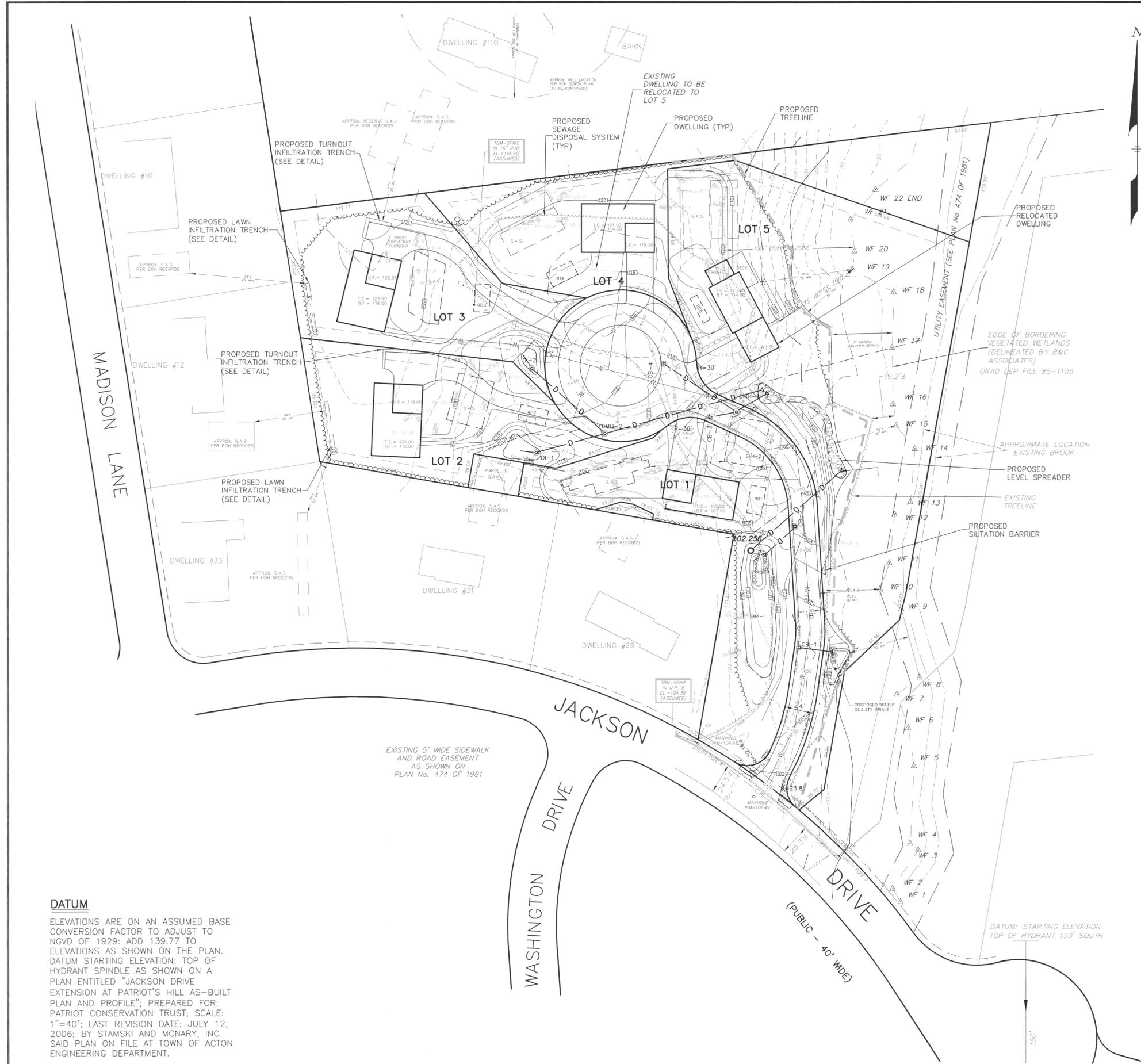
FOR: LEXINGTON HOLDING, LLC  
SCALE: 1"=40'  
DATE: JUNE 14, 2013

**STAMSKI AND McNARY, INC.**  
1000 MAIN STREET ACTON, MASS.  
ENGINEERING - PLANNING - SURVEYING

0 20 40 80 160  
SCALE BAR

SM-4993 (4993.RECORD.DWG) SHEET 2 OF 7





- LEGEND:**
- N/F NOW OR FORMERLY
  - OVERHEAD WIRES
  - ☐ TREE
  - TREE LINE
  - UP UTILITY POLE
  - GG\* GAS GATE
  - G GAS SERVICE (BURIED)
  - WG\* WATER GATE
  - W WATER SERVICE (BURIED)
  - DMH DRAIN MANHOLE
  - D SUB-SURFACE DRAIN LINE
  - EXISTING CONTOUR
  - - - EXISTING CONTOUR
  - ☆ LIGHTPOLE
  - △ WETLAND FLAG
  - 99X9 SPOT ELEVATION
  - ○ ○ ○ STONE WALL

I, CLERK OF THE TOWN OF ACTON, MASSACHUSETTS HEREBY CERTIFY THE NOTICE OF APPROVAL OF THIS PLAN BY THE ACTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

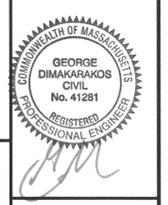
ACTON PLANNING BOARD

DATE \_\_\_\_\_  
TOWN CLERK \_\_\_\_\_

DATE: \_\_\_\_\_

**DATUM**  
ELEVATIONS ARE ON AN ASSUMED BASE. CONVERSION FACTOR TO ADJUST TO NGVD OF 1929: ADD 139.77 TO ELEVATIONS AS SHOWN ON THE PLAN. DATUM STARTING ELEVATION: TOP OF HYDRANT SPINDLE AS SHOWN ON A PLAN ENTITLED "JACKSON DRIVE EXTENSION AT PATRIOT'S HILL AS-BUILT PLAN AND PROFILE"; PREPARED FOR: PATRIOT CONSERVATION TRUST; SCALE: 1"=40'; LAST REVISION DATE: JULY 12, 2006; BY STAMSKI AND McNARY, INC. SAID PLAN ON FILE AT TOWN OF ACTON ENGINEERING DEPARTMENT.

**DEFINITIVE PLAN**  
FOR  
THE RESIDENCES AT  
CONSTITUTION DRIVE  
IN  
ACTON, MA  
**SITE DEVELOPMENT & GRADING PLAN**  
FOR: LEXINGTON HOLDING, LLC  
SCALE: 1"=40'  
DATE: JUNE 14, 2013

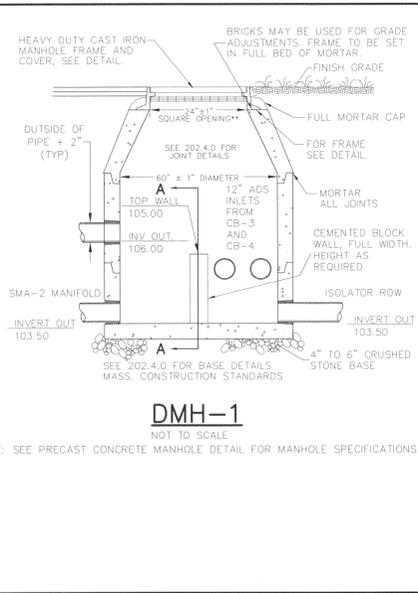
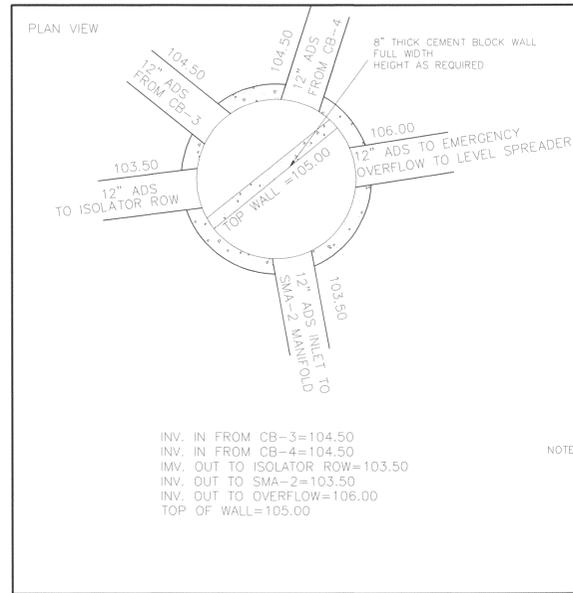
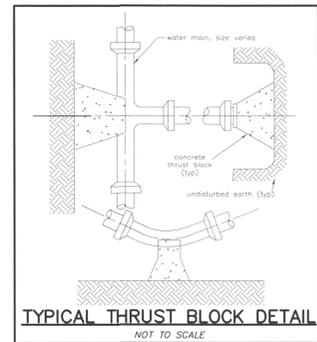
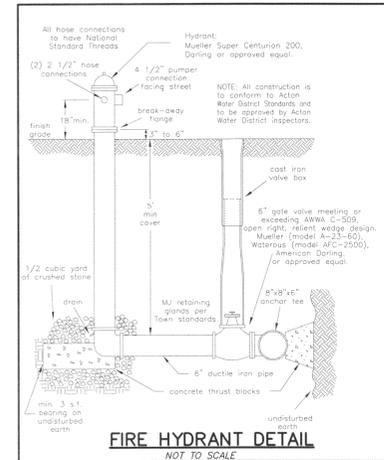
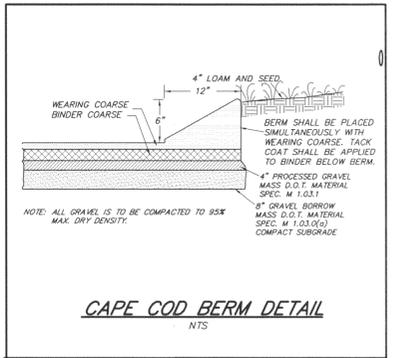
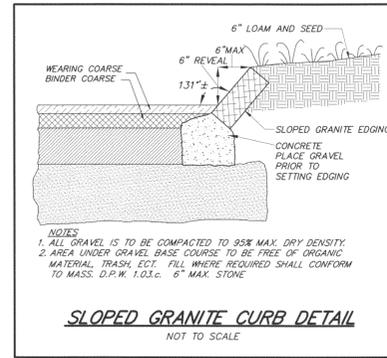
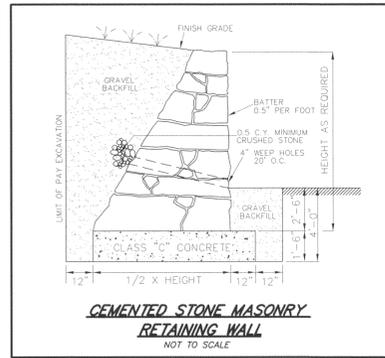
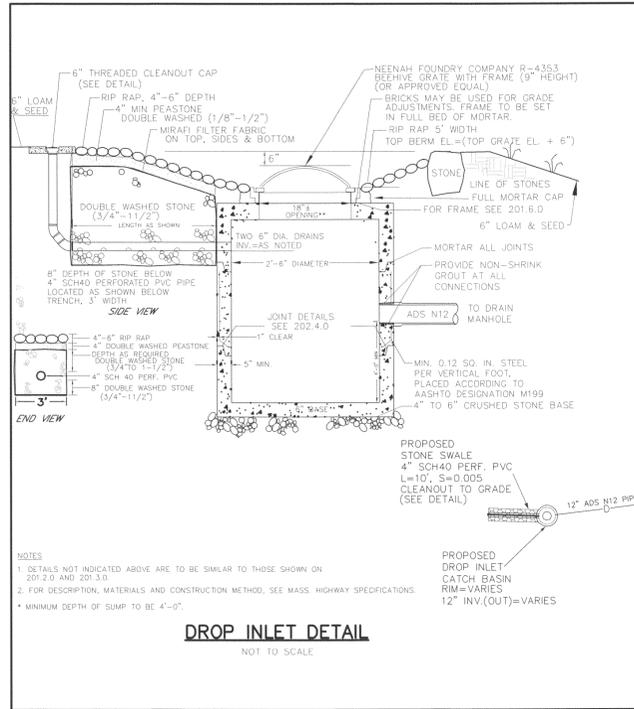
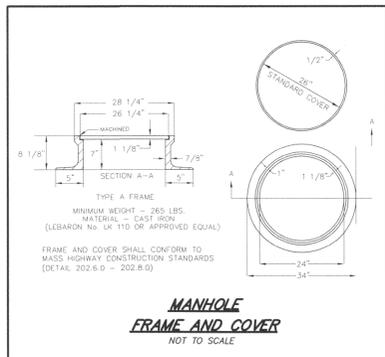
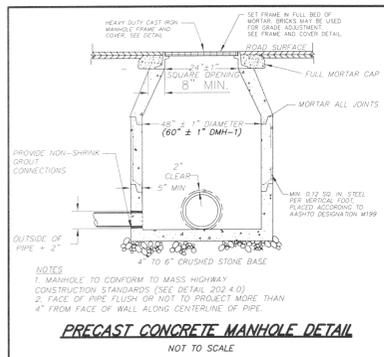
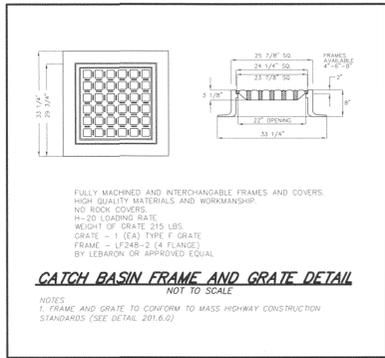
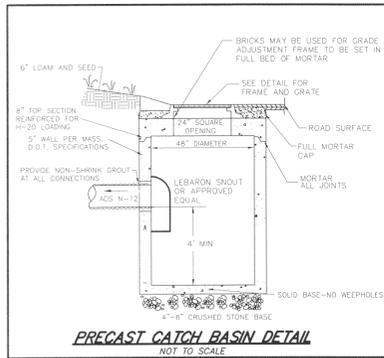


**STAMSKI AND McNARY, INC.**  
1000 MAIN STREET ACTON, MASS.  
ENGINEERING - PLANNING - SURVEYING



0 20 40 80 160  
SM-4993 (4993 DEF1.1.DWG) SHEET 3 OF 7





**NOTES:**

- ALL RAMPS TO BE CONSTRUCTED OF CEMENT CONCRETE.
- ALL RAMPS TO HAVE DETECTABLE WARNING PANELS CONFORMING TO RP-13.
- FIELD LOCATION OF WHEELCHAIR RAMPS TO BE APPROVED BY TOWN ENGINEER PRIOR TO CONSTRUCTION.

**TABLE OF TRANSITION LENGTHS**

ROADWAY PROFILE GRADE (%)	HIGH SIDE TRANSITION LENGTH
0	6'-6"
>0-1	7'-0"
>1-2	9'-0"
>2-3	11'-0"
>3-4	14'-0"
>4	15'-0" (MAX.)

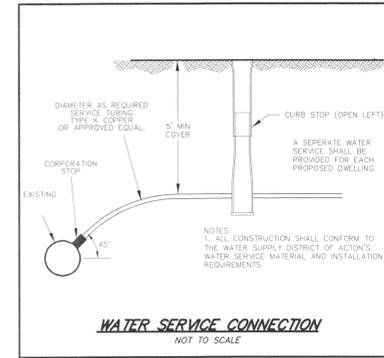
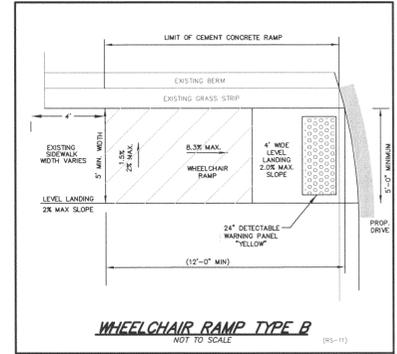
\* BASED ON A DESIGN SLOPE OF 7.5% AND 6" OF CURB REVEAL

**SECTION B-B**

**NOTE:**

- WARNING SURFACE SHALL CONTRAST VISUALLY WITH ORANGE COLOR ADJACENT WALKING SURFACES.
- DETECTABLE WARNING PANEL TO BE CAST IRON.

**DETACHABLE WARNING PANEL AND WHEELCHAIR RAMP DETAIL**



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DATE \_\_\_\_\_  
TOWN CLERK \_\_\_\_\_

ACTON PLANNING BOARD

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\_\_\_\_\_  
DATE: \_\_\_\_\_

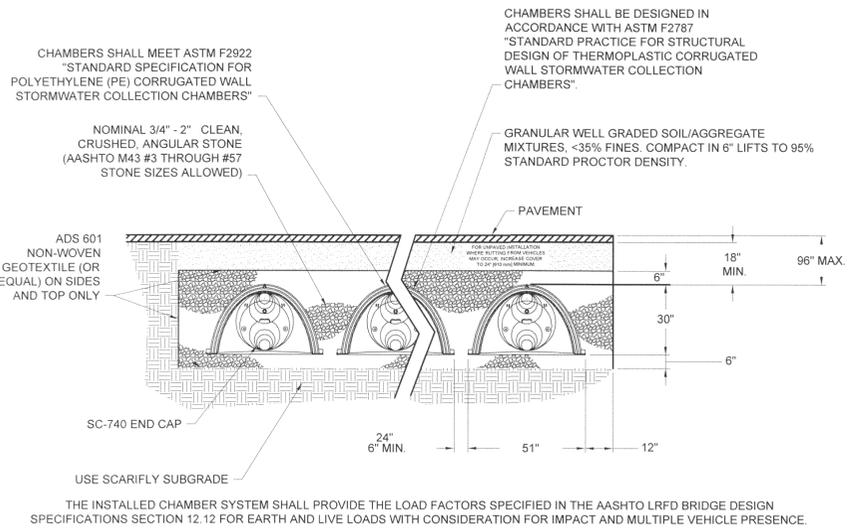
**DEFINITIVE PLAN**  
FOR  
**THE RESIDENCES AT CONSTITUTION DRIVE**  
IN  
**ACTON, MA**

**CONSTRUCTION DETAILS**  
FOR: LEXINGTON HOLDING, LLC  
DATE: JUNE 14, 2013

**STAMSKI AND McNARY, INC.**  
1000 MAIN STREET ACTON, MASS.  
ENGINEERING - PLANNING - SURVEYING  
SM-4993 (4993 DEF1.1.DWG) SHEET 5 OF 7

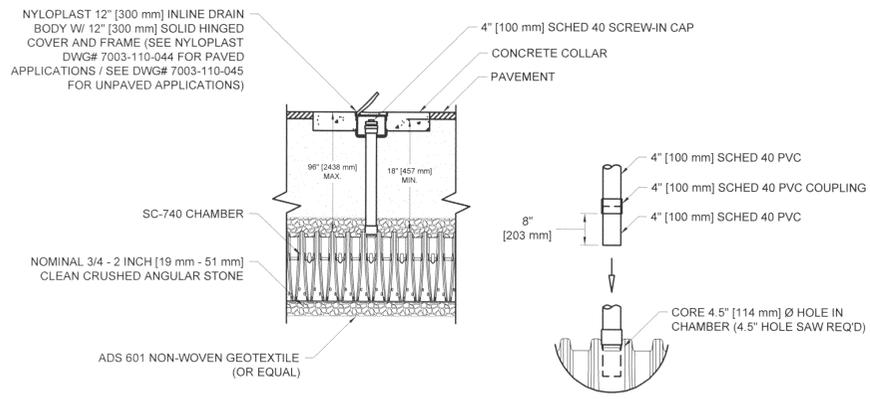
**GEORGE DIMAKARAKOS**  
CIVIL  
No. 41281  
REGISTERED PROFESSIONAL ENGINEER

**JOSEPH MARCH**  
# 36384  
REGISTERED PROFESSIONAL LAND SURVEYOR

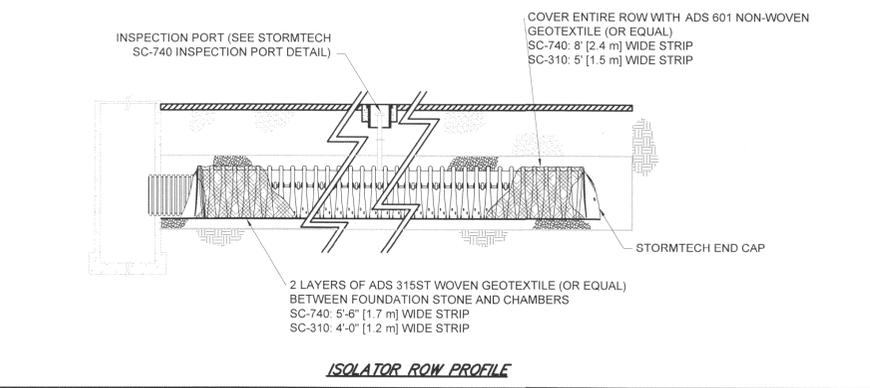


**SC-740 TYPICAL CROSS-SECTION**

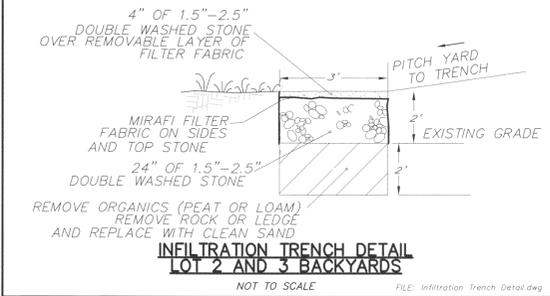
- NOTES:
- INSPECTION PORT MUST BE CONNECTED THROUGH KNOCK-OUT LOCATED AT CENTER OF CHAMBER.
  - ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED.



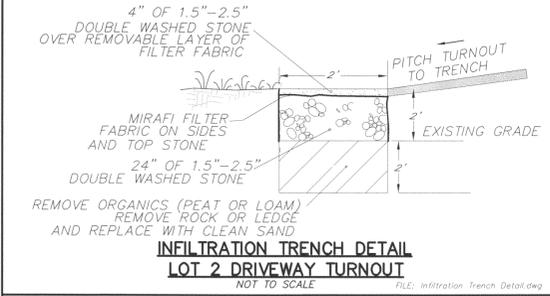
**SC-740 INSPECTION PORT DETAIL**



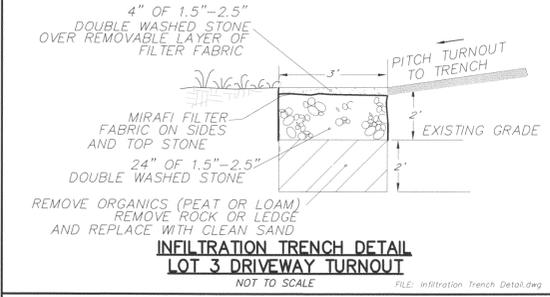
**ISOLATOR ROW PROFILE**



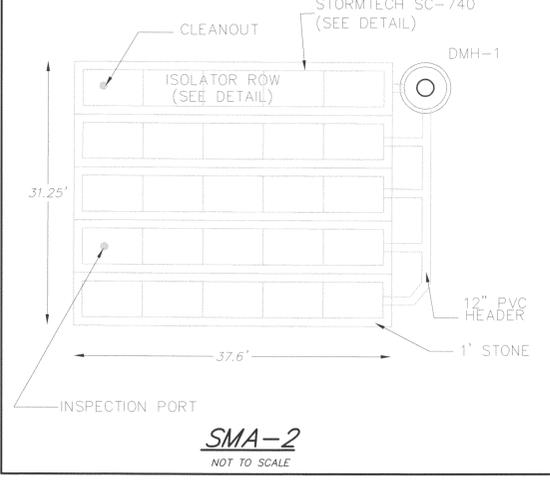
**INFILTRATION TRENCH DETAIL LOT 2 AND 3 BACKYARDS**



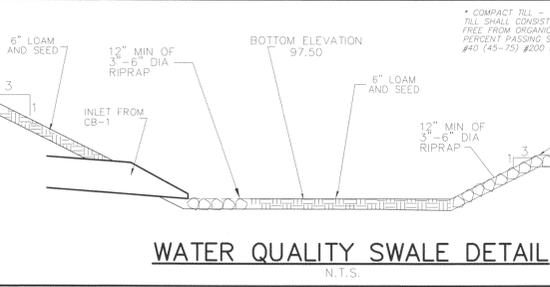
**INFILTRATION TRENCH DETAIL LOT 2 DRIVEWAY TURNOUT**



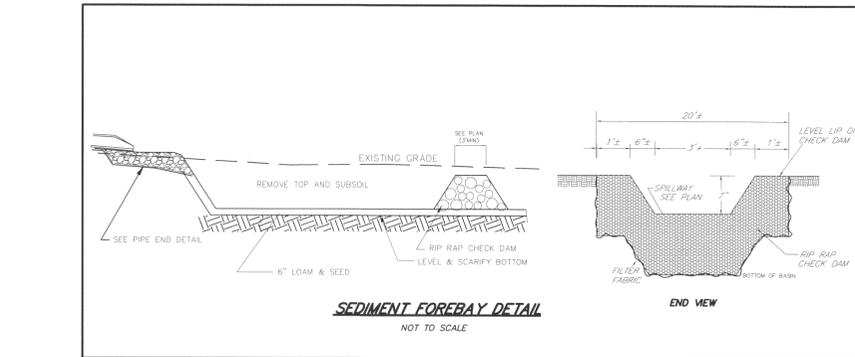
**INFILTRATION TRENCH DETAIL LOT 3 DRIVEWAY TURNOUT**



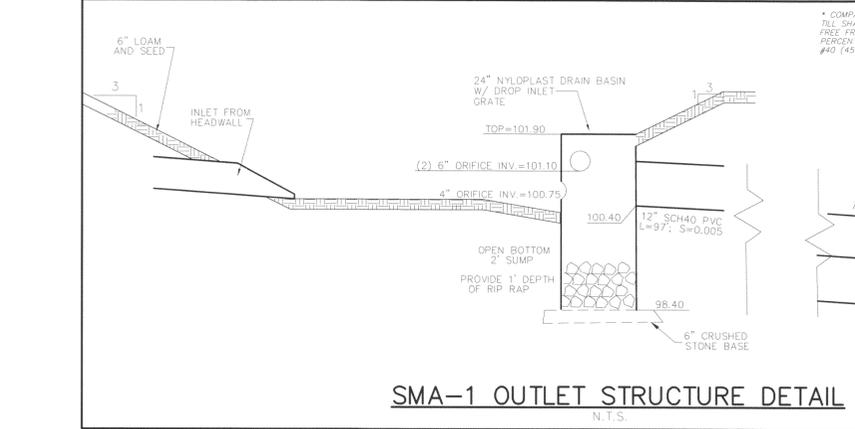
**SMA-2**



**WATER QUALITY SWALE DETAIL**



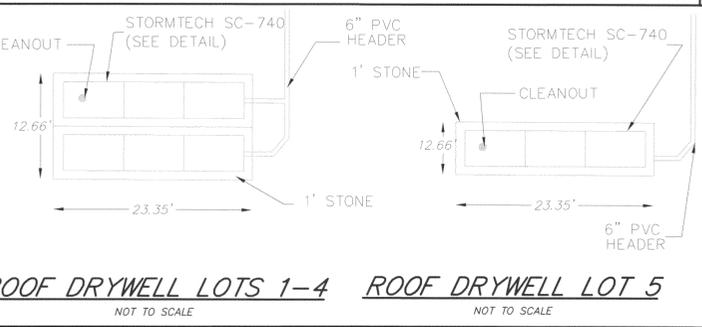
**SEDIMENT FOREBAY DETAIL**



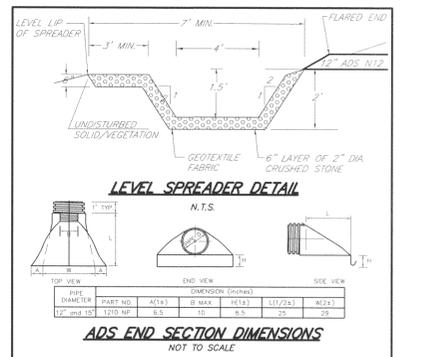
**SMA-1 OUTLET STRUCTURE DETAIL**

	MIN COVER	TOP OF STONE	BOTTOM STONE	E.S.H.G.W.	MOTTLING	EXISTING GROUND
RD 1	105.75	104.75	101.25	99.25	48"	103.25
RD 2	114.35	113.35	109.85	107.85	50"	112
RD 3	119.85	118.85	115.35	113.33	50"	117.50
RD 4	120.50	119.50	116.00	114.00	60"	120.00
RD 5	120.33	119.33	115.83	113.83	42"	117.33
STORMWATER MANAGEMENT AREA-2	108.00	106.50	103.00	101.00	48"	105.00

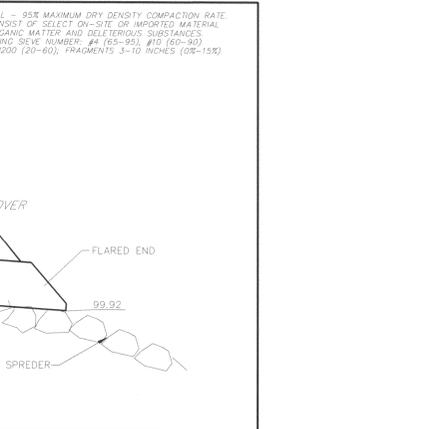
**ROOF DRYWELL ELEVATIONS**



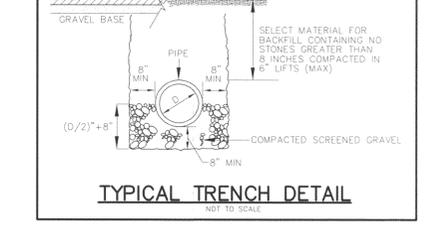
**ROOF DRYWELL LOTS 1-4 ROOF DRYWELL LOT 5**



**LEVEL SPREADER DETAIL**



**ADS END SECTION DIMENSIONS**



**TYPICAL TRENCH DETAIL**

**ACTON PLANNING BOARD**

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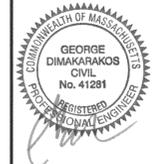
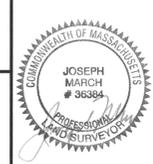
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DATE: \_\_\_\_\_

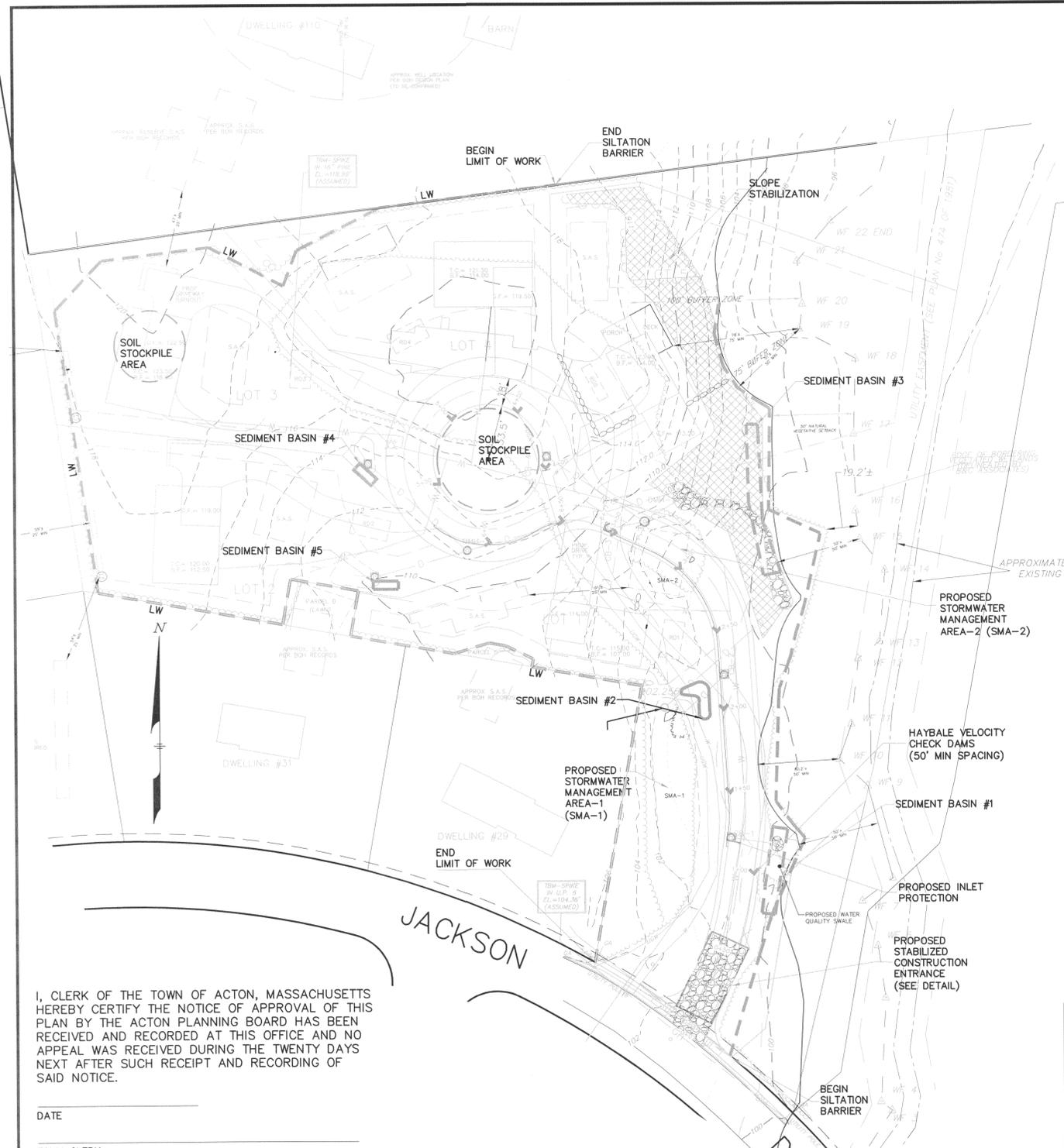
**DEFINITIVE PLAN**  
FOR  
**THE RESIDENCES AT CONSTITUTION DRIVE**  
IN  
**ACTON, MA**  
CONSTRUCTION DETAILS  
FOR: LEXINGTON HOLDING, LLC  
DATE: JUNE 14, 2013  
**STAMSKI AND McNARY, INC.**  
1000 MAIN STREET ACTON, MASS.  
ENGINEERING - PLANNING - SURVEYING  
SM-4993 (4993 DEF1.1.DWG) SHEET 6 OF 7

I, CLERK OF THE TOWN OF ACTON, MASSACHUSETTS HEREBY CERTIFY THE NOTICE OF APPROVAL OF THIS PLAN BY THE ACTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE \_\_\_\_\_

TOWN CLERK \_\_\_\_\_



**GENERAL NOTES**

- ALL UNDERGROUND UTILITIES SHOWN HEREON WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION OR REPAIRING. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963 MASS. REG. ASSUME NO RESPONSIBILITY FOR DAMAGE INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE APPROPRIATE PUBLIC UTILITY ENGINEERING DEPARTMENT MUST BE CONSULTED. ENG-SAFE TEL: NO. (888) 344-7233.
- RIP RAP SHALL BE HARD DURABLE STONE, ANGULAR IN SHAPE AND BE GENERALLY WELL GRADED WITHIN A 25 LB. TO 125 LB. RANGE. RIP RAP SHALL BE PLACED OVER A 1" COARSE BANK RUN GRAVEL MATTE. RIP RAP SHOWN SCHEMATICALLY AT DRAINAGE OUTFLOWS SHALL BE PLACED FOR A 3' WIDTH AND 6' LENGTH.
- ALL LIMITS OF WORK SHALL BE LOCATED IN THE FIELD PRIOR TO CONSTRUCTION. (SEE EROSION AND SEDIMENTATION CONTROL PLAN)
- EACH LOT TO BE SERVED BY TOWN WATER.
- ALL STUMPS AND OTHER CONSTRUCTION DEBRIS SHALL BE PROPERLY REMOVED FROM THE SITE.
- ANY FILL MATERIAL USED SHALL BE FREE OF HAZARDOUS MATERIALS AND FREE OF CONSTRUCTION DEBRIS.
- ALL DRAIN PIPES SHALL BE ADS N-12 DRAIN PIPE OR SCHEDULE 40 PVC. TRANSPORTATION OF FILL, EARTH, OR CONSTRUCTION DEBRIS TO OR FROM THE SITE SHALL BE RESTRICTED TO DAYTIME HOURS (9 AM TO 4 PM) MONDAY THROUGH FRIDAY.
- SEWER PIPES WITHIN 10' OF THE BUILDINGS SHALL BE SCH 40 PVC. (SEE SEWAGE DISPOSAL PLANS FOR LOCATIONS AND SPECIFICATIONS).
- FINAL BUILDING FOOTPRINT SUBJECT TO BUILDING INSPECTOR REVIEW.
- CONSTRUCTION VEHICLES SHALL BE PROHIBITED FROM PARKING ON OR ALONG JACKSON DRIVE.
- AN AS-BUILT PLAN, SHOWING ALL PAVEMENT, DRAINAGE AND UTILITIES, SHALL BE REQUIRED AT THE CONCLUSION OF CONSTRUCTION.
- ELEVATIONS ARE ON AN ASSUMED BASE. CONVERSION FACTOR TO ADJUST TO NOVD OF 1928. ADD 139.77 ELEVATIONS SHOWN ON THE PLAN. SEE DATUM NOTE ON PLAN AND PROFILE FOR ADDITIONAL INFORMATION.
- SUPPLEMENTARY DATA SUBMITTED UNDER THE RULES ARE AN INTEGRAL PART OF THE DEFINITIVE PLAN AND THAT NON-COMPLIANCE WITH THE PLAN PROFILES, UTILITIES, LAYOUTS AND RESTRICTIVE COVENANTS WILL VOID THE APPROVAL STATUS, UNLESS A WAIVER IS SPECIFICALLY APPROVED BY THE BOARD IN WRITING.
- IF ALTERATIONS (REMOVAL OF VEGETATION, GRADING, EXCAVATIONS, ETC.) ARE TO BE MADE WITHIN 100 FEET OF WETLAND AREAS (PONDS, BROOKS, SWAMPS, ETC.) OR WITHIN RIVERFRONT AREAS, A REQUEST FOR DETERMINATION OF APPLICABILITY OF THE WETLANDS PROTECTION ACT (c131 s40A) SHOULD BE FILED WITH THE TOWN'S CONSERVATION COMMISSION. THE FILING OF A NOTICE OF INTENT MAY BE REQUIRED AND LOCAL BYLAWS MAY APPLY.
- THERE ARE NO PROPOSED LOCATIONS FOR UNDERGROUND STORAGE TANKS FOR FUELS OR OTHER CHEMICALS.
- THE DRIVEWAY SHALL BE BROUGHT TO FINISH GRADE WITH AT LEAST THE TOP 12 INCHES CONSISTING OF TWO SIX-INCH LAYERS OF WELL-SORTED BINDING GRAVEL THREE FEET WIDER ON EACH SIDE THAN REQUIRED PAVEMENT. (SEE CROSS SECTION)
- THE COMPLETED GRAVEL SURFACE SHALL BE TREATED FOR THE FULL WIDTH OF THE DRIVEWAY WITH 2 INCHES OF TYPE 1 BITUMINOUS CONCRETE PAVEMENT APPLIED AS A BINDER COURSE. THE BINDER COURSE SHALL BE SWEEP CLEAN, DRIED IF NECESSARY, PATCHED AND TREATED WITH AN ASPHALT EMULSION OR JACK COAT TO ENSURE A SATISFACTORY BOND BETWEEN THE PAVEMENT COURSES. IN ORDER TO MINIMIZE DAMAGE TO THE WEARING SURFACE, THE WEARING COURSE SHOULD NOT BE APPLIED UNTIL ALL CONSTRUCTION ON THE BUILDINGS SERVED BY THE PROPOSED DRIVEWAY IS COMPLETED OR SUBSTANTIALLY COMPLETED.
- NO PAVING MAY TAKE PLACE AFTER NOVEMBER 15TH OF ANY YEAR.
- THE CONTRACTOR SHALL APPLY FOR AND OBTAIN A BLASTING PERMIT FROM THE ACTON FIRE DEPARTMENT PRIOR TO THE REMOVAL OF ANY LEDGE WHICH REQUIRES BLASTING IN ACCORDANCE WITH THE MASSACHUSETTS FIRE PREVENTION REGULATIONS AS AMENDED.
- THE CONTRACTOR SHALL APPLY FOR A PERMIT TO CONSTRUCT WITHIN A PUBLIC WAY FOR ALL WORK WITHIN THE JACKSON DRIVE RIGHT OF WAY.
- ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION CONSTRUCTION STANDARDS.
- THE PRIVATE WAY SHALL ONLY SERVE THE LOTS SHOWN ON THE PLAN.
- PROPOSED HOUSES AND DRIVEWAYS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. LIMITS OF CLEARING SHOWN WITHIN BUFFER ZONES, OR RIVERFRONT AREA ON-SITE ARE SUBJECT TO AN ORDER OF CONDITIONS TO BE ISSUED BY THE TOWN OF ACTON CONSERVATION COMMISSION OR OTHER APPROVING AUTHORITY.
- EXISTING SURVEY MONUMENTS SHALL BE MARKED IN THE FIELD PRIOR TO CONSTRUCTION. IF EXISTING SURVEY MONUMENTS ARE DAMAGED OR DESTROYED DURING CONSTRUCTION, THE APPLICANT SHALL BE REQUIRED TO HIRE A REGISTERED LAND SURVEYOR TO RESET THE MONUMENTS AND CERTIFY THE NEW LOCATIONS.
- THE STREET SIGN SHALL BE SET IN CONCRETE AND ADJACENT TO THE MAILBOXES. THE SIGN SHALL BE ERRECTED PRIOR TO CONSTRUCTION OF THE FIRST HOUSE ON THE STREET. THE SIGNPOST SHALL HAVE AFFIXED THERETO A SIGN DESIGNATING THE STREET AS A PRIVATE WAY. SIGN TO BE CONSTRUCTED IN ACCORDANCE WITH MOST RECENT STANDARDS OF THE TOWN OF ACTON HIGHWAY DEPARTMENT WHICH SHALL BE MUTOC COMPLIANT AND WHICH SHALL NOT OBSTRUCT SIGHT DISTANCE.
- THE DEVELOPER SHALL MAKE NECESSARY MODIFICATIONS AS DETERMINED BY THE TOWN OF ACTON ENGINEERING DEPARTMENT ON THE DRAINAGE SYSTEM.
- CURBING SHALL NOT BE PROVIDED ON THE EASTERN SIDE OF THE PRIVATE WAY.

**EROSION AND SEDIMENTATION CONTROL NOTES**

- THE LIMITS OF WORK SHALL BE MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
- SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY CONSTRUCTION ON THE SITE.
- SILTATION BARRIER AND SILT FENCE SHALL BE PLACED IN ALL AREAS AS SHOWN ON ALL THE PLANS AND IN ANY OTHER AREAS AS DETERMINED NECESSARY DURING CONSTRUCTION.
- ALL SOIL STOCKPILES SHALL HAVE EROSION CONTROL MEASURES AROUND THEIR EDGES AT ALL TIMES. SOIL STOCKPILES SHALL BE COVERED WITH TEMPORARY VEGETATION OR FASTENED TAUPALULIN SHEETS.
- THE DRAINAGE SYSTEM SHALL BE CONSTRUCTED DURING THE EARLIEST STAGES OF THE PROJECT IN ORDER TO COLLECT RUNOFF AND SEDIMENT.
- ALL CATCH BASINS SHALL BE COVERED WITH SILTATION FABRIC DURING CONSTRUCTION. CATCH BASIN RIMS ARE TO BE SET AT BINDER GRADE UNTIL IT IS TIME TO APPLY THE PAVEMENT WEARING COURSE.
- ALL CUT AND FILL SLOPES SHALL BE IMMEDIATELY COVERED WITH 6" OF LOAM AND SEEDED DURING THE GROWING SEASON (APRIL 1 TO NOVEMBER 1) OR COVERED WITH HAYMULCH DURING THE NON-GROWING SEASON (NOVEMBER 1 TO APRIL 1) IN AREAS SUBJECT TO THE WETLANDS PROTECTION ACT. THE HAYMULCH AND/OR REQUIRED MEASURES SHALL REMAIN IN PLACE UNTIL PERMANENT VEGETATION IS ESTABLISHED, UNLESS OTHERWISE INDICATED. ALL DISTURBED AREAS SHALL RECEIVE 6" OF LOAM AND BE SEEDED TO PREVENT EROSION.
- THE DRAINAGE BASIN SHALL BE CLEANED FOLLOWING CONSTRUCTION AND ANNUALLY THEREAFTER.
- ON ACCUMULATION OF 6" OF SEDIMENT, THE DRAINAGE BASIN SHALL BE CLEANED.
- THE SILTATION BARRIER SHALL BE MAINTAINED UNTIL VEGETATIVE COVER HAS BEEN SUITABLY ESTABLISHED AND GRADED SLOPES ARE STABLE.
- INSPECTION/MAINTENANCE:**
- THE SITE CONTRACTOR IS RESPONSIBLE TO CLEAN UP ANY SEDIMENT WHICH ERODES FROM THE SITE INTO JACKSON DRIVE OR ADJUTING PROPERTY IMMEDIATELY UPON DISCOVERY.
- THE SITE CONTRACTOR IS RESPONSIBLE TO CLEAN UP ANY SEDIMENT WHICH ERODES FROM THE SITE ONTO PRIVATE PROPERTY AND TO REMOVE SEDIMENT OR DEBRIS THAT ENTERS ANY EXISTING DRAINAGE SYSTEM INCLUDING CATCH BASIN SUMPS, PIPE LINES, MANHOLES, AND DITCHES.
- THE CONTRACTOR SHALL FOLLOW STANDARD PRACTICE AND LOAM AND SEED ALL DISTURBED AREAS FOLLOWING CONSTRUCTION.
- OPERATOR PERSONNEL MUST INSPECT THE CONSTRUCTION SITE AT LEAST EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5 INCHES OR MORE. DISTURBED AREAS THAT HAVE BEEN STABILIZED MUST BE INSPECTED AT LEAST ONCE PER MONTH.
- THE SILTATION BARRIER SHALL BE MAINTAINED UNTIL VEGETATIVE COVER HAS BEEN SUITABLY ESTABLISHED, GRADED SLOPES ARE STABLE. AFTER CONSTRUCTION
- ALL CATCH BASIN SUMPS AND MANHOLES SHALL BE CLEANED OUT AFTER CONSTRUCTION.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL SPRAY DOWN THE SITE WITH A WATER TRUCK AS NEEDED FOR DUST CONTROL.
- DURING CONSTRUCTION THE CONTRACTOR SHALL INSPECT JACKSON DRIVE AND SWEEP AS NECESSARY.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL STRUCTURES AND DEVICES THROUGHOUT CONSTRUCTION. ANY EROSION CONTROL DEVICES FOUND TO NO LONGER TO BE SERVEABLE SHALL BE REMOVED AND REPLACED. ALL ACCUMULATED SEDIMENTS MUST BE REMOVED WHEN DEPOSITS REACH NO MORE THAN ONE HALF THE HEIGHT OF THE SILTATION BARRIER.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING (7 DAYS IF WITH 100 FEET OF A STREAM, POND OR WETLAND) AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT THE SITE FROM SPRING RUNOFF PROBLEMS. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TEMPORARY MULCH OR OTHER METHODS APPROVED BY THE ENGINEER SHALL BE EMPLOYED TO PROTECT THE SITE.
- A STOCKPILE OF ADDITIONAL SILT FENCE AND HAYBALES SHALL BE KEPT ON-SITE IN ORDER TO BE ABLE TO IMMEDIATELY RESPOND TO ISSUES WHICH MIGHT DEVELOP DURING CONSTRUCTION.

**DRAINAGE SYSTEM OPERATION AND MAINTENANCE PLAN**

THE IMPLEMENTATION, INSPECTION, AND REPAIR OF THE EROSION CONTROL IS THE RESPONSIBILITY OF THE SITE CONTRACTOR DURING CONSTRUCTION.

THE INSPECTION AND OPERATION OF THE STORM WATER MANAGEMENT SYSTEM IS THE RESPONSIBILITY OF:

DURING CONSTRUCTION: APPLICANT - LEXINGTON HOLDING, LLC  
27 JACKSON DRIVE  
ACTON, MA 01720

AFTER CONSTRUCTION: HOMEOWNERS ASSOCIATION

**SCHEDULE FOR INSPECTION AND MAINTENANCE:**

**STREET SWEEPING:**  
THE PAVEMENT SHALL BE SWEEPED OF ALL SEDIMENT ONCE IN THE SPRING AND ONCE IN THE FALL.

**DEEP SUMP AND HOODED CATCH BASINS, MANHOLES AND DROP INLETS:**  
THE DEEP SUMP AND THE CATCH BASINS SHALL BE INSPECTED AND CLEANED ANNUALLY. THE CATCH BASIN SHALL HAVE A FOUR FOOT DEEP SUMP AND THE WATER LEVEL IS MAINTAINED BY THE DISCHARGE PIPE AT FOUR FEET. THE DISCHARGE PIPE IS HIDDEN FROM VIEW BY A HOODED OUTLET.

THE DEPTH OF THE SEDIMENT IN A BASIN SHALL NOT EXCEED A DEPTH OF 18 INCHES AS DETERMINED BY PROBING WITH A STICK. IF THE STICK HITS THE BOTTOM WITHIN 30 INCHES OF THE WATER LEVEL, MORE THAN 18 INCHES OF SEDIMENT HAS ACCUMULATED AND MUST BE REMOVED. LICENSED PERSONS SHOULD REMOVE AND DISPOSE OF THE CONTENTS OF THE SUMP IN ACCORDANCE WITH APPLICABLE REGULATIONS.

**INFILTRATION BASIN (SMA-1):**  
IN EACH OF THE FIRST THREE YEARS AFTER CONSTRUCTION, TWO INSPECTIONS ARE REQUIRED IN BOTH THE GROWING AND NON-GROWING SEASONS. AFTER SUCCESSFUL ESTABLISHMENT OF ALL REQUIRED VEGETATION AND SURFACES WITHSTAND EROSION, INSPECTION AND MAINTENANCE SHOULD CONTINUE ON A YEARLY BASIS. THE FOLLOWING OBSERVATIONS AND CORRECTIVE MEASURES SHOULD BE MADE DURING EACH INSPECTION:

SIDE SLOPES OF THE CHANNEL SHALL BE INSPECTED FOR EROSION. ALL ERODED AREAS SHALL RECEIVE 6" OF LOAM AND BE RESEEDED PER ORIGINAL DESIGN PLAN. AREAS OF CONTINUED EROSION SHALL BE STABILIZED WITH 3" MINUS RIPRAP.

REMOVE ALL SEDIMENT FROM THE CHANNEL ONCE THE SEDIMENT REACHES 10% OF CHANNEL VOLUME OR 3-INCH DEPTH.

**SUBSURFACE RECHARGE AREA SMA-2:**  
THE SUBSURFACE DRAINAGE SYSTEM WILL DRAIN COMPLETELY FOLLOWING A STORM EVENT. THE INSPECTION PORTS SHALL BE OPENED AND INSPECTED ANNUALLY. IF WATER IS OBSERVED IN THE CLEAN OUT RISER, THEN CHECK THE WEIR IN OUTLET STRUCTURE (DWH-1) FOR CLOGGING. REMOVE ANY DEBRIS THAT MAY BE PRESENT. IF NO DEBRIS IS PRESENT THEN THE SYSTEM MAY NEED TO BE REPLACED. THE INSPECTION SHOULD NOT BE DONE WITHIN 72 HOURS OF A RAIN EVENT.

**ROOF DRAIN DRYWELLS (RESPONSIBILITY OF EACH LOT OWNER):**  
INSPECT THE DRYWELL AFTER EVERY MAJOR STORM FOR THE FIRST FEW MONTHS TO ENSURE PROPER STABILIZATION AND FUNCTION. THEREAFTER, INSPECT AND CLEAN IT AT LEAST ONCE PER YEAR. WATER LEVELS SHOULD BE RECORDED OVER SEVERAL DAYS TO CHECK THE DRYWELL DRAINAGE.

**INFILTRATION TRENCHES (RESPONSIBILITY OF EACH LOT OWNER):**  
INSPECT THE INFILTRATION TRENCH AFTER THE FIRST SEVERAL RAINFALL EVENTS. AFTER ALL MAJOR STORMS, AND ON REGULARLY SCHEDULED DATES EVERY SIX MONTHS. IF THE TOP OF THE TRENCH IS GRASSED, IT MUST BE MOWED ON A SEASONAL BASIS. GRASS HEIGHT MUST BE NO MORE THAN FOUR INCHES. ROUTINELY CLEAR DEBRIS FROM THE TOP OF THE TRENCH.

**SEDIMENT FOREBAY:**  
THE FLOOR AND SIDEWALLS OF THE SEDIMENT FOREBAY MUST BE STABILIZED BEFORE USE. SEDIMENT FOREBAYS SHALL BE INSPECTED MONTHLY AND CLEANED A MINIMUM OF FOUR TIMES PER YEAR. WHEN SEDIMENT DEPTH IS BETWEEN 3-6 INCHES. AFTER SEDIMENT REMOVAL, ANY DAMAGED VEGETATION MUST BE REPLACED. GRASS IN THE FOREBAY SHALL NOT EXCEED 6 INCHES IN LENGTH AND ANY RILLING AND GULLING SHALL BE REPAIRED AS NECESSARY.

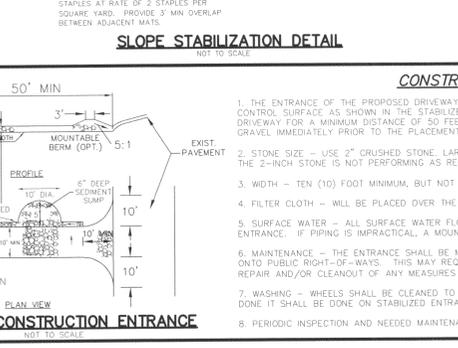
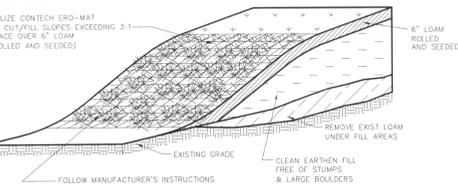
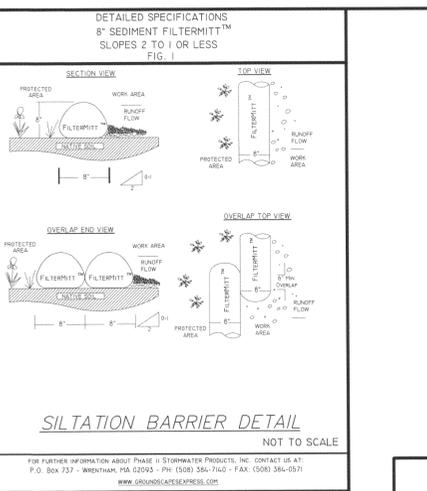
**EMERGENCY CONTACTS:**  
IN THE EVENT OF A HAZARDOUS MATERIALS SPILL ON THE SITE THE FOLLOWING PARTIES SHALL BE CONTACTED:  
RECORDS:  
FIRE DEPARTMENT: PH: 978-264-9645

PARTIES RESPONSIBLE FOR LONG TERM OPERATION/MAINTENANCE:  
HOME OWNERS OF LOTS SERVED BY PRIVATE WAY.

THE OWNER SHALL MAINTAIN AN INSPECTION LOG OF ALL ELEMENTS OF THE STORM WATER MANAGEMENT PLAN. THE OWNER SHALL MAINTAIN A MAINTENANCE LOG DOCUMENTING THE INSPECTION AND MAINTENANCE OF THE DRAINAGE STRUCTURES UNDER HIS CONTROL. A COPY OF THE EROSION CONTROL AND STORM WATER MAINTENANCE PLAN AND INSPECTION LOGS SHALL BE KEPT ON-SITE AT ALL TIMES.

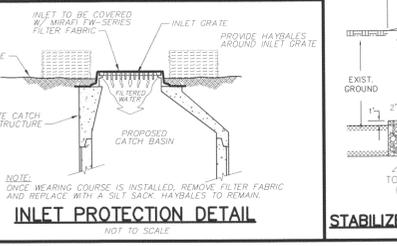
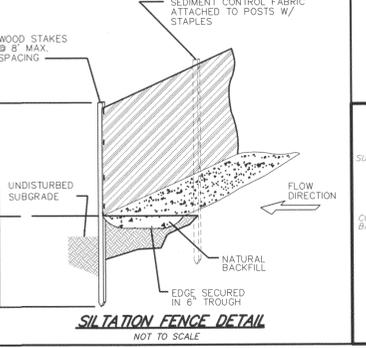
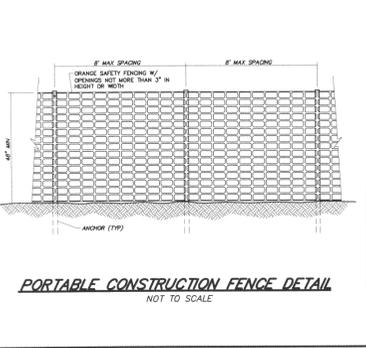
I, CLERK OF THE TOWN OF ACTON, MASSACHUSETTS HEREBY CERTIFY THE NOTICE OF APPROVAL OF THIS PLAN BY THE ACTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS SAID AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE \_\_\_\_\_  
TOWN CLERK \_\_\_\_\_



**CONSTRUCTION SPECIFICATIONS**

- THE ENTRANCE OF THE PROPOSED DRIVEWAY SHALL INITIALLY HAVE 6" OF 2" CRUSHED STONE LAID DOWN AS A TRAFFIC SEDIMENT CONTROL SURFACE AS SHOWN IN THE STABILIZED CONSTRUCTION ENTRANCE DETAIL. THIS STONE PACK SHALL BE PLACED OVER THE DRIVEWAY FOR A MINIMUM DISTANCE OF 50 FEET FROM THE EDGE OF PAVEMENT AND SHALL BE REMOVED AND REPLACED WITH ROADWAY GRAVEL IMMEDIATELY PRIOR TO THE PLACEMENT OF PAVEMENT.
- STONE SIZE - USE 2" CRUSHED STONE. LARGER STONE MAY BE REQUIRED AND IS TO BE INSTALLED IF CONDITIONS ARE SUCH THAT THE 2-INCH STONE IS NOT PERFORMING AS REQUIRED.
- WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS OF INGRESS OR EGRESS.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACEMENT OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED NEAR CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUTS OF ANY MEASURES USED TO TRAP SEDIMENT.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS DONE IT SHALL BE DONE ON STABILIZED ENTRANCE WITH STONE AND WHICH DRAINS INTO THE SEDIMENT SUMP AS SHOWN.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



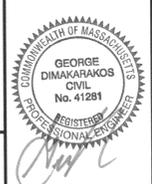
**ACTON PLANNING BOARD**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
DATE: \_\_\_\_\_

**DEFINITIVE PLAN FOR THE RESIDENCES AT CONSTITUTION DRIVE IN ACTON, MA**

**EROSION AND SEDIMENTATION CONTROL PLAN AND DETAILS**  
FOR: LEXINGTON HOLDING, LLC  
SCALE: 1"=40'  
DATE: JUNE 14, 2013

**STAMSKI AND McNARY, INC.**  
1000 MAIN STREET ACTON, MASS.  
ENGINEERING - PLANNING - SURVEYING  
0 20 40 80 160  
SM-4993 (4993 DEF1.1.DWG) SHEET 7 OF 7





DWELLING #10

DWELLING #110

DWELLING #12

DWELLING #33

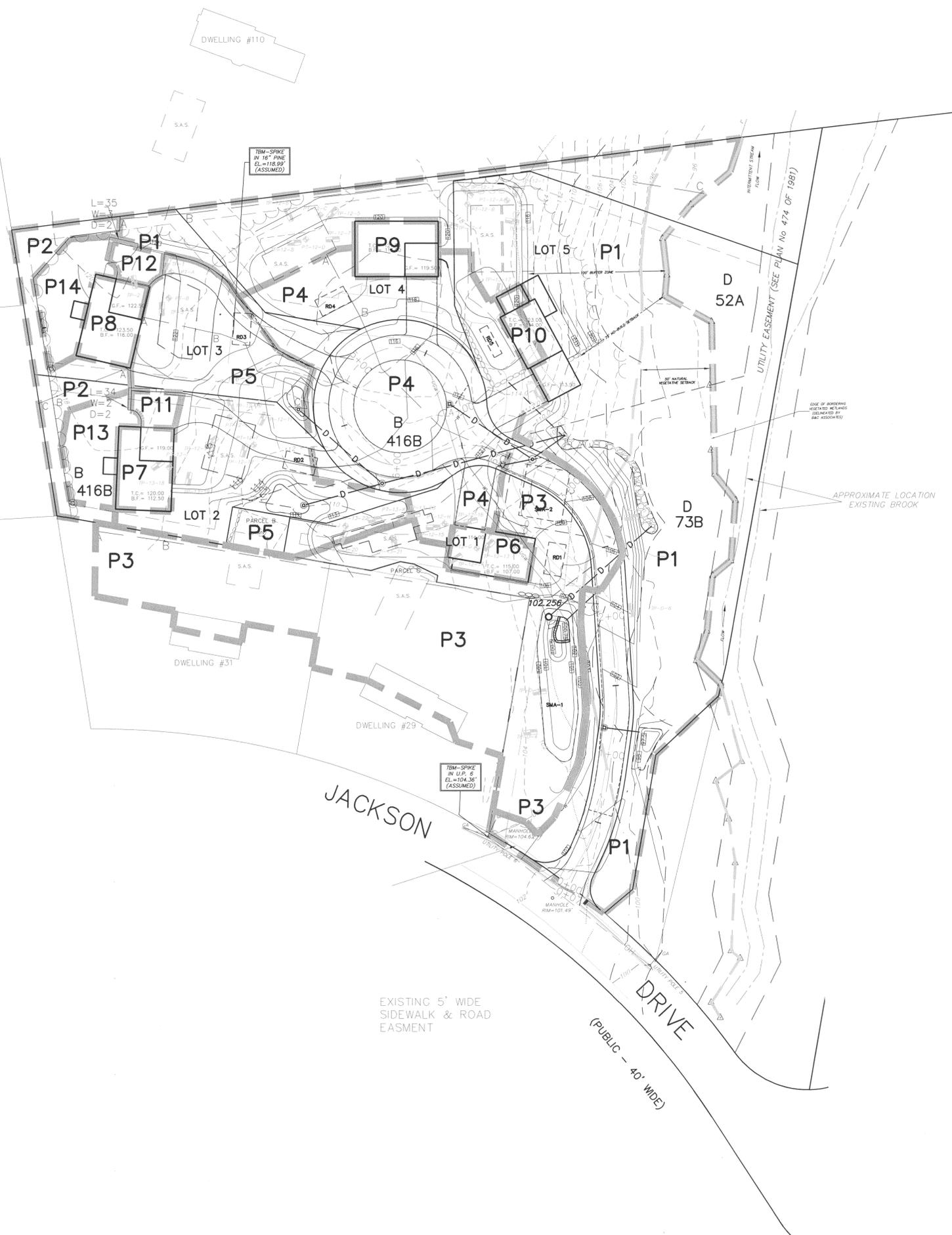
DWELLING #31

DWELLING #29

JACKSON DRIVE

DRIVE  
(PUBLIC - 40' WIDE)

EXISTING 5' WIDE  
SIDEWALK & ROAD  
EASEMENT



**LEGEND:**

N/F	NOW OR FORMERLY OVERHEAD WIRES
—○—	TREE
—○—	TREE LINE
UP	UTILITY POLE
GG*	GAS GATE
—C—	GAS SERVICE (BURIED)
WG*	WATER GATE
—W—	WATER SERVICE (BURIED)
○ DMH	DRAIN MANHOLE
—D—	SUB-SURFACE DRAIN LINE
---	EXISTING CONTOUR
---	EXISTING CONTOUR
*	LIGHTPOLE
△	WETLAND FLAG
99X9	SPOT ELEVATION
○	STONE WALL
■	SUBCATCHMENT BORDER
—	SOIL DIVIDE
A B C	TIME OF CONCENTRATION
P1	SUBCATCHMENT
416B	NARRAGANSETT SILT LOAM
73B	WHITMAN FINE SANDY LOAM
52A	FREETOWN MUCK
B	HYDROLOGIC SOIL GROUP B
C	HYDROLOGIC SOIL GROUP D
---	RATION METHOD SUBCATCHMENT

THE RESIDENCES AT  
CONSTITUTION DRIVE  
POST DEVELOPMENT  
DRAINAGE MAP  
IN  
**ACTON, MASSACHUSETTS**  
(MIDDLESEX COUNTY)  
FOR: LEXINGTON HOLDING, LLC  
SCALE: 1"=40' JUNE 14, 2013  
**STAMSKI AND McNARY, INC.**  
1000 MAIN STREET ACTON, MASSACHUSETTS  
ENGINEERING - PLANNING - SURVEYING



ZONING DISTRICT

RESIDENCE 2 (R-2)  
GROUNDWATER PROTECTION DISTRICT  
ZONE 4

LEGEND:

- N/F NOW OR FORMERLY OVERHEAD WIRES
- TREE
- TREE LINE
- UP UTILITY POLE
- GG+ GAS GATE
- G GAS SERVICE (BURIED)
- WG+ WATER GATE
- W WATER SERVICE (BURIED)
- DMH DRAIN MANHOLE
- D SUB-SURFACE DRAIN LINE
- 99--- EXISTING CONTOUR
- 85--- EXISTING CONTOUR
- ☆ LIGHTPOLE
- △ WETLAND FLAG
- 99X9 SPOT ELEVATION
- ○ ○ ○ ○ STONE WALL
- ▬ SUBCATCHMENT BORDER
- SOIL DIVIDE
- A B C TIME OF CONCENTRATION

- E1 SUBCATCHMENT
- 416B NARRAGANSETT SILT LOAM
- 73B WHITMAN FINE SANDY LOAM
- 52A FREETOWN MUCK
- B HYDROLOGIC SOIL GROUP B
- D HYDROLOGIC SOIL GROUP D



THE RESIDENCES AT  
CONSTITUTION DRIVE

PRE-DEVELOPMENT  
DRAINAGE MAP  
IN

**ACTON, MASSACHUSETTS**  
(MIDDLESEX COUNTY)

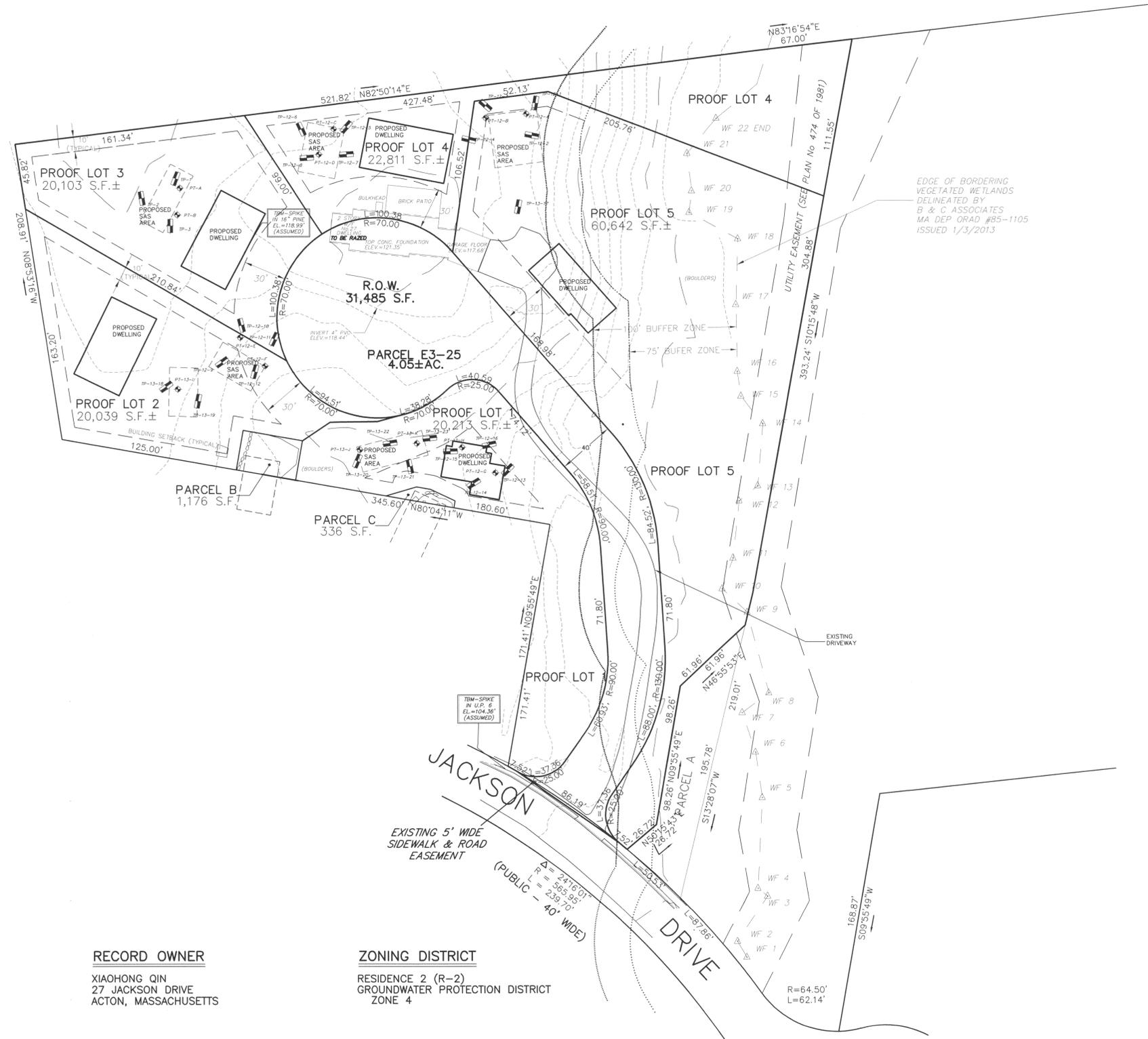
FOR: LEXINGTON HOLDING, LLC  
SCALE: 1"=40' | FEBRUARY 18, 2013

**STAMSKI AND MCNARY, INC.**  
1000 MAIN STREET ACTON, MASSACHUSETTS  
ENGINEERING - PLANNING - SURVEYING



**LEGEND:**

- N/F NOW OR FORMERLY OVERHEAD WIRES
- OHW OVERHEAD WIRES
- TREE LINE
- UP UTILITY POLE
- GG+ GAS GATE
- G GAS SERVICE (BURIED)
- WG+ WATER GATE
- W WATER SERVICE (BURIED)
- DMH DRAIN MANHOLE
- D SUB-SURFACE DRAIN LINE
- EXISTING CONTOUR
- EXISTING CONTOUR
- WETLAND FLAG
- SPOT ELEVATION
- STONE WALL



EDGE OF BORDERING VEGETATED WETLANDS DELINEATED BY B & C ASSOCIATES MA DEP ORAD #85-1105 ISSUED 1/3/2013

**THE RESIDENCES AT  
 CONSTITUTION DRIVE**  
 PROOF PLAN  
 IN  
**ACTON, MASSACHUSETTS**  
 (MIDDLESEX COUNTY)  
 FOR: LEXINGTON HOLDING, LLC  
 SCALE: 1"=40' JANUARY 8, 2013

**UTILITY NOTE:**

ALL UNDERGROUND UTILITIES SHOWN HERE WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION OR REPAIRING. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963 MASS. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS THE APPROPRIATE PUBLIC UTILITY ENGINEERING DEPARTMENT MUST BE CONSULTED. DIG SAFE TELEPHONE No. 1-888-344-7233.

**RECORD OWNER**

XIAOHONG QIN  
 27 JACKSON DRIVE  
 ACTON, MASSACHUSETTS

**ZONING DISTRICT**

RESIDENCE 2 (R-2)  
 GROUNDWATER PROTECTION DISTRICT  
 ZONE 4

**REFERENCE**

MIDDLESEX REGISTRY OF DEEDS  
 SOUTH DISTRICT  
 DEED BOOK 60598 PAGE 183  
 PLAN No. 646 OF 1997

**STAMSKI AND McNARY, INC.**  
 1000 MAIN STREET ACTON, MASSACHUSETTS  
 ENGINEERING - PLANNING - SURVEYING

